

SITE SURVEY

ABN: 48 365 708 393

FEATURE SURVEY

DRAWN: S.C SURVEYOR: G.K.

EMAIL: shaun.currey@gmail.com

JOB DETAILS

JOB #	0213S
CUSTOMER	Kevin Deprinzio
LOT	81
STREET	(#2) The Boulevard
SUBURB	Mt Hawthorn
LOCAL AUTH.	City Of Vincent
PLAN	2848
VOL./FOLIO	-/-
LOCATION	-
MAP REF	247-22/55
DATE	13/10/14
MISCLOSE	0.000m
AREA	570m ²
COASTAL	NO
SERVICES	
ELEC.	O/HEAD
WATER	YES
SEWER	YES
GAS	YES (CHECK ALINTA)
PHONE	YES
F'PATH	CONCRETE
ROAD	BITUMEN
KERB	NON MT.
DRAINAGE	GOOD
SOIL	SAND

Charles (Bush) Parker
Licensed Surveyor
A.B.N 81906881373

P.O. BOX 22 NORTH BEACH W.A. 6020
bushparker.wa@gmail.com

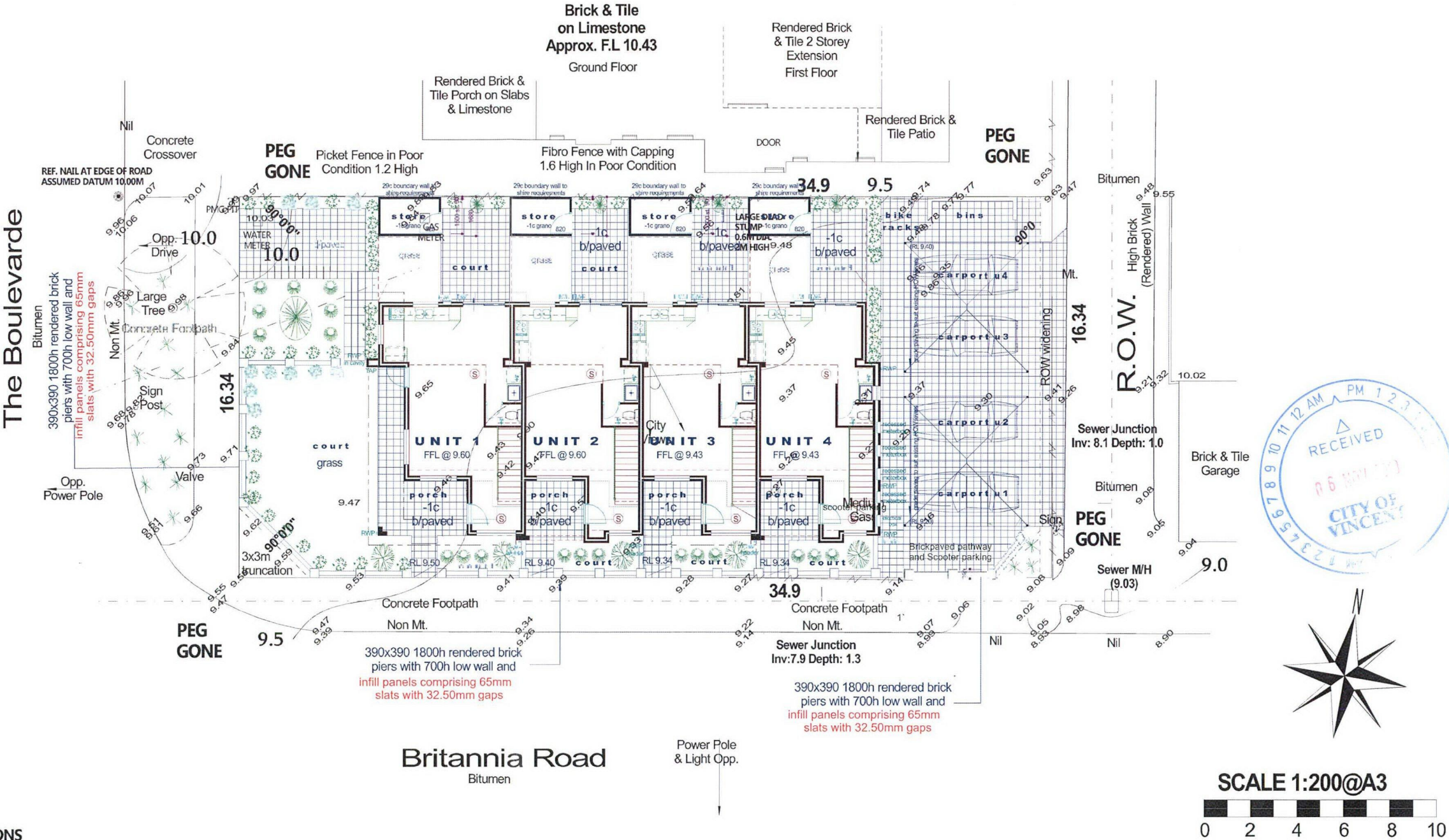
NOTE:
ADVISE TRADES: OVERHEAD POWER LINES

