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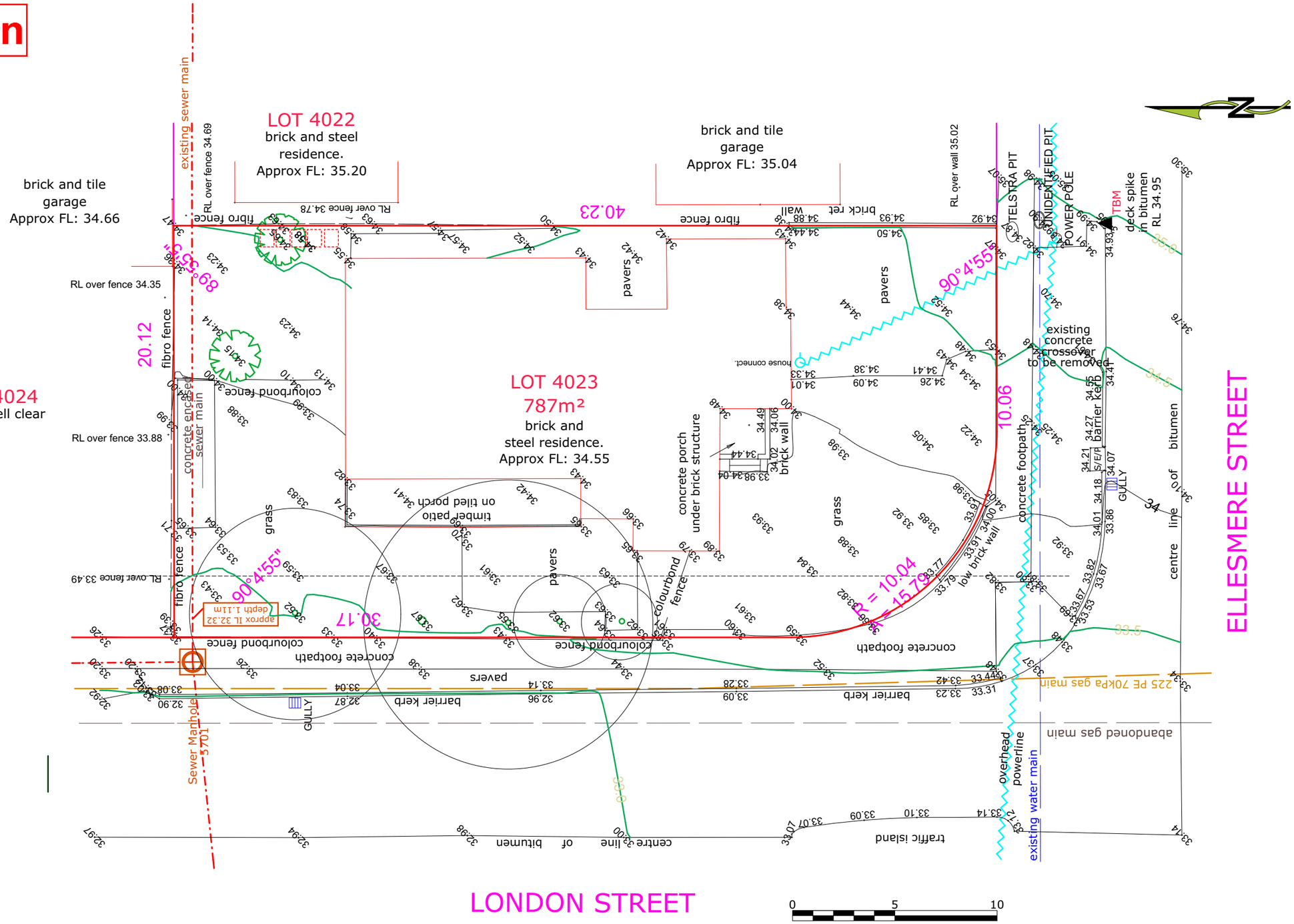

TBM deck spike in bitumen equals RL 34.95 AHD Based on sewer manhole 5702 RL 33.25 AHD (Water Corp e-plan) Contractor to check datum before adopting levels	Date: 11 November 2014 / Scale 1:200@A3 Client: Tiger Developments Position and depth of services to be confirmed on site by contractor. **Note:** Features are related to fence-lines only. No connection made to boundaries. ***REPEG RECOMMENDED***	FEATURE AND CONTOUR SURVEY OF LOT 4023 ON DEPOSITED PLAN 205285 24 Ellesmere Street, North Perth C/T Vol: 1155 Fol: 418 our ref. 4460-14	Feature Survey by THE LAND DIVISION PLANNING | SURVEYING | DESIGN PO Box 2444, Malaga, WA 6090 Tel 089 209 3232 Fax 089 249 2551

NOTES: 1) CONSULT LEGAL ADVICE ON EASEMENTS, ENCUMBRANCES AND CAVEATS THAT MAY APPEAR ON THE CERTIFICATE OF TITLE.
2) LEVELS ON ADJOINING PROPERTIES ARE APPROXIMATE DUE TO ACCESS RESTRICTIONS. 3) SERVICES PLOTTED AS VISUALLY SEEN ON SITE AND ARE APPROXIMATE.
4) SEWER POSITION AND LEVELS FROM WATER CORPORATION PLANS. 5) CONSULT DIAL BEFORE YOU DIG TO CHECK LOCATION OF UNDERGROUND SERVICES. 6) BEWARE OF OVERHEAD POWER LINE HAZARDS.
7) CONSULT TLD ON ANY ANOMOLY BEFORE DESIGN AND CONSTRUCTION.

