

PROPOSED 4 x MULTIPLE DWELLINGS
LOT 162 (#377) WALCOTT STREET COOLBINIA

CITY OF VINCENT
RECEIVED
8 February 2019

NOTE:
MATERIAL SHOWN ARE INDICATIVE
ONLY. REFER TO MATERIALS
SCHEDULE PROVIDED AS PER DAC
APPLICATION

ROOF SHEETING - COLOUR:
COLORBOND BASALT

ALTERNATIVE RENDER -
COLOUR: TAUBMANS STUFFING

MAIN RENDER -
COLOUR: TO MATCH
SURFMIST

SOFFIT - COLOUR: TO
MATCH SURFMIST

ROOF BARGE AND FLASHING - COLOUR:
TO MATCH MONUMENT



MAIN RENDER - COLOUR: TO MATCH
SURFMIST

SCREENING POSTS - TIMBER OR STEEL -
PAINTED: TAUBMANS TAMPICO BROWN

230x110x76 FACE BRICKWORK -
MIDLAND BRICK 'RUSSET RED' WITH
CREAM MORTAR

ALTERNATIVE RENDER - COLOUR:
TAUBMANS STUFFING

MAIN RENDER - COLOUR: TO MATCH
SURFMIST

Table with 2 columns: Drawing ID and Description. Includes drawings A-00 to A-16 covering various site and building details.

GATE - TIMBER OR STEEL - PAINTED:
TAUBMANS TAMPICO BROWN

FENCE INFILLS - COLOUR: TO
MATCH CHARCOAL LUSTRE

WINDOW FRAMES - COLOUR:
CHARCOAL LUSTRE

MAIN RENDER - COLOUR: TO
MATCH SURFMIST

project name:
PROPOSED 4 x MULTIPLE DWELLINGS

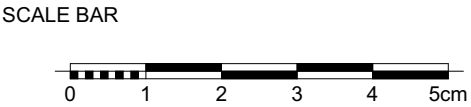


Table with 3 columns: Revision Description, REV, and REV. DATE. Lists revisions from Initial DAC Set to U/croft parking amended.

Building Development Group Pty Ltd
Suite 5, 18-22 Riseley St.
Ardross WA, 6153
P: 08 9364 9550
E: bdgwa@westnet.com.au
Includes drawing title: COVER (MATERIAL SELECTIONS) and drawing no: A-00.

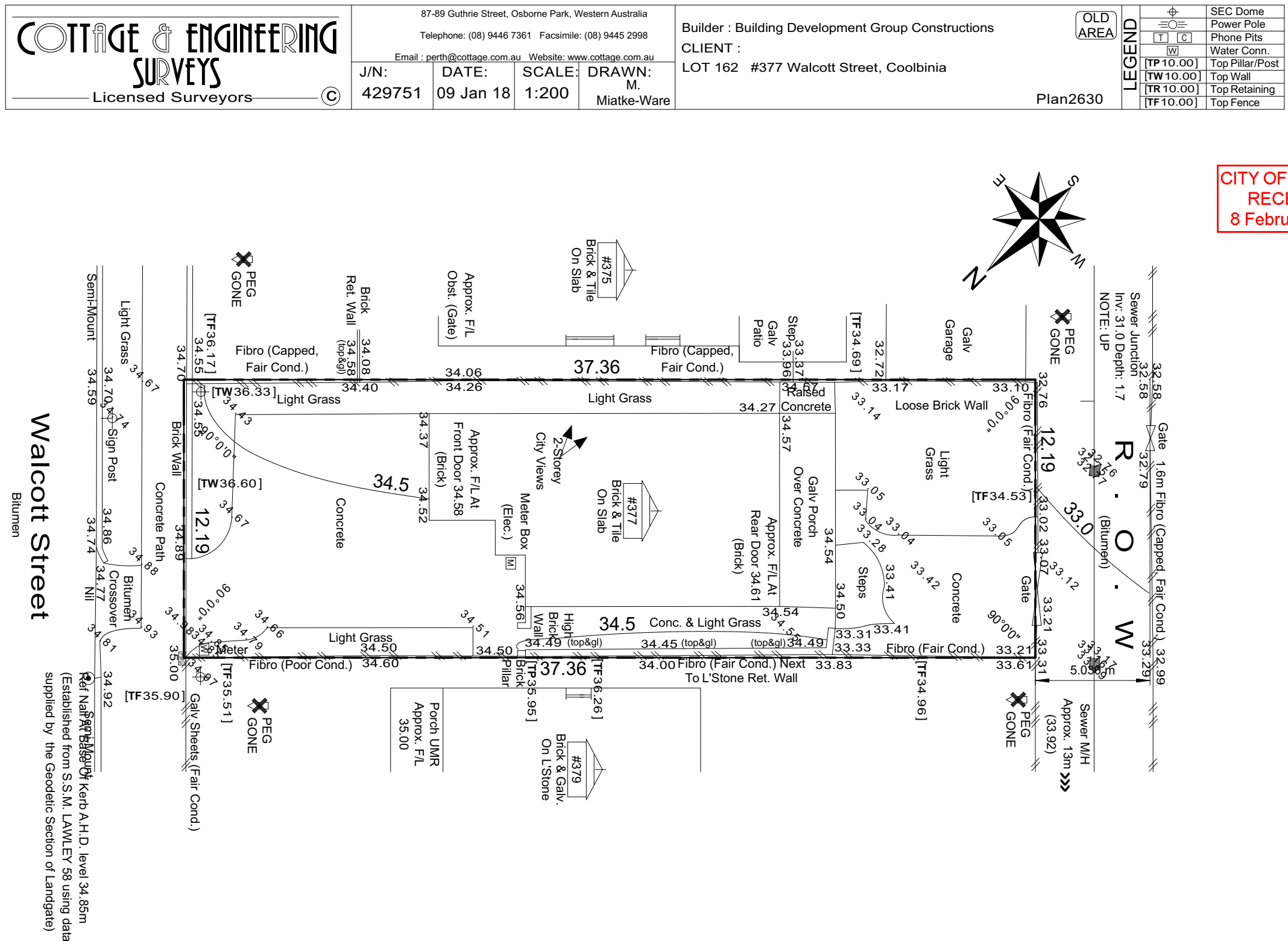
address:
LOT 162 (#377) WALCOTT STREET
COOLBINIA

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date drawn: 08-Feb-19
scale:
sheet size: A3
revision: REVG

LOT MISCLOSE
0.000 m

SOIL DESCRIPTION
Sand
Refer to Survey

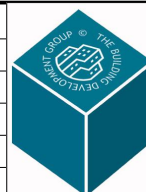


PROPOSED 4 x MULTIPLE DWELLINGS

LOT 162 (#377) WALCOTT STREET
COOLBINIA

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Revised Planning Drawings. Changes as clouded	F	14-01-19
U/croft parking amended. Balcony screening added	G	08-02-19

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- Architecture
- Sub-division
- Planning
- Feasibility
- Development
- Design
- Construction

title:	EXISTING SITE PLAN (AHD LEVELS)
--------	---------------------------------

drawing no:

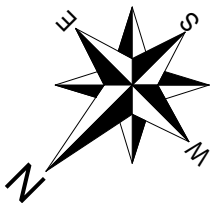
A-01

date drawn:	08-Feb-19
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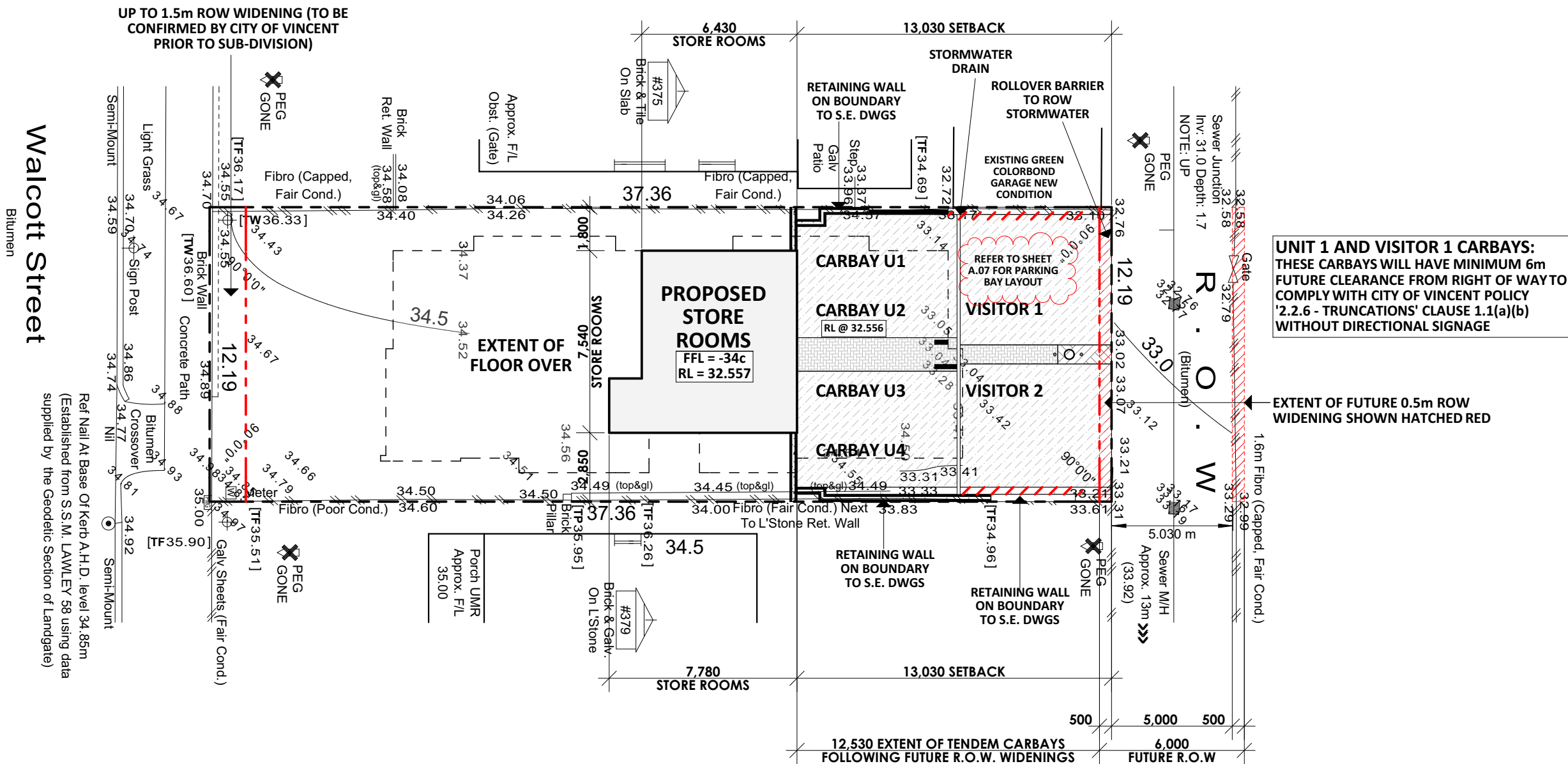
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sheet size:

Revision: **REVG**

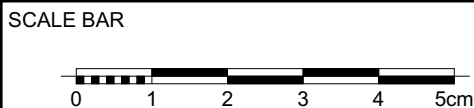


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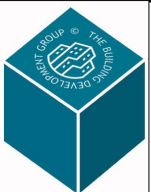
project name:
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title:
U/CROFT SITE

drawing no:
A-02

date drawn:
08-Feb-19

scale:
1:200

sheet size:
A3

revision:
REV G

PROPOSED PLOT RATIO	
UNIT 1	
UNIT AREA	85.95
UNIT 2	
UNIT AREA	86.92
UNIT 3	
UNIT AREA	85.01
UNIT 4	
UNIT AREA	85.85
343.73 m ²	

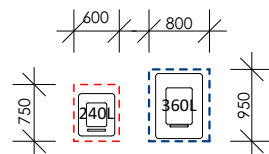
PLOT RATIO CALCULATIONS	
SITE ZONING:	R60
MAXIMUM PLOT RATIO REQUIRED :	0.7 (318.5m ²)
LOT AREA :	455m ²
PLOT RATIO ACHIEVED:	343.73m ² (0.75)

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SITE PLAN LEGEND

VERTICAL GARDEN AND SURFACE
DRAINAGE INTO STONE MULCH

BIN DIMENSIONS



LEVEL SHOWN ARE TO AUSTRALIAN HEIGHT DATUM (AHD)	
NOTE: AVERAGE NATURAL GROUND LEVEL = 33.862	
LEVELS USED:	-34.40
	-34.50
	-33.14
	-33.41

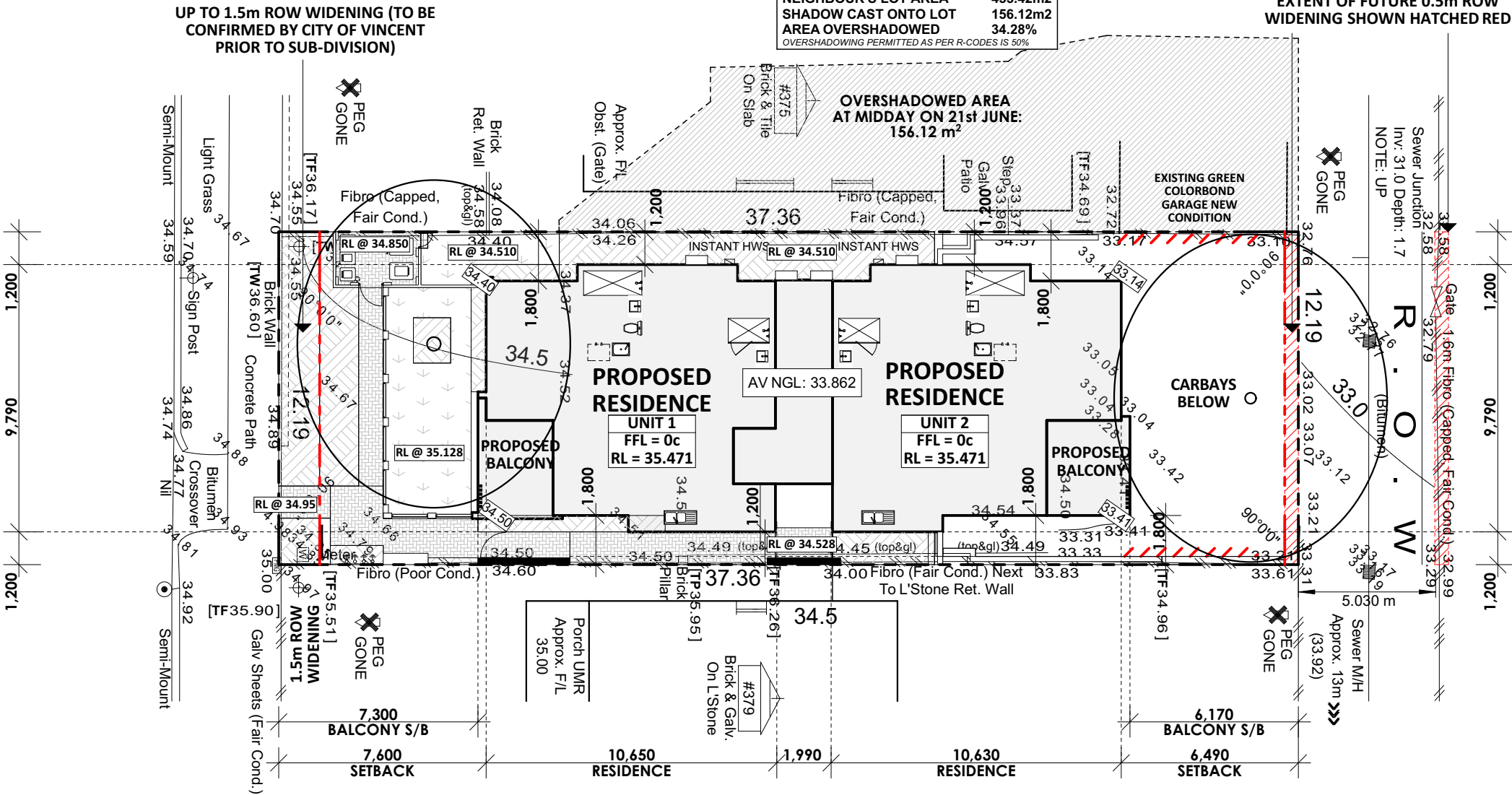
Walcott Street

Ref Nail At Base Of Kerb A.H.D. level 34.85m
(Established from S.S.M. LAWLEY 58 using data
supplied by the Geodetic Section of Landgate)

UP TO 1.5m ROW WIDENING (TO BE
CONFIRMED BY CITY OF VINCENT
PRIOR TO SUB-DIVISION)

LOT ZONING	
NEIGHBOUR'S LOT AREA	455.42m ²
SHADOW CAST ONTO LOT	156.12m ²
AREA OVERSHADOWED	34.28%
OVERSHADOWING PERMITTED AS PER R-CODES IS 50%	

EXTENT OF FUTURE 0.5m ROW
WIDENING SHOWN HATCHED RED



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COOLBINIA

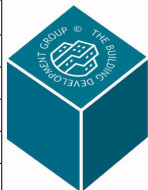
SCALE BAR



REVISION DESCRIPTION

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A	26-03-18
B	10-04-18
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title:
SITE