NOTE:
PLEASE CHECK TITLE FOR EASEMENTS AND NOTIFICATIONS

NOTE:
DUE TO LACK OF SURVEY MARKS / PEGS, ALL BUILDING OFFSETS,
DIMENSIONS & FEATURES ARE POSITIONED FROM EXISTING PEGS /
FENCES / WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT
AND ARE TO BE VERIFIED WITH A REPEG CERTIFICATE.

NOTE:
ALL SEWER DETAILS PLOTTED FROM WATER CORP. INFORMATION

NOTE:
SC DRAFTING ACCEPTS NO RESPONSIBILITY FOR ANY ON SITE PHYSICAL
CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN
ON THIS SURVEY INCLUDING ADJOINING NEIGHBOURS LEVELS AND
FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.



SITE PLAN
GROUND FLOOR

design
RIGHT
Craig 0438 975 039
designright@bigpond.com

Proposed Works at:
Lot 81 #2 The Boulevard, Mt Hawthorn
For:
Di Prinzio
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Revision	
Drawn	: KDP
Date	: 23/10/18
Scale	: 1:200
Sheet	: 1 of 7

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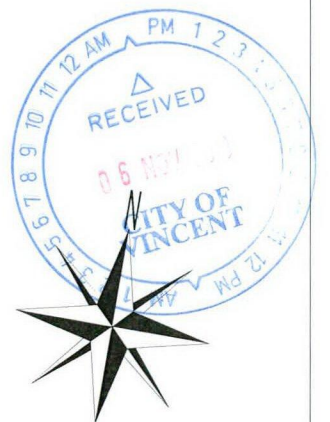
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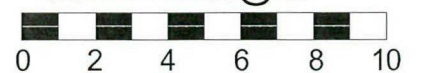
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SCALE 1:200@A3



SITE PLAN

UPPER FLOOR



Proposed Works at:

Lot 81 #2 The Boulevard, Mt Hawthorn

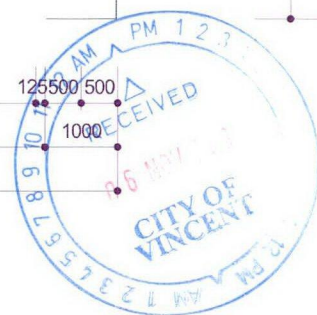
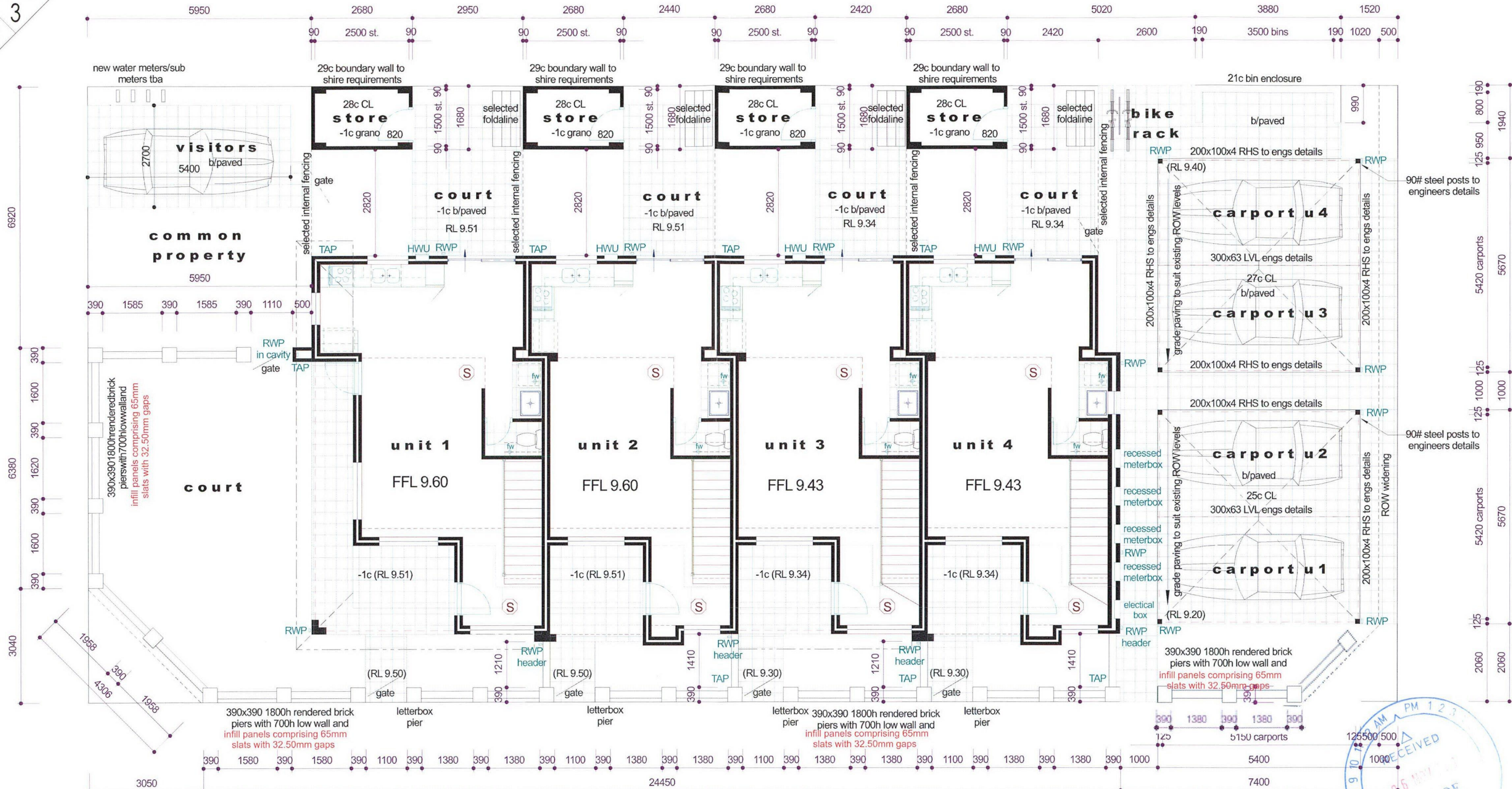
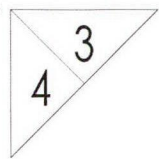
For:

Di Prinzio

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Revision

Drawn : KDP
Date : 23/10/18
Scale : 1:200
Sheet : 2 of 7



Unit 1

ground	45.19m ²
upper	36.93m ²
subtotal	82.12m ²
porch	14.30m ²
store	4.50m ²
balcony	6.42m ²
carport	15.12m ²

