

SITE SURVEY

ABN: 48 365 708 393

FEATURE SURVEY

DRAWN: S.C SURVEYOR: G.K.

EMAIL: shaun.currey@gmail.com

JOB DETAILS

JOB # 0213S
CUSTOMER Kevin Deprinzio
LOT 81
STREET (#2) The Boulevard
SUBURB Mt Hawthorn
LOCAL AUTH. City Of Vincent
PLAN 2848
VOL./FOLIO -/-
LOCATION -

MAP REF 247-22/55

DATE 13/10/14

MISCLOSE 0.000m

AREA 570m²

COASTAL NO

SERVICES

ELEC. O/HEAD

WATER YES

SEWER YES

GAS YES (CHECK ALINTA)

PHONE YES

F'PATH CONCRETE

ROAD BITUMEN

KERB NON MT.

DRAINAGE GOOD

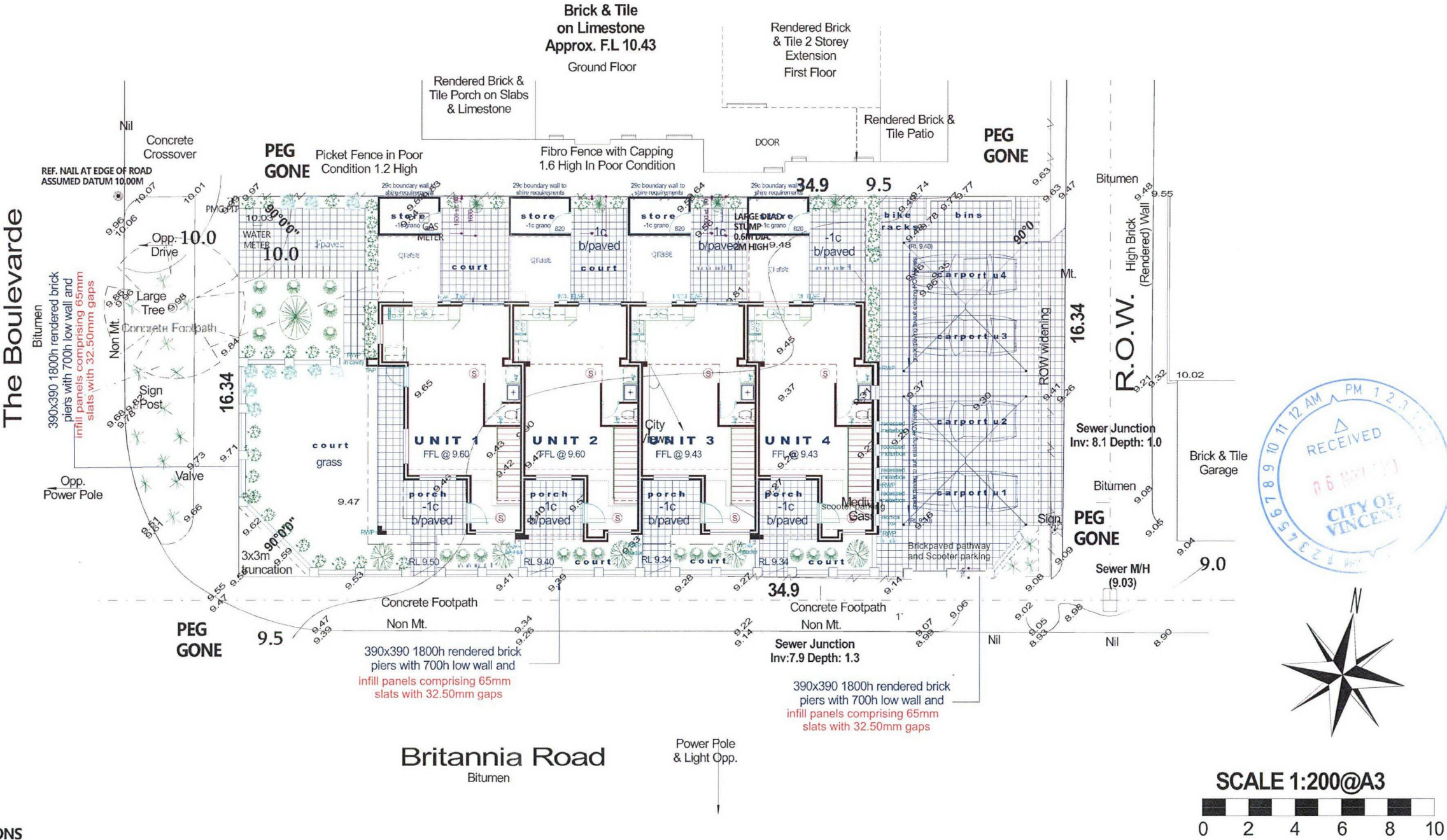
SOIL SAND

Charles (Bush) Parker
Licensed Surveyor

A.B.N 81906881373

P.O. BOX 22 NORTH BEACH W.A. 6020

bushparker.wa@gmail.com



NOTE:
ADVISE TRADES: OVERHEAD POWER LINES

NOTE:
PLEASE CHECK TITLE FOR EASEMENTS AND NOTIFICATIONS

NOTE:
DUE TO LACK OF SURVEY MARKS / PEGS, ALL BUILDING OFFSETS,
DIMENSIONS & FEATURES ARE POSITIONED FROM EXISTING PEGS /
FENCES / WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT
AND ARE TO BE VERIFIED WITH A REPEG CERTIFICATE.

NOTE:
ALL SEWER DETAILS PLOTTED FROM WATER CORP. INFORMATION

NOTE:
SC DRAFTING ACCEPTS NO RESPONSIBILITY FOR ANY ON SITE PHYSICAL
CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN
ON THIS SURVEY INCLUDING ADJOINING NEIGHBOURS LEVELS AND
FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.

design
RIGHT
Craig 0438 975 039
designright@bigpond.com

Proposed Works at:
Lot 81 #2 The Boulevard, Mt Hawthorn
For:
Di Prinzio
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Revision	Drawn	Date	Scale	Sheet
	: KDP	: 23/10/18	: 1:200	: 1 of 7