date drawn:
08-Feb-19

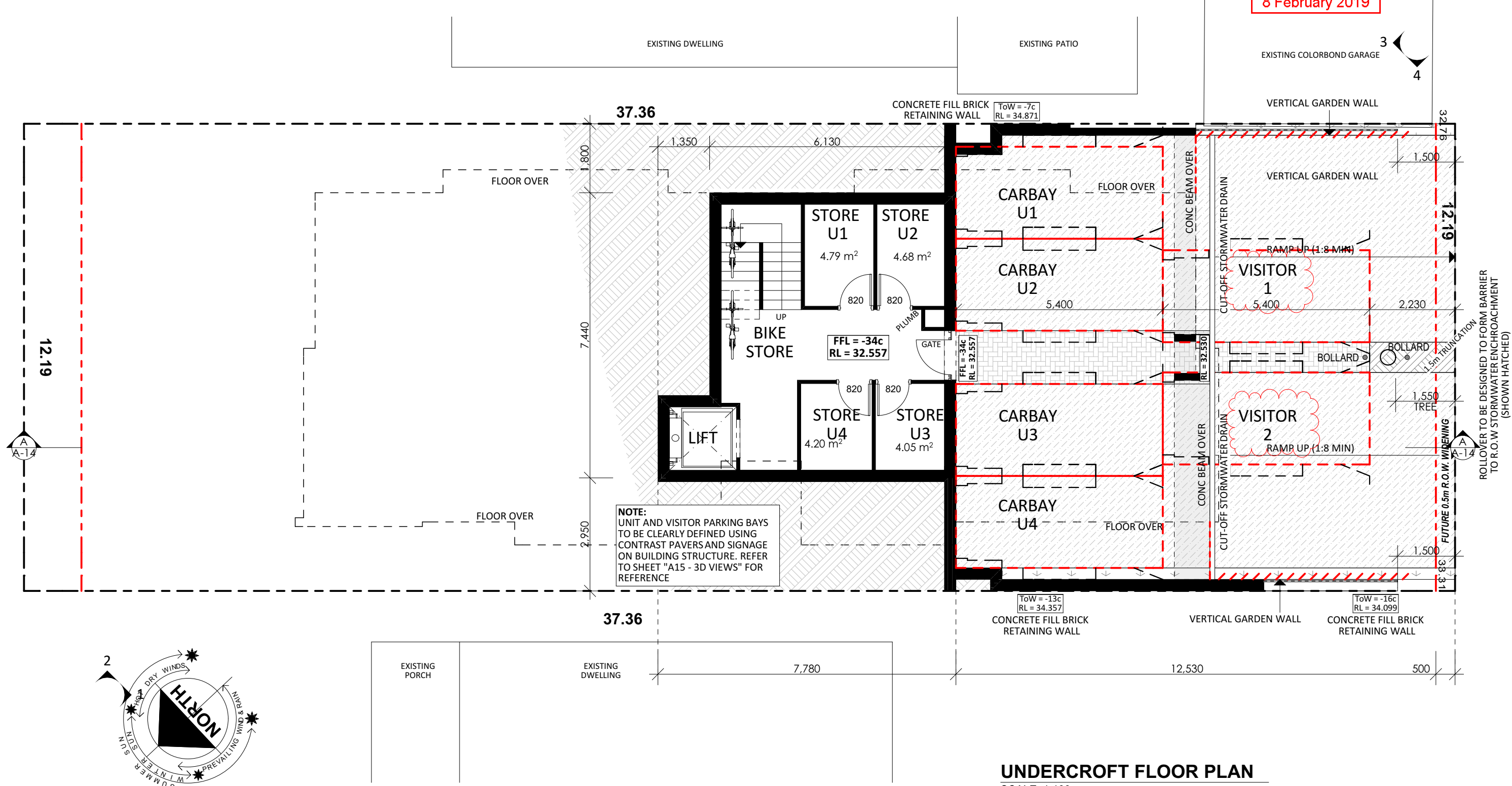
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sheet size:
A3

drawing no:
A-03

revision:
REV G

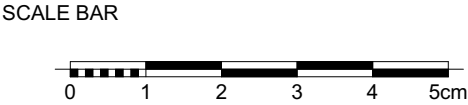
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UNDERCROFT FLOOR PLAN
SCALE: 1:100

project name:
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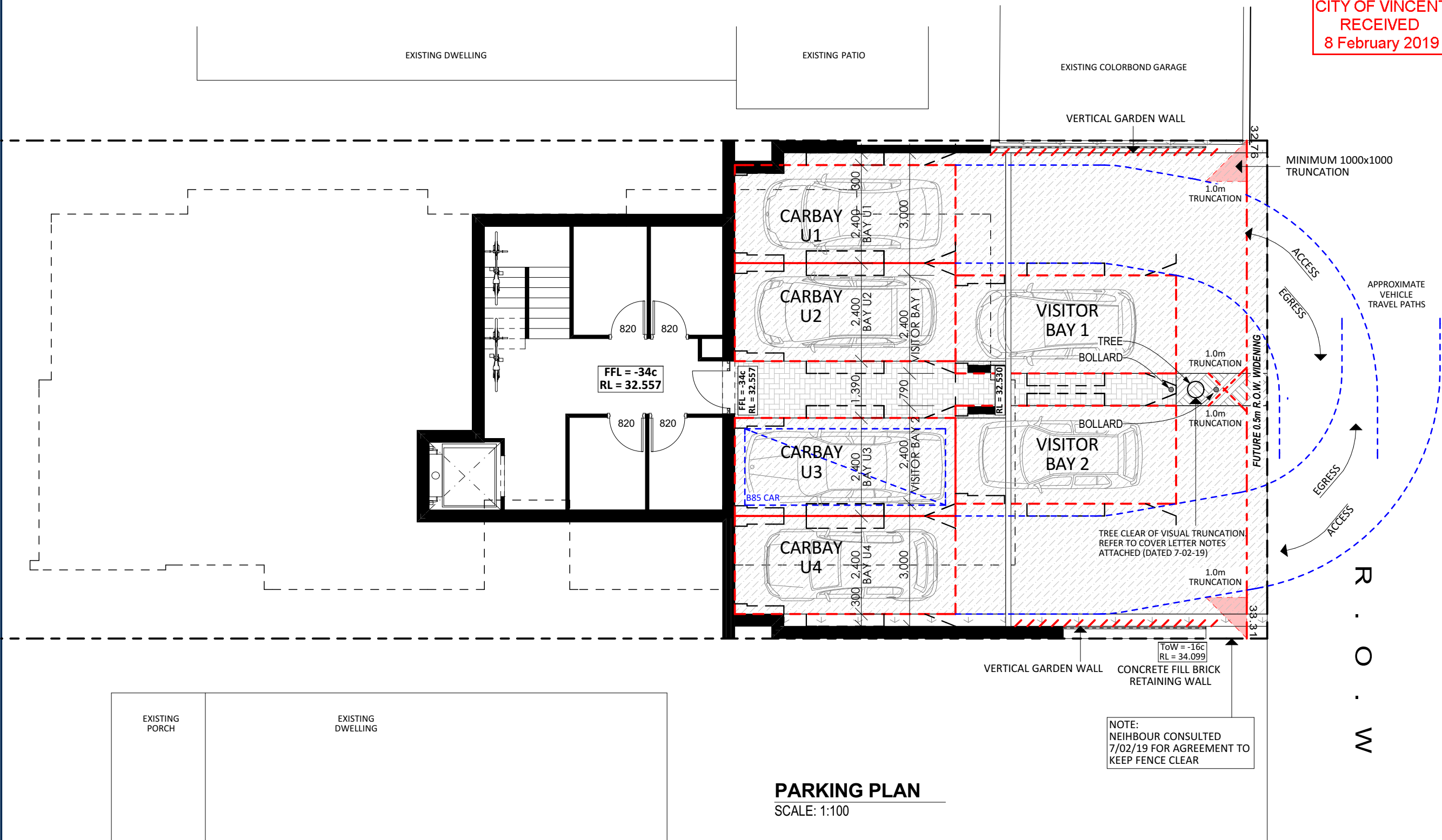


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title: UNDERCROFT	drawing no: A-06
date drawn: 08-Feb-19	revision: REV G
scale: 1:100	sheet size: A3

COMPLIANCE CLARIFICATION OF VEHICLE SIGHT LINES

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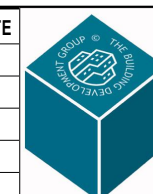
address:

LOT 162 (#377) WALCOTT STREET
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SCALE BAR