Unit 2

ground	41.14m ²
upper	35.83m ²
subtotal	80.77m ²
porch	6.92m ²
store	4.50m ²
balcony	6.42m ²
carport	15.12m ²

Unit 3

ground	43.51m ²
upper	36.93m ²
subtotal	80.44m ²
porch	6.35m ²
store	4.50m ²
balcony	6.42m ²
carport	15.12m ²

Unit 4

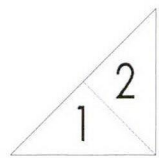
ground	47.01m ²
upper	38.10m ²
subtotal	85.11m ²
porch	6.92m ²
store	4.50m ²
balcony	6.42m ²
carport	15.12m ²

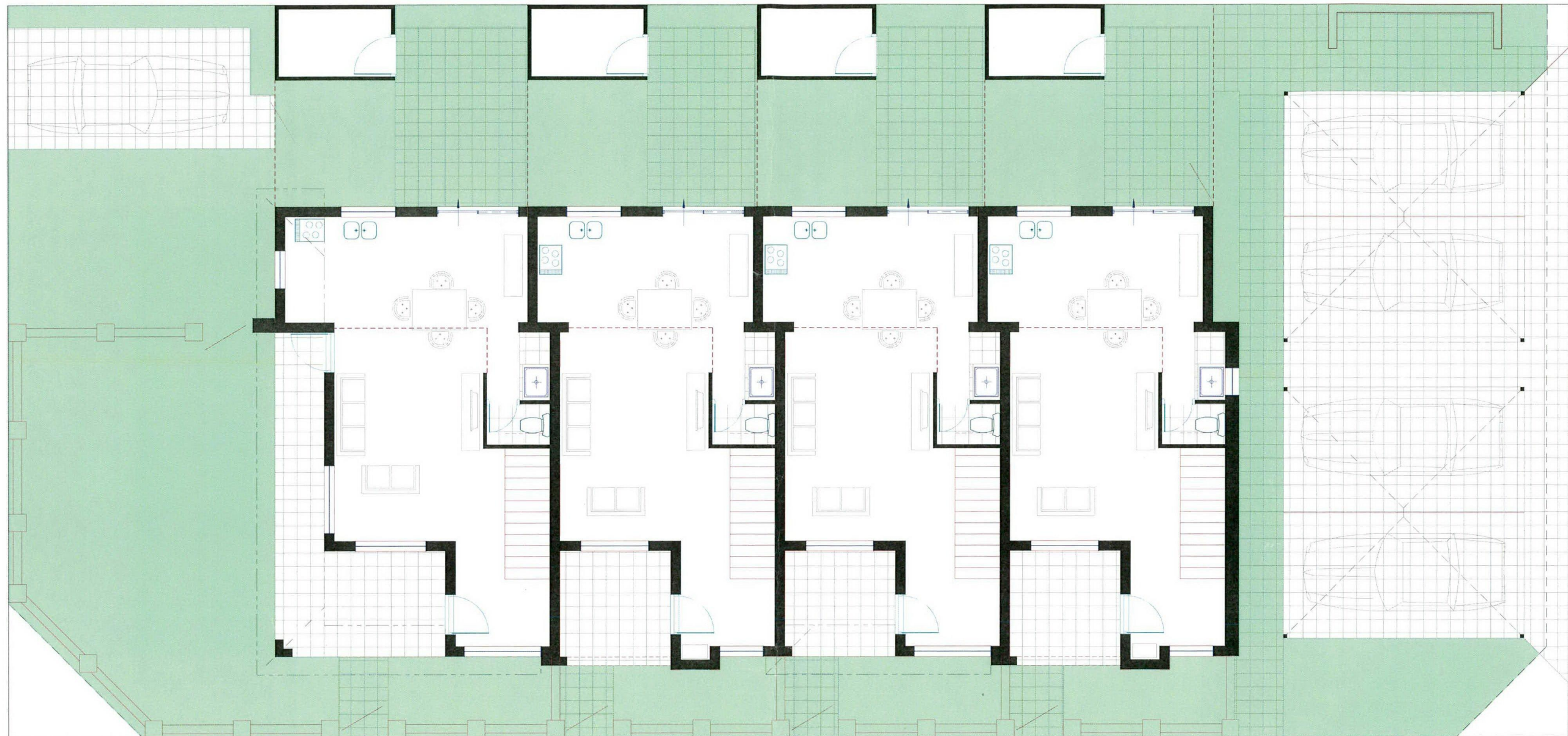
Plot Ratio

site area	570m ²