SC DRAFTING

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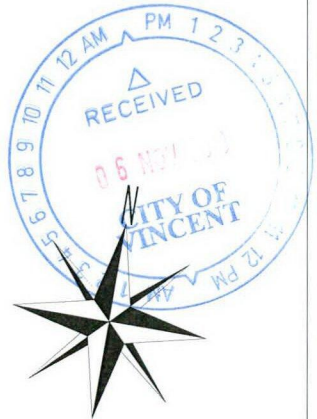
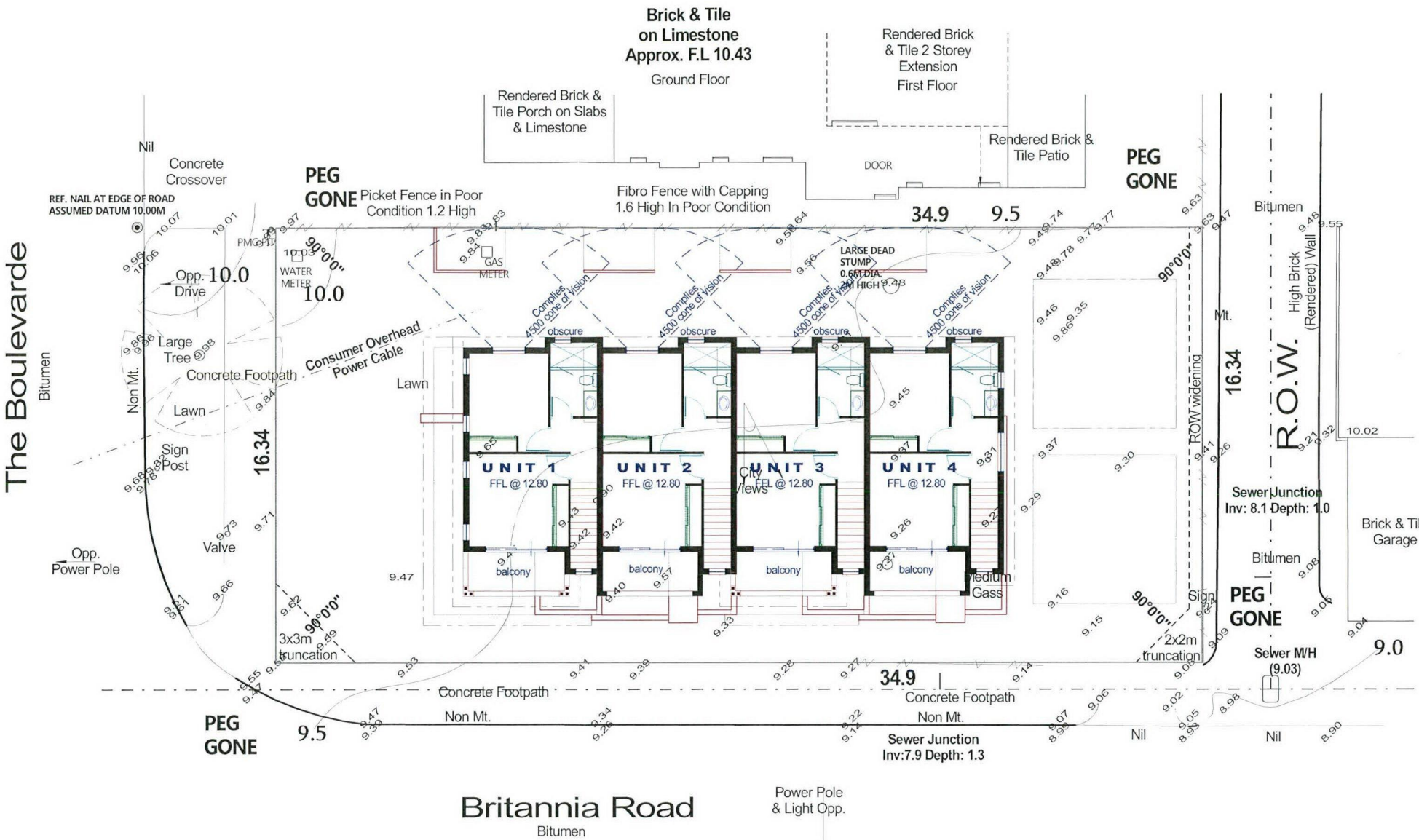