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title:
UNDERCROFT PARKING

drawing no:
A-07

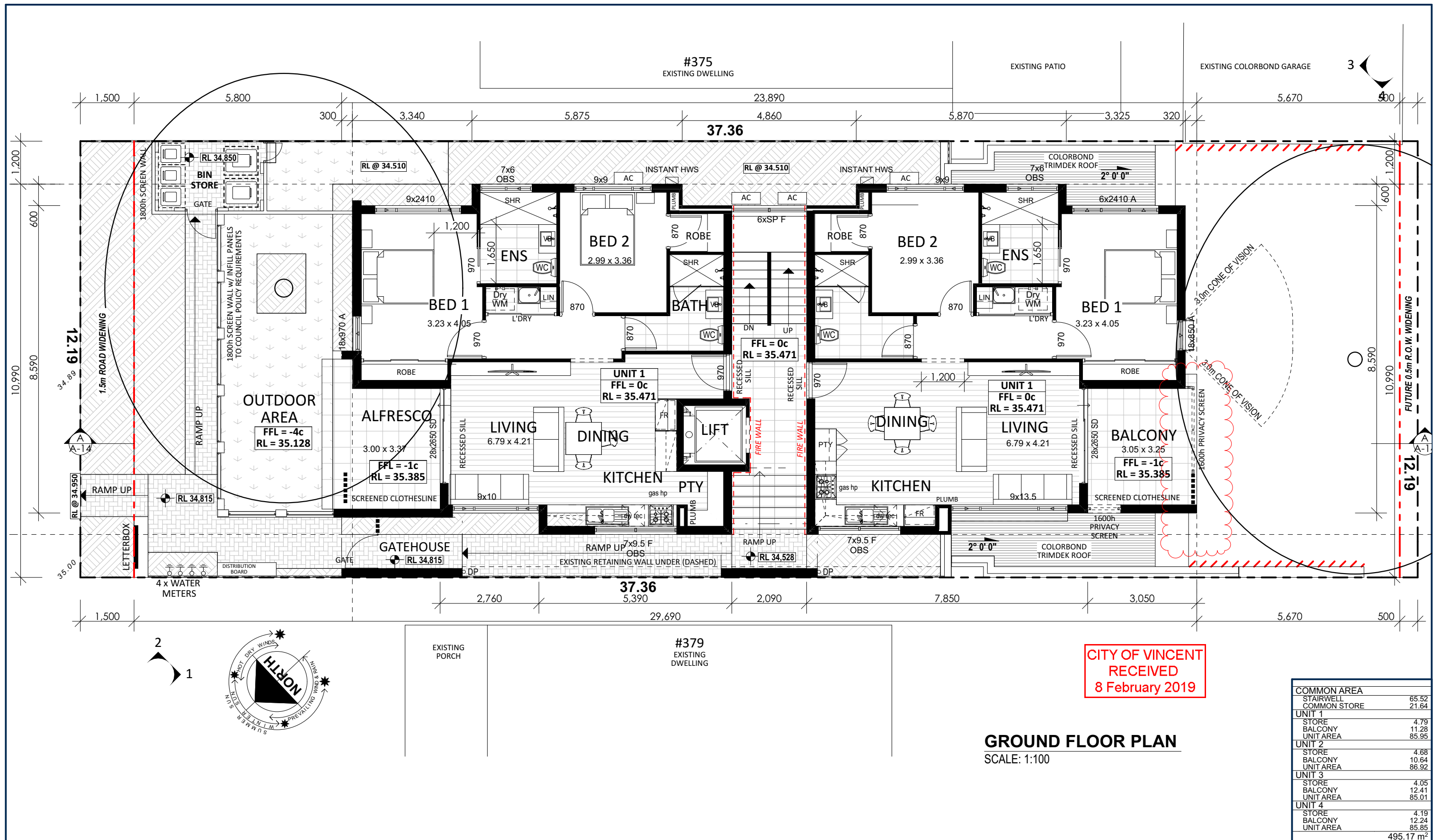
n, in	date drawn: 08-Feb-19
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scale:
1:100

sheet size:

revision: REVG

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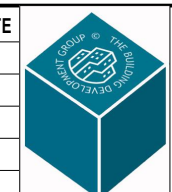
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title:
GROUND FLOOR

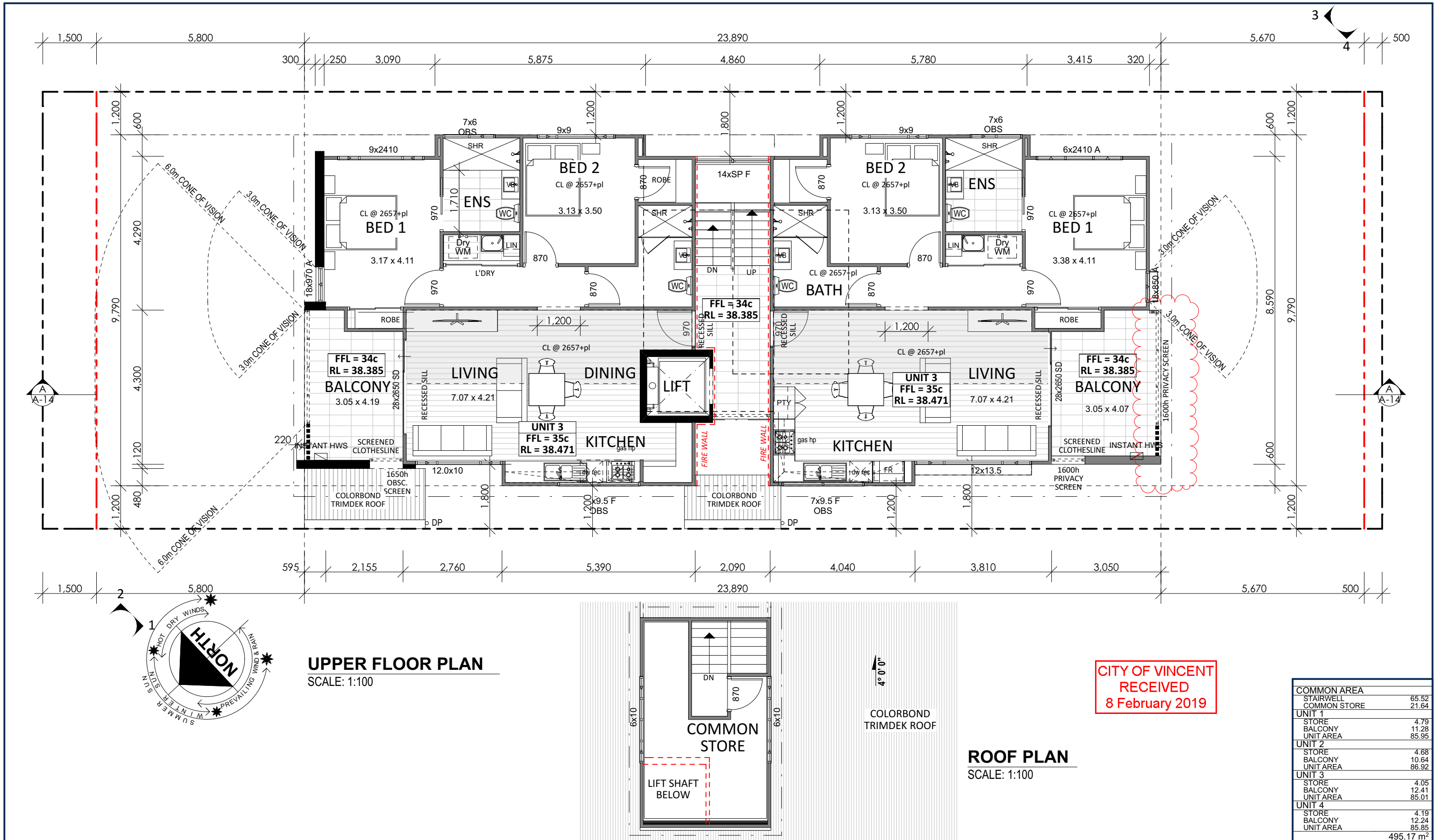
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08-Feb-19

scale:
1:100, 1:1

sheet size:
A3

drawing no:
A-08

revision:
REV G



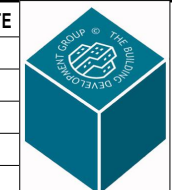
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title:
FIRST FLOOR

drawing no:
A-09

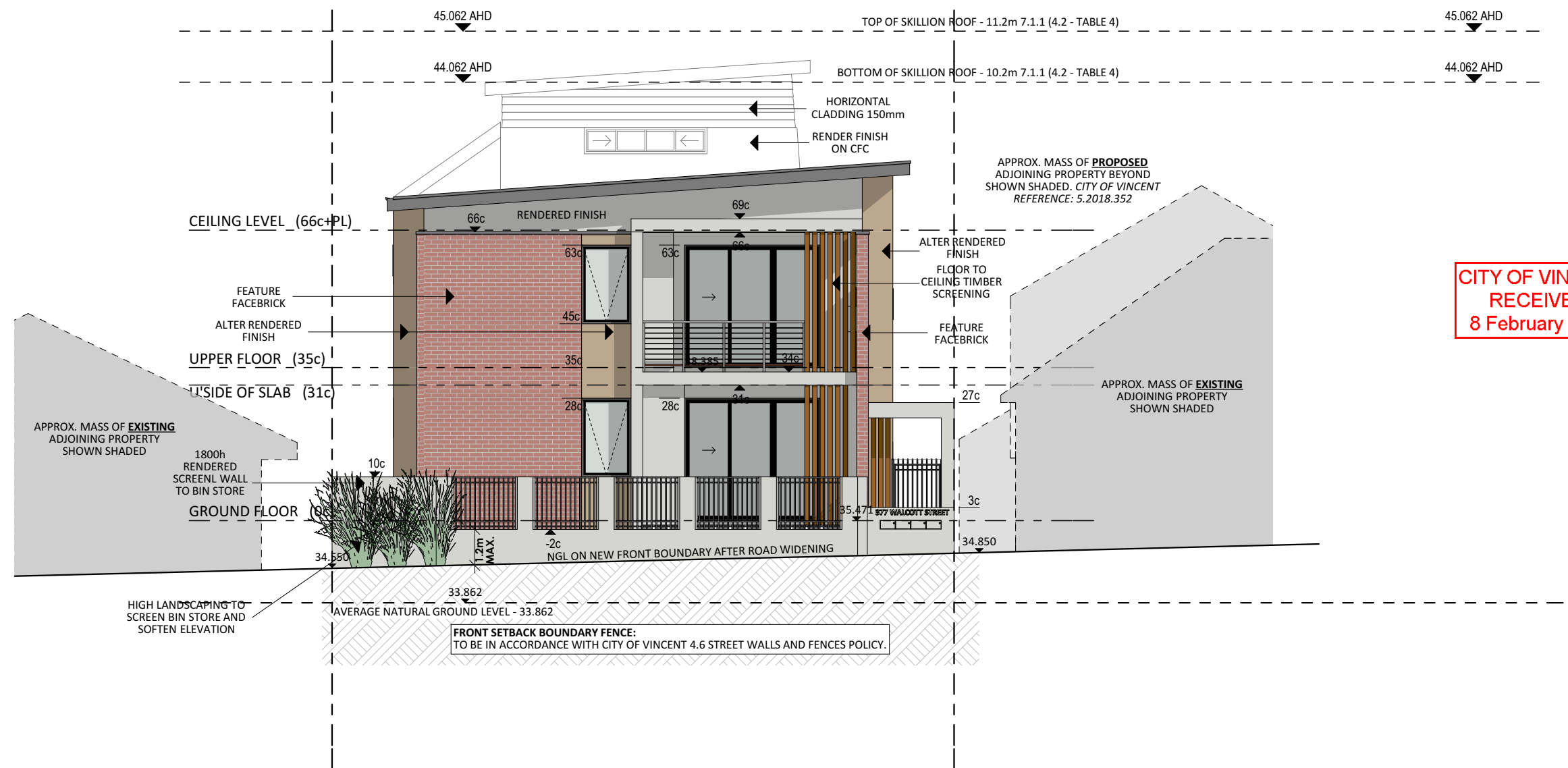
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08-Feb-19