plot ratio %	0.57
plot ratio m ²	328m ²

Open Space

site area	570m ²
site cover m ²	271m ²
open space m ²	299m ²
open space %	52%





CLIENT NOTE

Design Concepts are subject to council approvals, engineers details, site survey and energy efficiency requirements.

Landscaping Requirements

1) 30% site area	
Required	166m ²
Provided	234m ²
Complies	YES



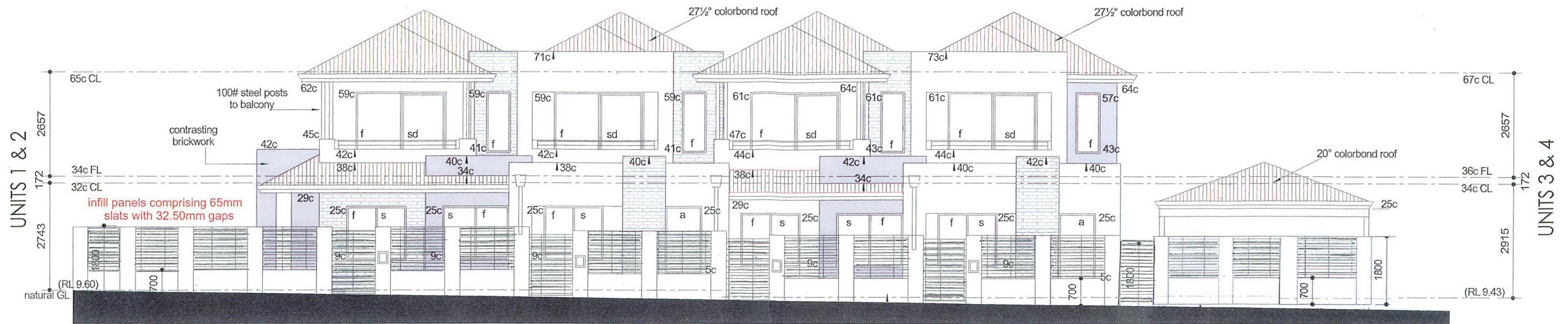
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Revision