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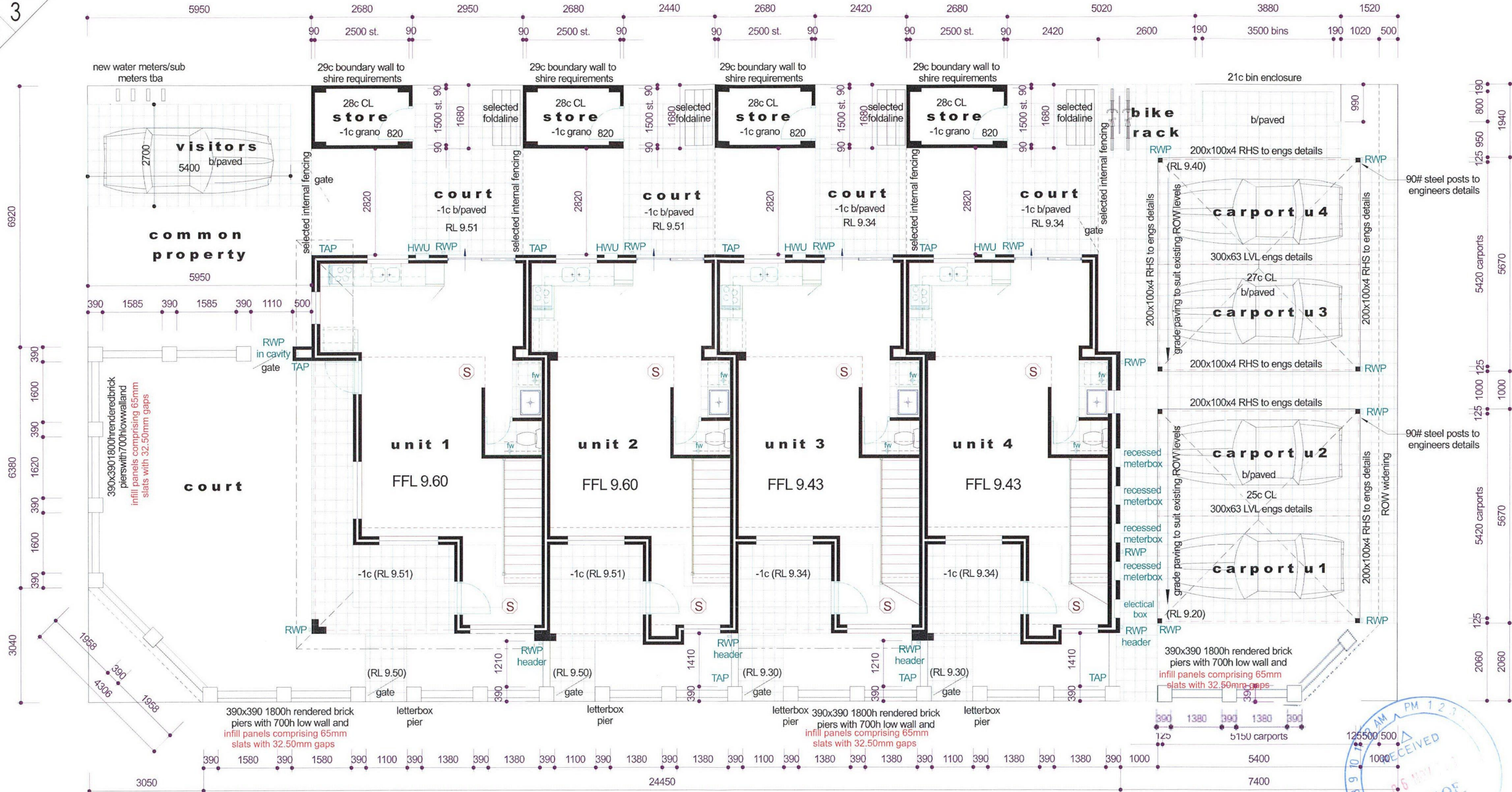
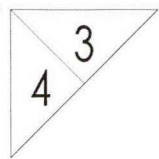
Revision