scale:
1:100, 1:1

sheet size:
A3

revision:
REV G

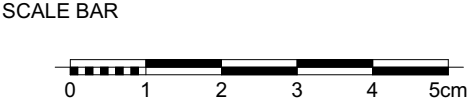
NOTE:
GLAZING - 6.38mm LAMINATED
GLASS. ACOUSTIC REPORT WILL BE
COMMISSIONED FOLLOWING
PLANNING APPROVAL AND PRIOR
TO BUILDING PERMIT.



1 **WALCOTT STREET / NORTH EAST ELEVATION**
SCALE: 1:100

project name:
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COOLBINIA**



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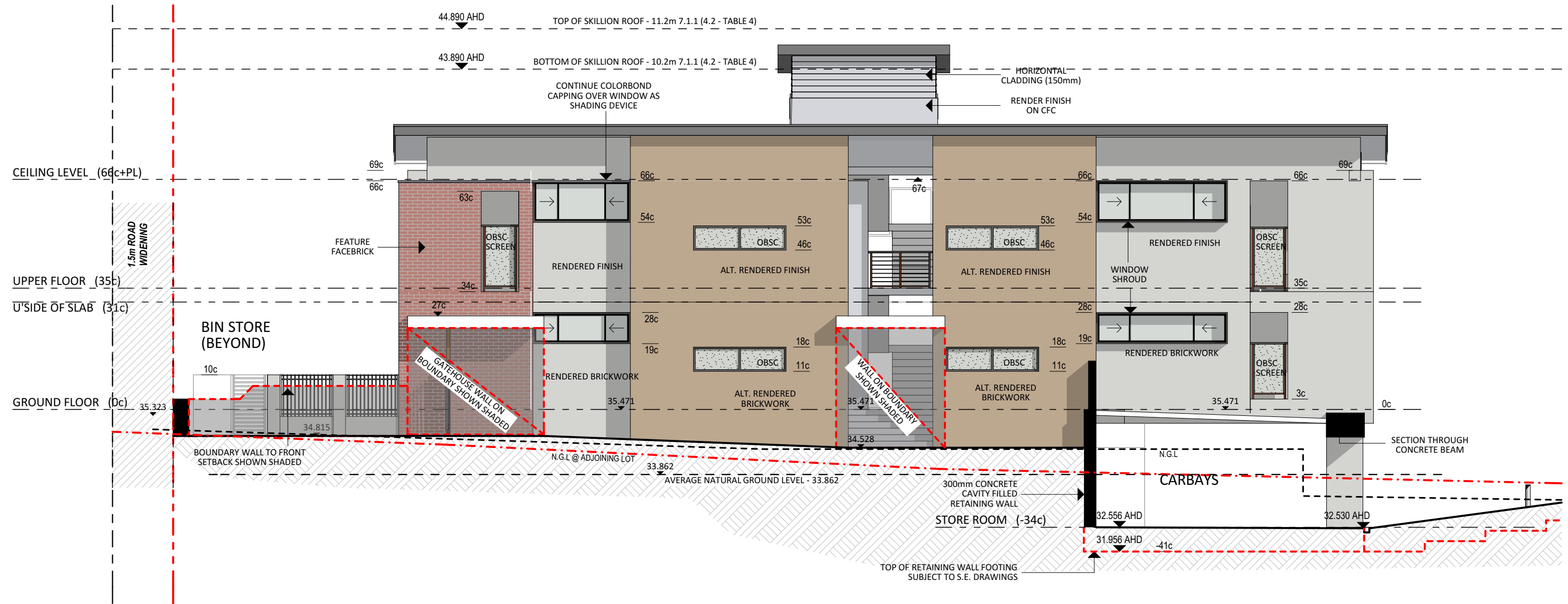
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Suite 5, 18-22 Riseley St. Ardross WA, 6153 P: 08 9364 9550 E: bdgwa@westnet.com.au	Architecture Sub-division Planning Feasibility Development Design Construction	
title: ELEVATIONS	drawing no: A-10	revision: REV G
date drawn: 08-Feb-19	scale: 1:100	sheet size: A3

NOTE:
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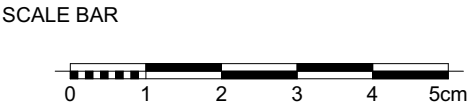
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2 NORTH WEST ELEVATION
SCALE: 1:100

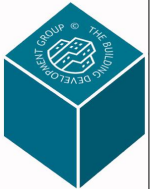
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title:
ELEVATIONS

date drawn:
08-Feb-19

scale:
1:100

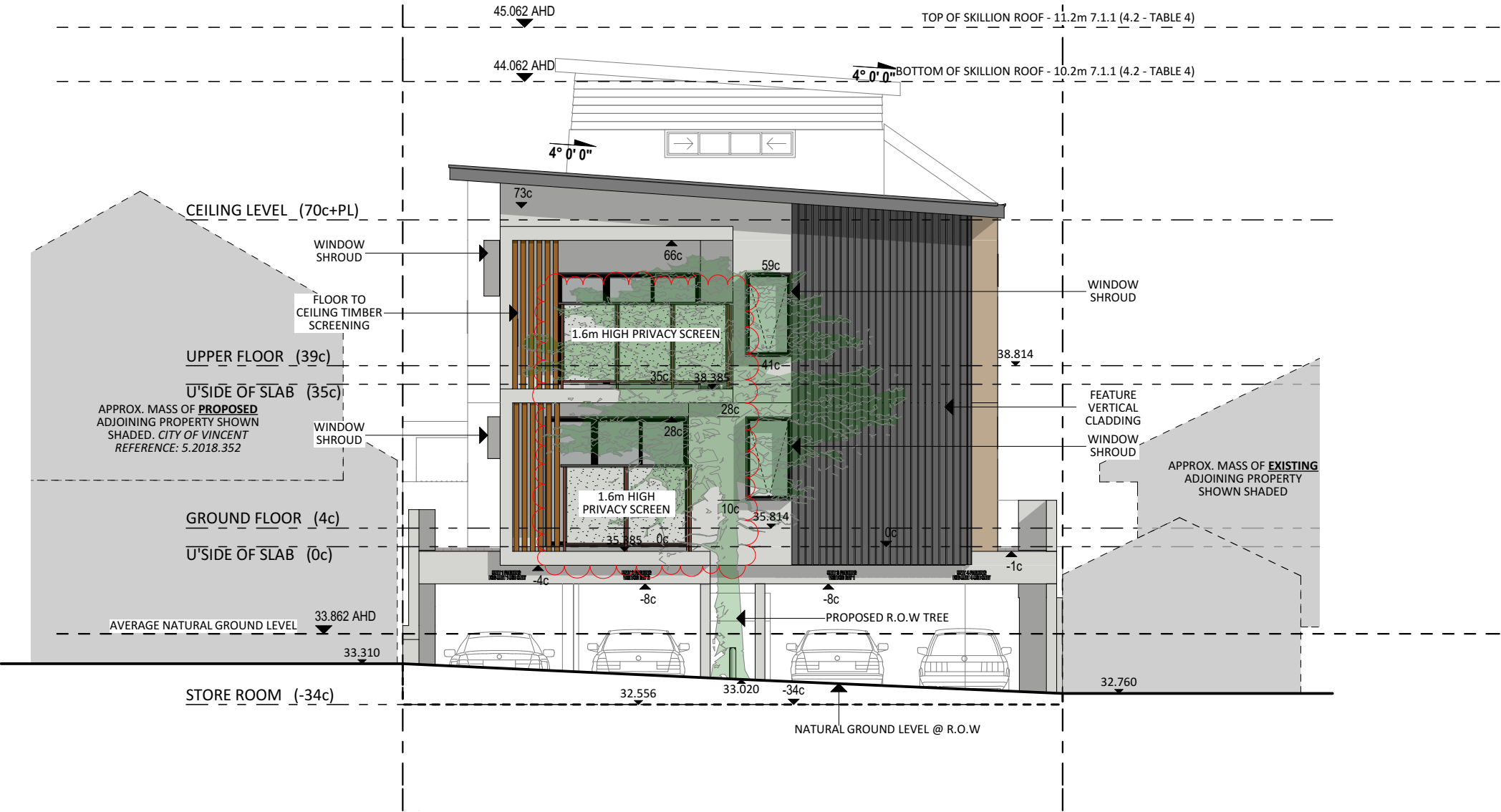
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A3