Drawn : KDP
 Date : 23/10/18
 Scale : 1:100
 Sheet : 5 of 7

LANDSCAPING
 GROUND FLOOR

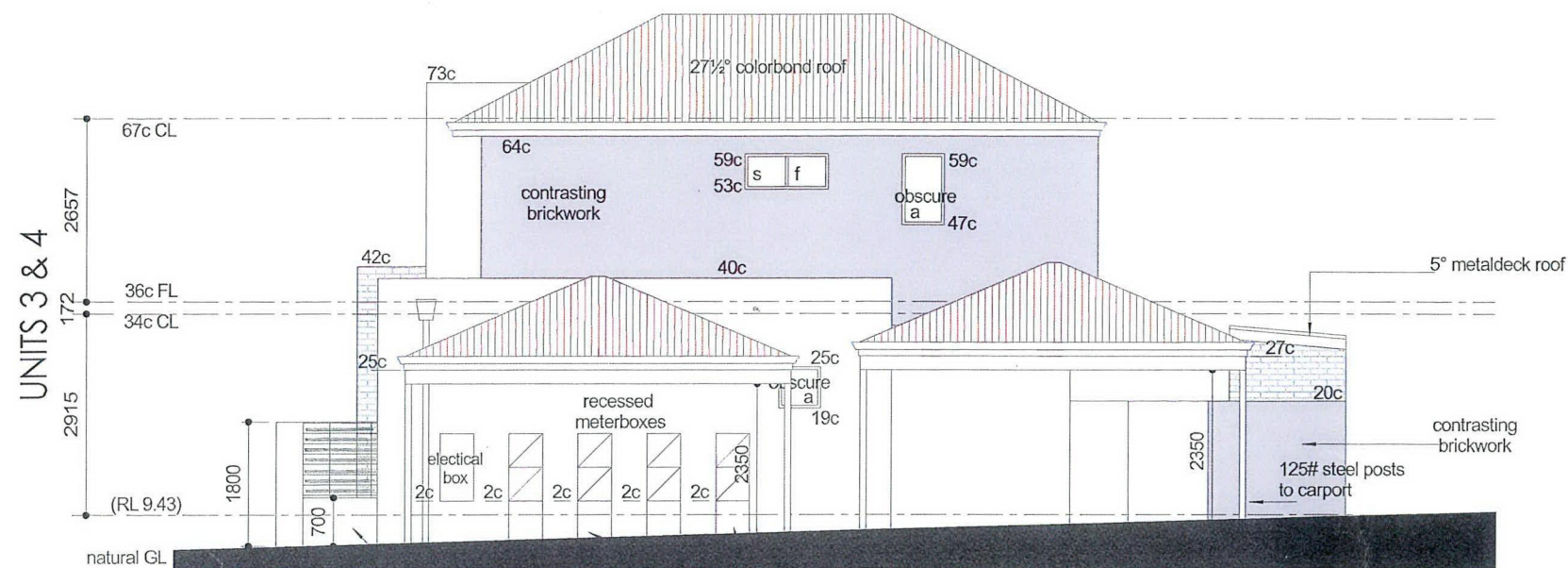


Elevation 1

elevations comprising of rendered brickwork, contrasting rendered brickwork, feature brickwork with 27 1/2° pitched colorbond roof.

390x390 1800h rendered brick piers with 700h low wall and infill panels comprising 65mm slats with 32.50mm gaps

390x390 1800h rendered brick piers with 700h low wall and infill panels comprising 65mm slats with 32.50mm gaps



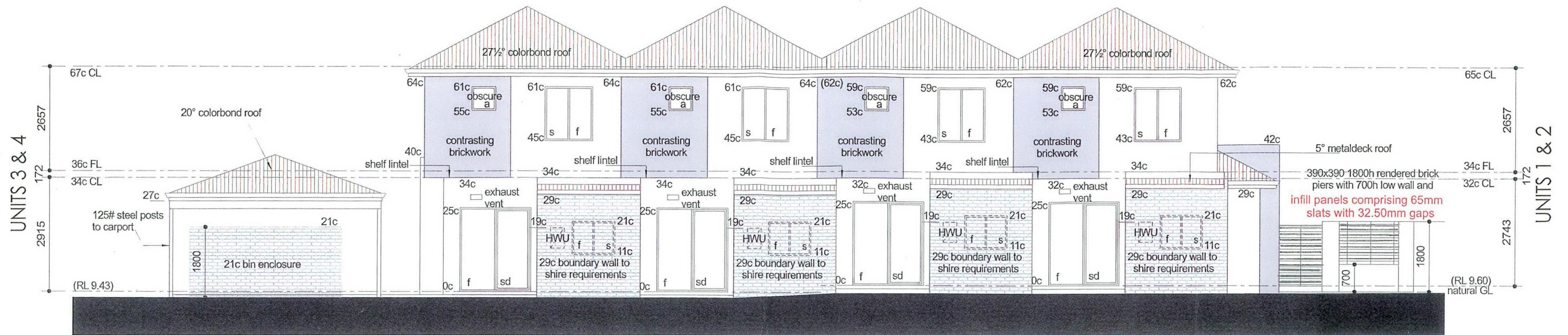
Elevation 2

elevations comprising of rendered brickwork, contrasting rendered brickwork, feature brickwork with 27 1/2° pitched colorbond roof.