Drawn : KDP
Date : 23/10/18
Scale : 1:200
Sheet : 2 of 7

SCALE 1:200@A3



SITE PLAN
UPPER FLOOR



Unit 1

ground	45.19m ²
upper	36.93m ²
subtotal	82.12m ²
porch	14.30m ²
store	4.50m ²
balcony	6.42m ²
carport	15.12m ²

Unit 2

ground	41.14m ²
upper	35.83m ²
subtotal	80.77m ²
porch	6.92m ²
store	4.50m ²
balcony	6.42m ²
carport	15.12m ²

Unit 3

ground	43.51m ²
upper	36.93m ²
subtotal	80.44m ²
porch	6.35m ²
store	4.50m ²
balcony	6.42m ²
carport	15.12m ²

Unit 4

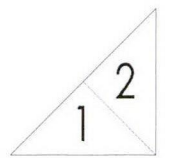
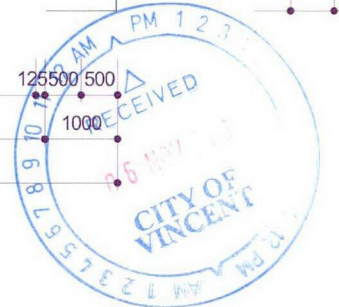
ground	47.01m ²
upper	38.10m ²
subtotal	85.11m ²
porch	6.92m ²
store	4.50m ²
balcony	6.42m ²
carport	15.12m ²