drawing no:
A-11

revision:
REV G

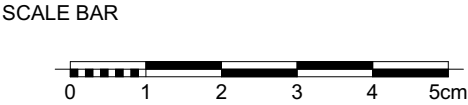
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3 **R.O.W. / SOUTH WEST ELEVATION**
SCALE: 1:100

project name:
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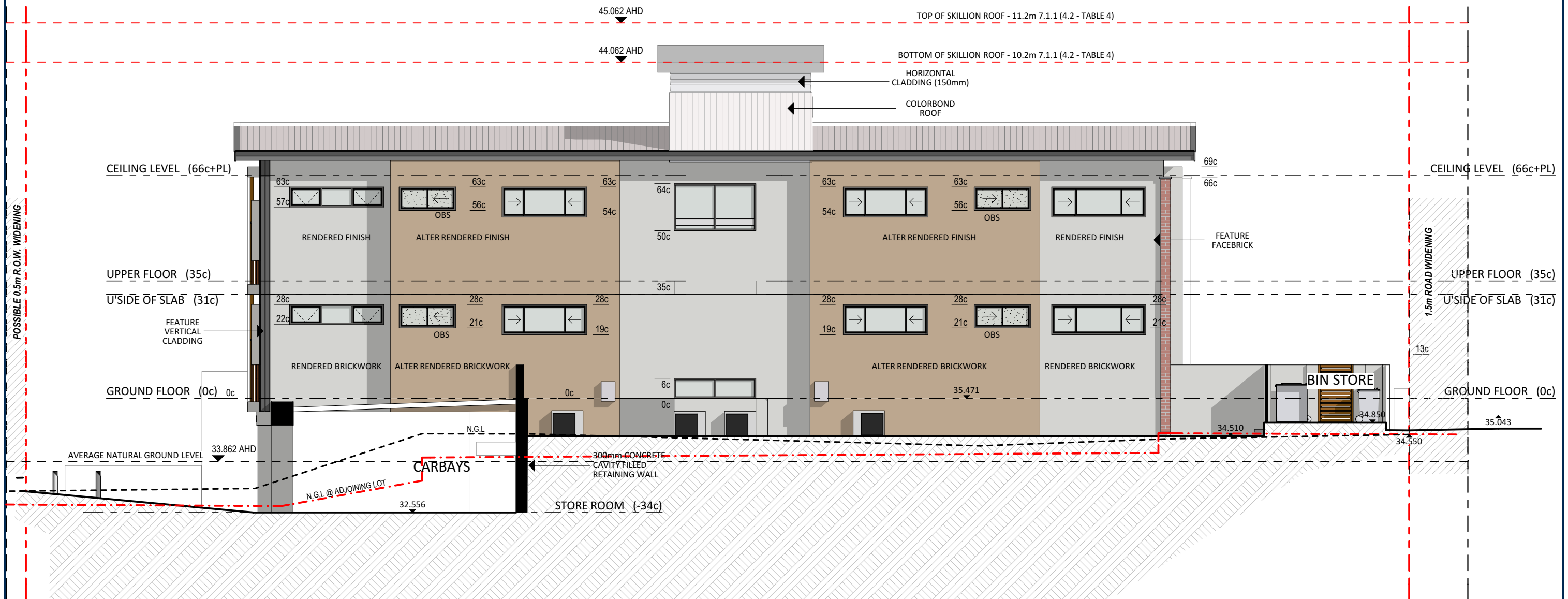
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title: ELEVATIONS		drawing no: A-12
date drawn: 08-Feb-19	scale: 1:100	sheet size: A3
		revision: REV G

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NOTE:
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4 **SOUTH EAST ELEVATION**
SCALE: 1:100

project name:

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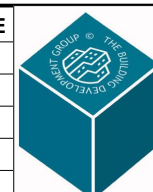
SCALE BAR



REVISION DESCRIPTION

REV	REV. DATE
A	26-03-18
B	10-04-18
C	16-04-18
D	09-10-18
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title:
ELEVATIONS

date drawn:
08-Feb-19

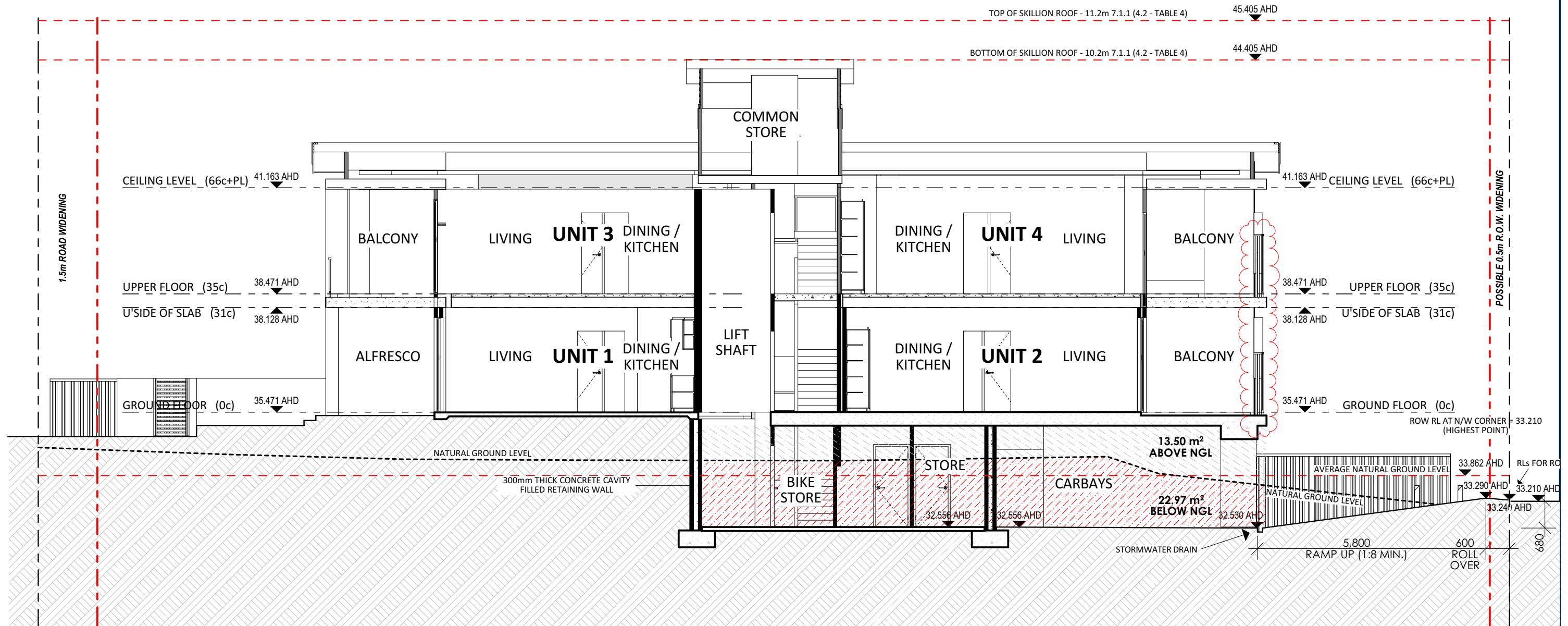
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sheet size:
A3

drawing no:
A-13

revision:
REV G

CITY OF VINCENT
RECEIVED
8 February 2019



SECTION A
SCALE: 1:100

project name:

PROPOSED 4 x MULTIPLE DWELLINGS

address:

**LOT 162 (#377) WALCOTT STREET
COOLBINIA**

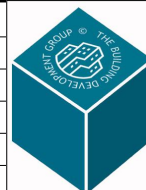
SCALE BAR



REVISION DESCRIPTION

REV	REV. DATE
A	26-03-18
B	10-04-18
C	16-04-18
D	09-10-18
E	2-11-18
F	14-01-19
G	08-02-19

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Building Development Group Pty Ltd

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Architecture
Sub-division
Planning
Feasibility
Development
Design
Construction

title:
SECTION (UNDERCROFT NGL)