390x390 1800h rendered brick piers with 700h low wall and infill panels comprising 65mm slats with 32.50mm gaps

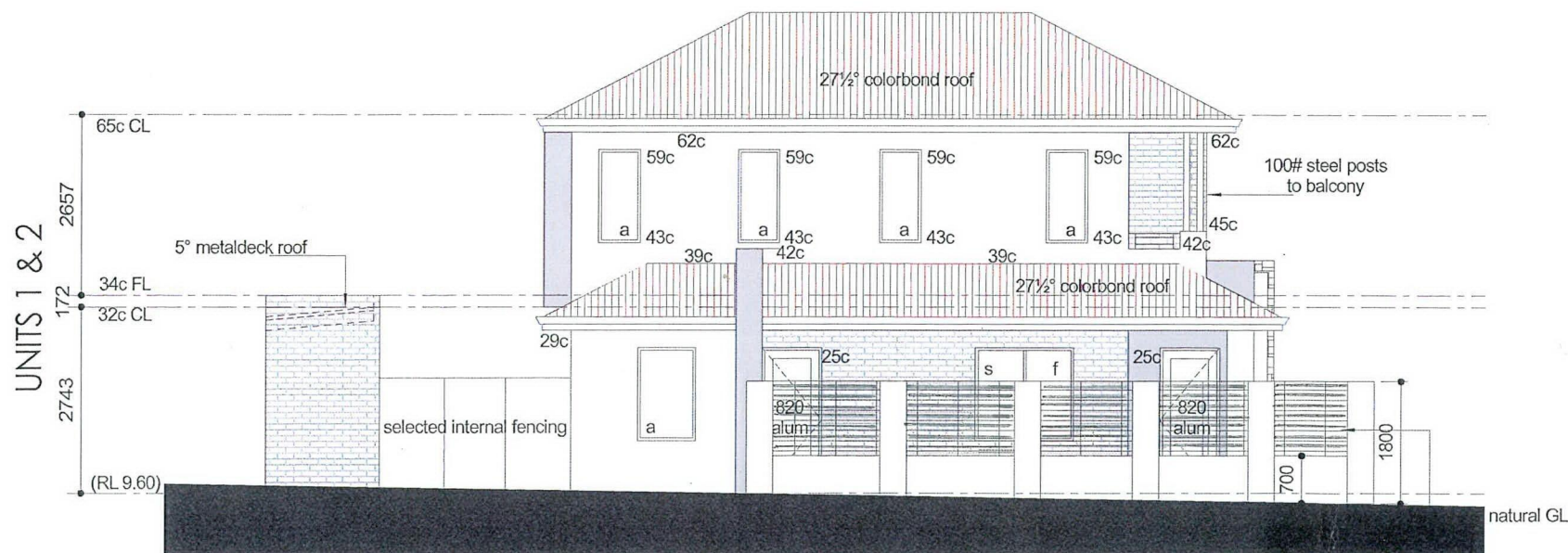
recess bwk under m/boxes to suit plumbers requirements





Elevation 3

elevations comprising of rendered brickwork, contrasting rendered brickwork, feature brickwork with 27 1/2° pitched colorbond roof.



Elevation 4

elevations comprising of rendered brickwork, contrasting rendered brickwork, feature brickwork with 27 1/2° pitched colorbond roof.

390x390 1800h rendered brick piers with 700h low wall and infill panels comprising 65mm slats with 32.50mm gaps