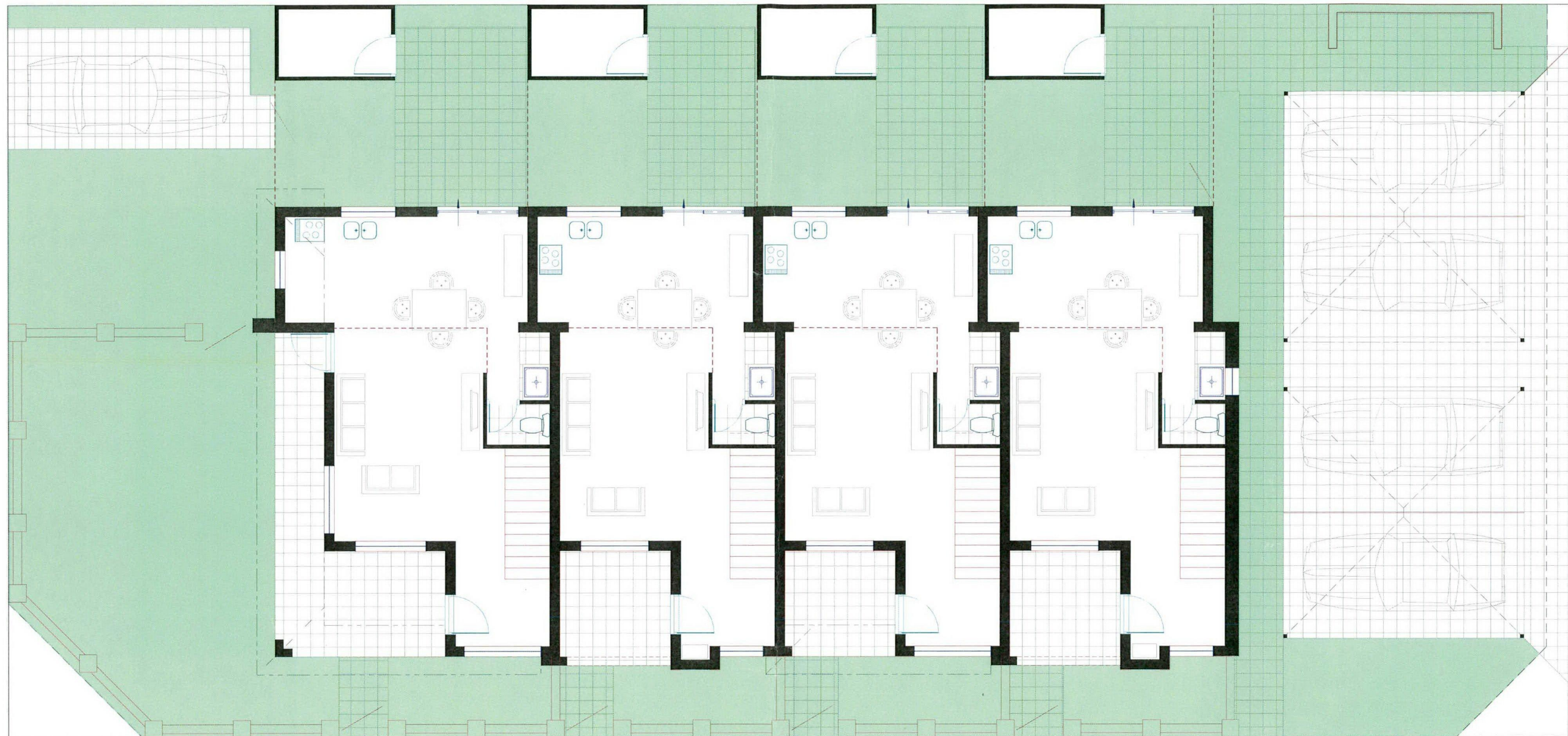
Plot Ratio

site area	570m ²
plot ratio %	0.57
plot ratio m ²	328m ²

Open Space

site area	570m ²
site cover m ²	271m ²
open space m ²	299m ²
open space %	52%





CLIENT NOTE

Design Concepts are subject to council approvals, engineers details, site survey and energy efficiency requirements.

Landscaping Requirements

1) 30% site area	
Required	166m ²
Provided	234m ²
Complies	YES



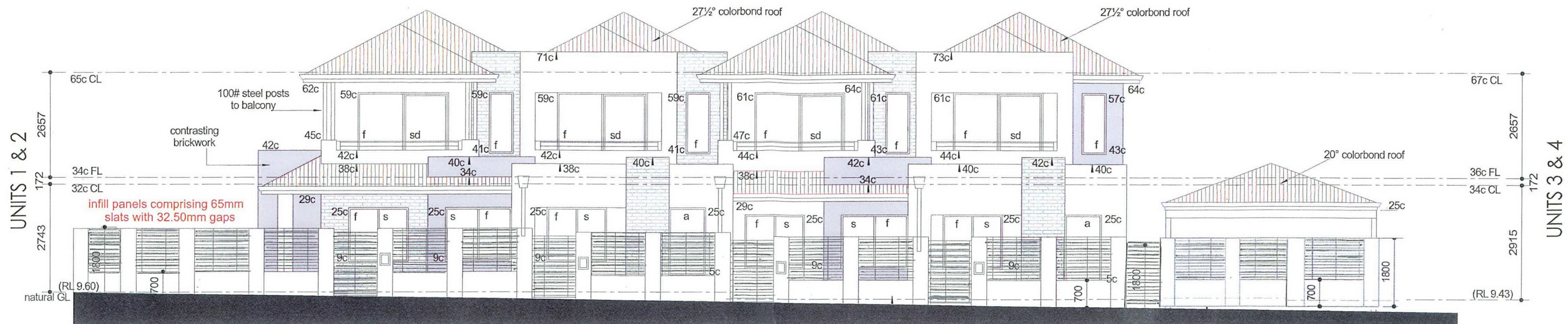
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 Sheet : 5 of 7