drawing no:
A-14

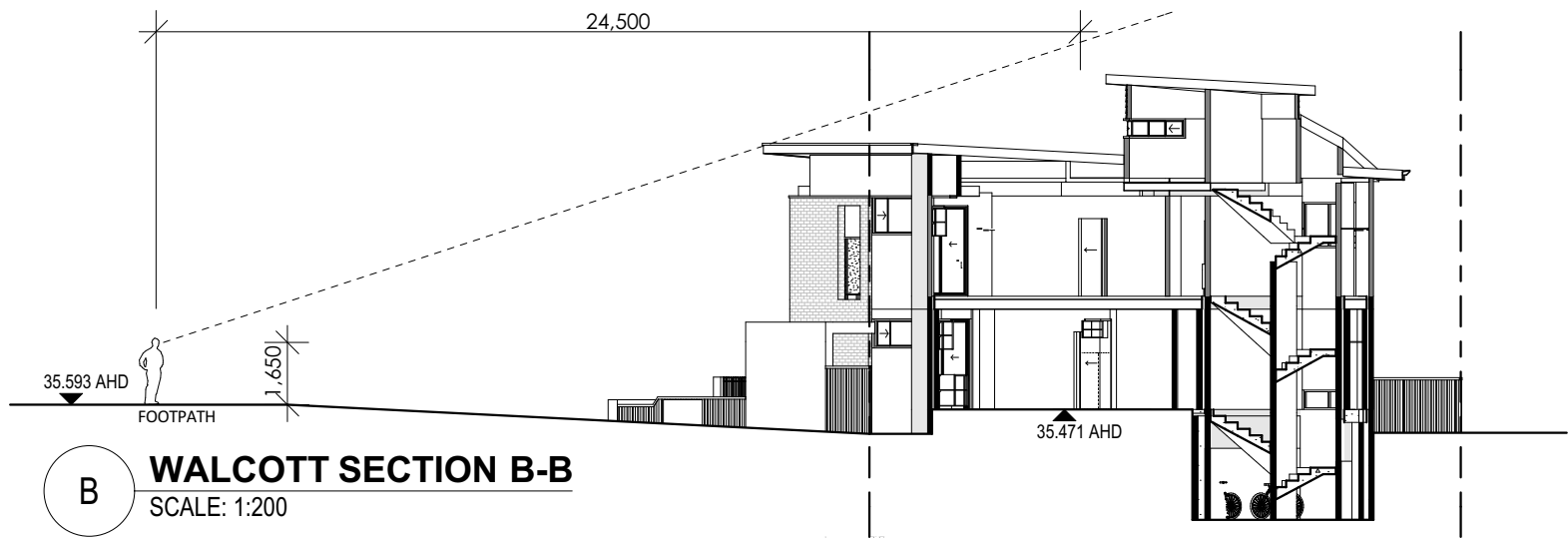
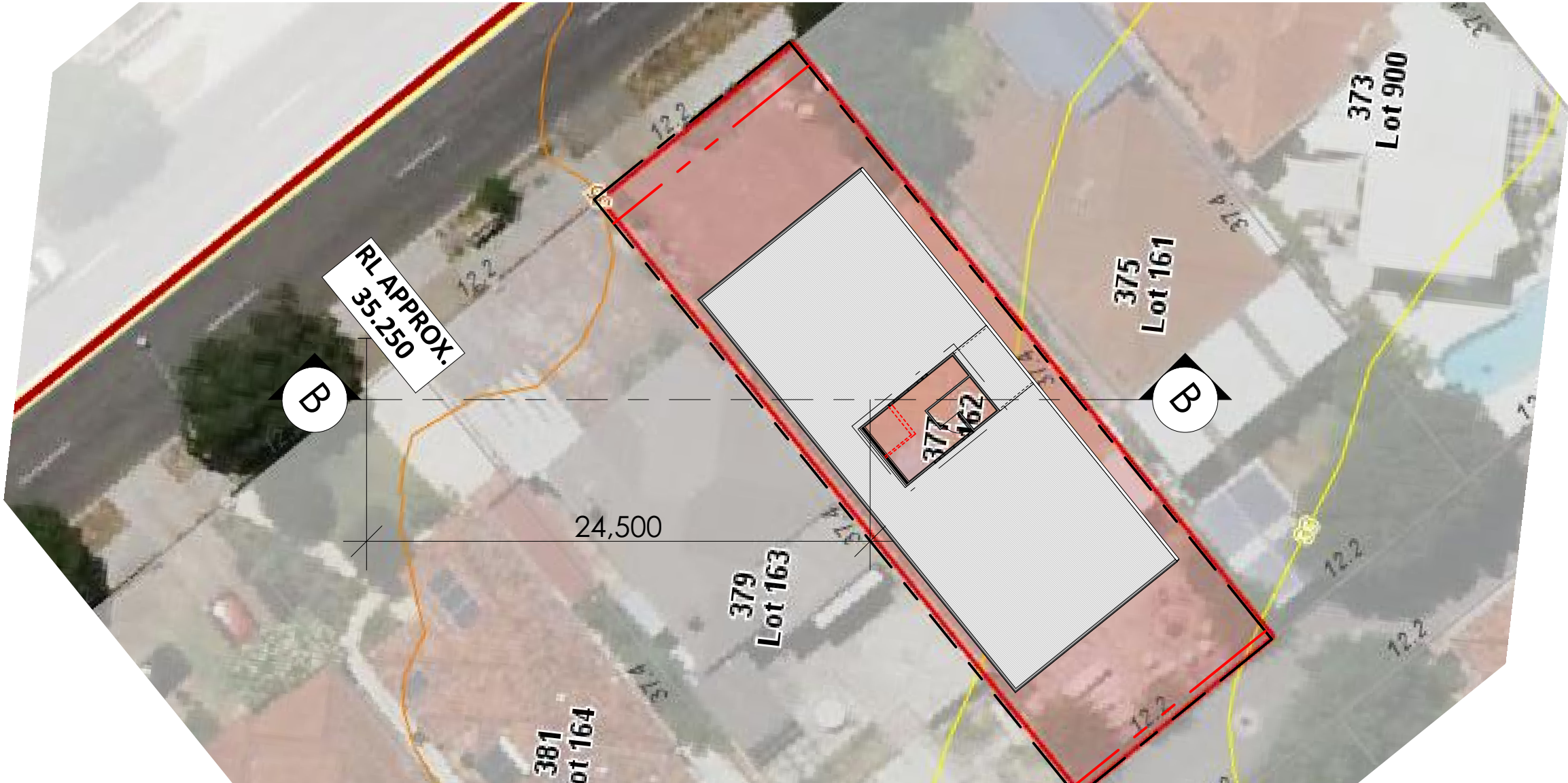
date drawn:
08-Feb-19

scale:
1:100

sheet size:
A3

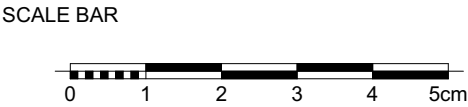
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REVISION DESCRIPTION	REV	REV. DATE
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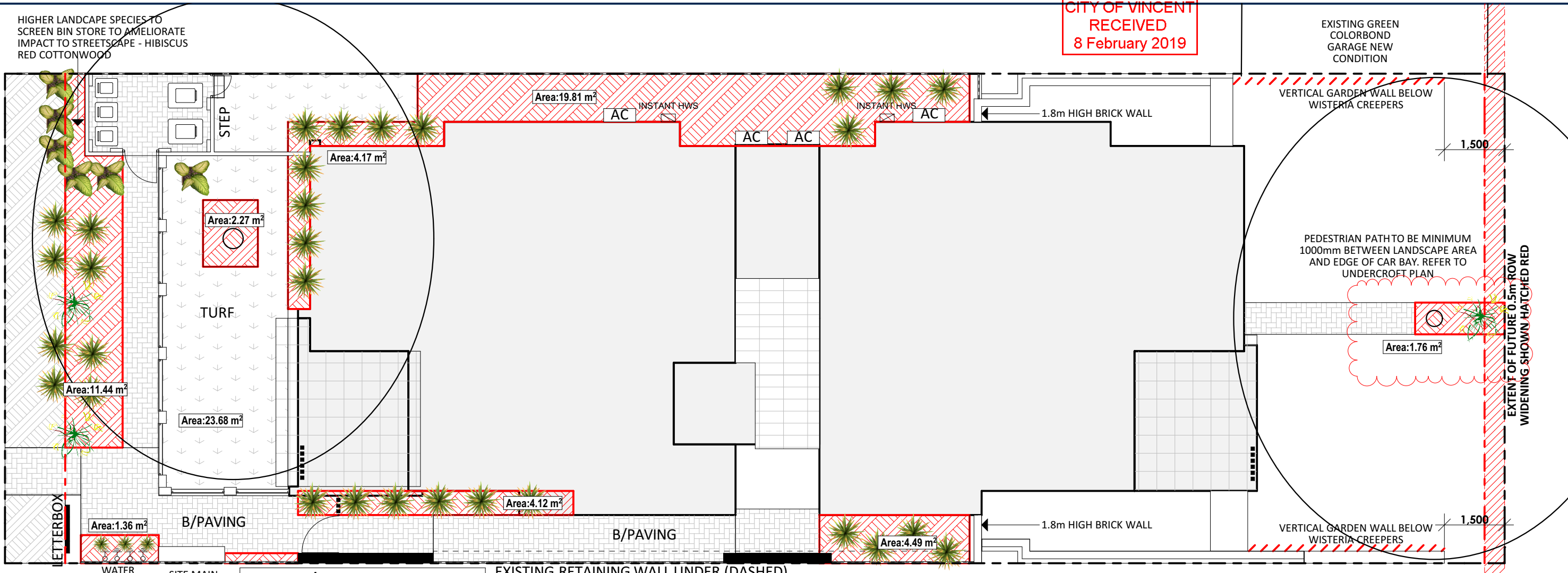
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title: SECTION (VIEW FROM FOOTPATH)	drawing no: A-15
date drawn: 08-Feb-19	scale: 1:200, 1:250
sheet size: A3	revision: REV G



PLANT LEGEND (EXCLUDING SHADING PLANTS)

- KANGAROO PAW PYRUS USSURIENSIS
14cm POTS PLANTED @ 1m x 1m CENTRES
H: 500mm , W: 1000mm AT MATURITY
- FLAX LILY DIANELLA PURNINA CULTIVARS
14cm POTS PLANTED @ 1m x 1m CENTRES
H: 500mm , W: 1000mm AT MATURITY
- HIBISCUS RED COTTONWOOD
MAINTAINED TO 2000mm HEIGHT
- TURF
- MULCH
AMAZON SANDGROPER BRAND
80mm COVER ON 100mm
LANDSCAPE MIX BASE