LANDSCAPING
 GROUND FLOOR

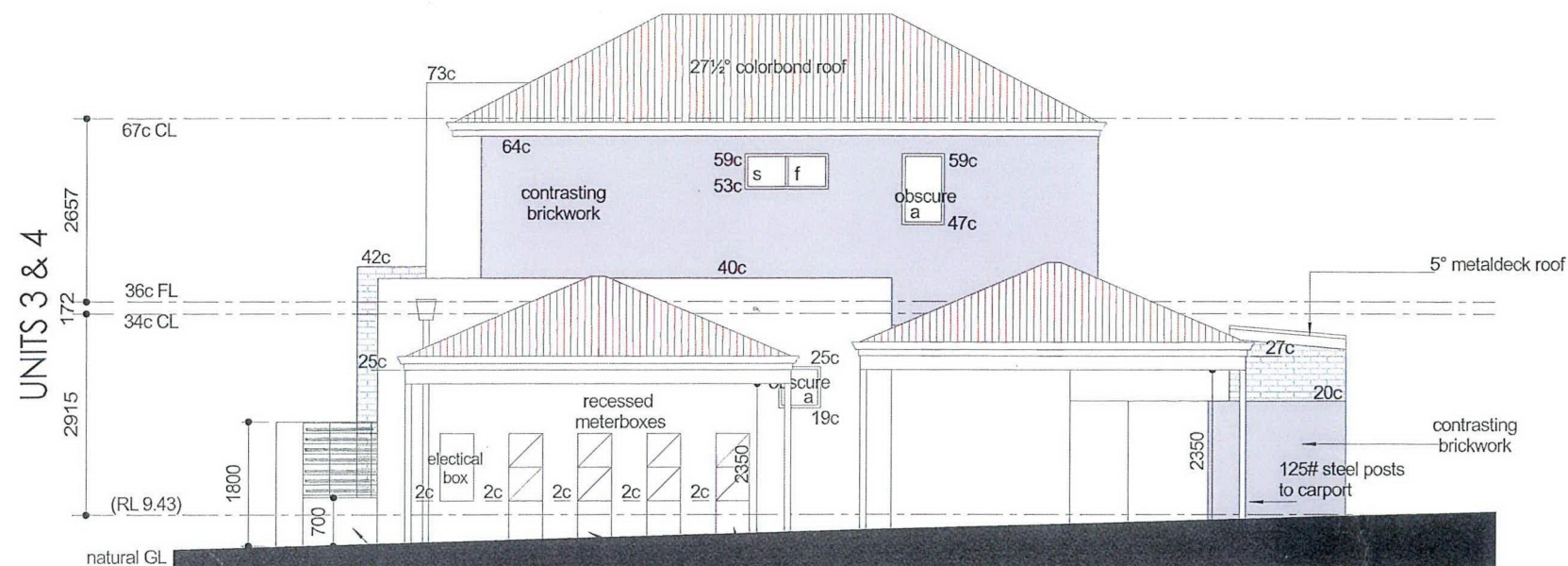


Elevation 1

elevations comprising of rendered brickwork, contrasting rendered brickwork, feature brickwork with 27 1/2° pitched colorbond roof.

390x390 1800h rendered brick piers with 700h low wall and infill panels comprising 65mm slats with 32.50mm gaps

390x390 1800h rendered brick piers with 700h low wall and infill panels comprising 65mm slats with 32.50mm gaps

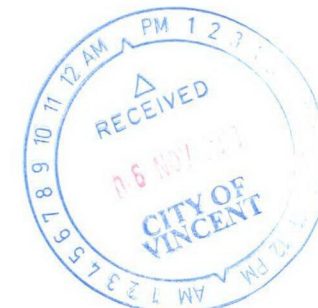


Elevation 2

elevations comprising of rendered brickwork, contrasting rendered brickwork, feature brickwork with 27 1/2° pitched colorbond roof.

390x390 1800h rendered brick piers with 700h low wall and infill panels comprising 65mm slats with 32.50mm gaps

recess bwk under m/boxes to suit plumbers requirements



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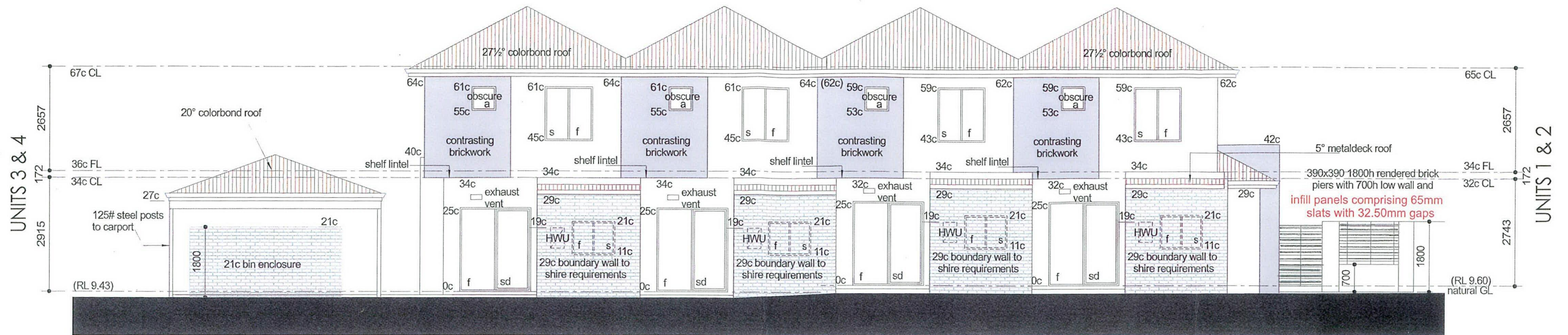
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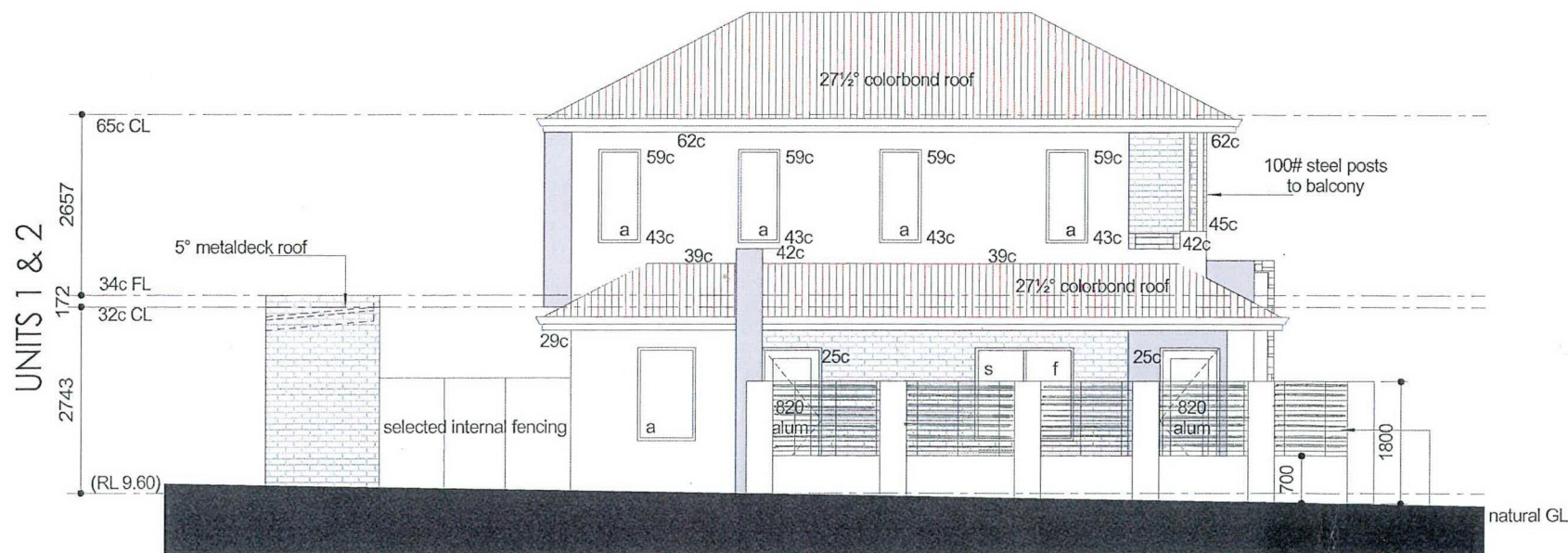
Sheet : 6 of 7

ELEVATION
SCALE 1:100



Elevation 3

elevations comprising of rendered brickwork, contrasting rendered brickwork, feature brickwork with 27 1/2° pitched colorbond roof.



Elevation 4

elevations comprising of rendered brickwork, contrasting rendered brickwork, feature brickwork with 27 1/2° pitched colorbond roof.



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ELEVATIONS
SCALE 1:100