LANDSCAPING PLAN
SCALE: 1:100

BOLLARD / GATE HOUSE LIGHTING:
TO BE POSITIONED TO ALLUMINATE
FRONT AND REAR PEDESTRIAN
ACCESS

TOTAL AREA (LESS WALCOTT WIDENING): 433.83m2
DEEP SOIL ZONE REQUIRED: 15% | 65.07m2
DEEP SOIL AREA ACHIEVED: 73.71m2

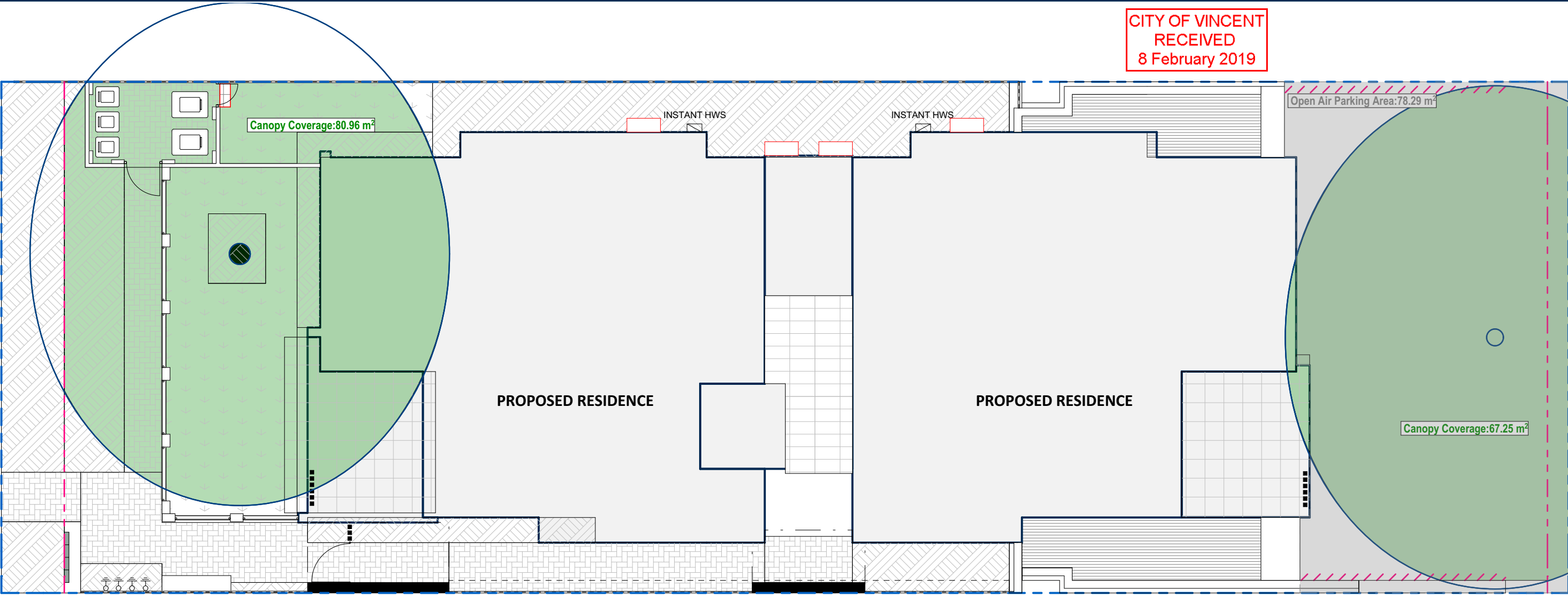
- GARDENS WITH AUTOMATED RETICULATION SYSTEM
- AS CONSTRUCTED PROVIDED TO BODY OF OWNERS FOR "MANAGEMENT STATEMENT"

ONGOING MAINTAINANCE BY THE STRATA COMPANY MANAGER TO INCLUDE:
- REGULAR RETICULATION CHECKS IN SUMMER MONTHS (MINIMUM WEEKLY DURING FIRST 2 SUMMER MONTHS OF ESTABLISHMENT BY DEVELOPER)
- RETIC SYSTEM TO BE SET "OFF" DURING WINTER MONTHS
- DEAD PLANTS TO BE REPLACED
- REMULCH INTERVALS TO BE INITIATED WHEN MULCH HAS REDUCED TO 20mm SURFACE COVER
- UNIT 1 OWNERS TO BE RESPONSIBLE FOR MAINTAINANCE OF FRONT GARDEN AREA OR BODY CORP AGENTS TO BE PERMITTED ACCESS TO MAINTAIN. COST TO BE PASSED ONTO UNIT 1 OWNER

ARCHITECTS + PLANNING
GREG MOORE ARCHITECT
reg: 1426 tel: 0407 447 943

project name: PROPOSED 4 x MULTIPLE DWELLINGS		SCALE BAR 		<table><tr><th>REVISION DESCRIPTION</th><th>REV</th><th>REV. DATE</th></tr><tr><td>Initial DAC Set</td><td>A</td><td>26-03-18</td></tr><tr><td>Changes to Planning/DAC as per meeting</td><td>B</td><td>10-04-18</td></tr><tr><td>Revisions Following Shire Meeting / Pre DAC</td><td>C</td><td>16-04-18</td></tr><tr><td>Council Changes/Flip Apartments / Post DAC</td><td>D</td><td>09-10-18</td></tr><tr><td>Revised elevation and landscaping plans for DAC and DA</td><td>E</td><td>2-11-18</td></tr><tr><td>Revised Planning Drawings. Changes as clouded</td><td>F</td><td>14-01-19</td></tr><tr><td>U/croft parking amended. Balcony screening added</td><td>G</td><td>08-02-19</td></tr></table>		REVISION DESCRIPTION	REV	REV. DATE	Initial DAC Set	A	26-03-18	Changes to Planning/DAC as per meeting	B	10-04-18	Revisions Following Shire Meeting / Pre DAC	C	16-04-18	Council Changes/Flip Apartments / Post DAC	D	09-10-18	Revised elevation and landscaping plans for DAC and DA	E	2-11-18	Revised Planning Drawings. Changes as clouded	F	14-01-19	U/croft parking amended. Balcony screening added	G	08-02-19	 <table><tr><td colspan="2">Building Development Group Pty Ltd</td><td>Architecture Sub-division Planning Feasibility Development Design Construction</td></tr><tr><td colspan="3">Suite 5, 18-22 Riseley St. Ardross WA, 6153 P: 08 9364 9550 E: bdgwa@westnet.com.au</td></tr></table>		Building Development Group Pty Ltd		Architecture Sub-division Planning Feasibility Development Design Construction	Suite 5, 18-22 Riseley St. Ardross WA, 6153 P: 08 9364 9550 E: bdgwa@westnet.com.au		
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address: LOT 162 (#377) WALCOTT STREET COOLBINIA				<table><tr><td colspan="2">title: LANDSCAPE PLAN</td><td>drawing no: A-04</td></tr><tr><td>date drawn: 08-Feb-19</td><td>scale: 1:100</td><td>sheet size: A3</td></tr><tr><td colspan="2">© copyright this plan shall remain the sole property of B.D.G. pty ltd and must not be given, lent, resold, hired out or otherwise disposed of or copied without the permission in writing from B.D.G. pty ltd</td><td>revision: REV G</td></tr></table>		title: LANDSCAPE PLAN		drawing no: A-04	date drawn: 08-Feb-19	scale: 1:100	sheet size: A3	© copyright this plan shall remain the sole property of B.D.G. pty ltd and must not be given, lent, resold, hired out or otherwise disposed of or copied without the permission in writing from B.D.G. pty ltd		revision: REV G																							
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PLANT LEGEND (SHADING PLANTS ONLY)



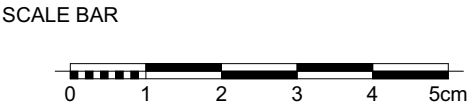
LONDON PLANE TREE - PLATANUS ACERIFOLIA
NOTE: ALTERNATIVE PLANT IS AGREED TO BE SELECTED USING THE CITY OF VINCENT RECOMMENDED LIST
WIDTH : 12m (FRONT) 10m (REAR)
HEIGHT: 12m (FRONT) 10m (REAR)

TOTAL AREA (LESS WALCOTT WIDENING): 433.83m2
SITE CANOPY AREA REQUIRED: 30% | 130.15m2
CANOPY AREA ACHIEVED: 148.11m2

OPEN AIR PARKING AREA: 78.29m2
SITE CANOPY AREA REQUIRED: 80% | 62.32m2
CANOPY AREA ACHIEVED: 67.25m2

CANOPY COVERAGE PLAN
SCALE: 1:100

project name:
PROPOSED 4 x MULTIPLE DWELLINGS



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title: CANOPY COVER	drawing no: A-05
date drawn: 08-Feb-19	scale: 1:100
sheet size: A3	revision: REV G



FOR ILLUSTRATION PURPOSES ONLY | RIGHT OF WAY ELEVATION



FOR ILLUSTRATION PURPOSES ONLY | RIGHT OF WAY ELEVATION

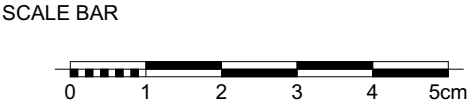


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title:
3D VIEWS AT R.O.W

date drawn:
08-Feb-19

scale:
A3

sheet size:
A3

drawing no:
A-16

revision:
REV G