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SCALE: 1:200
PRINTED DATE:13/02/2019
SHEET: 2 of 10

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CLIENT
TIGER DEVELOPMENTS
PROPOSED RESIDENCE
LOT 4023 (#24) ELLESMERE STREET, NORTH PERTH
HOUSE TYPE: INDIVIDUAL

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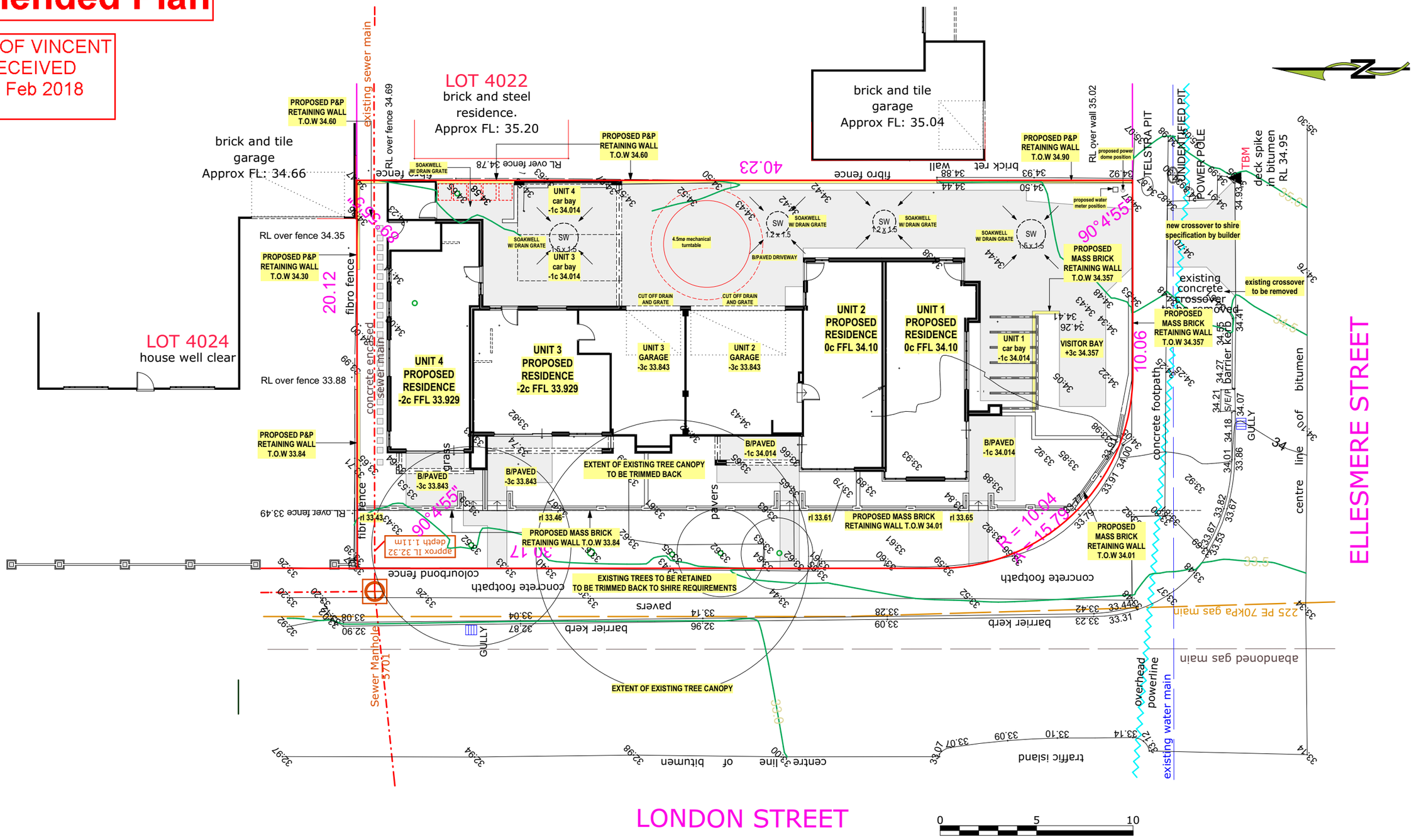

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Feature Survey by
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Soak Well Type	No.	
SW 1200x1500	2	3.4 m3
SW 1500x1500	2	5.3 m3
Total Capacity		8.7 m3
Roof Area GF		34.0 m2
Paved Area		286.0 m2
Roof Area UF		340.0 m2
Total Area		**660.0 m2**
Capacity Required (Area x 0.0125)		**8.3 m3**
Extra Capacity Provided		**0.4 m3**

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE

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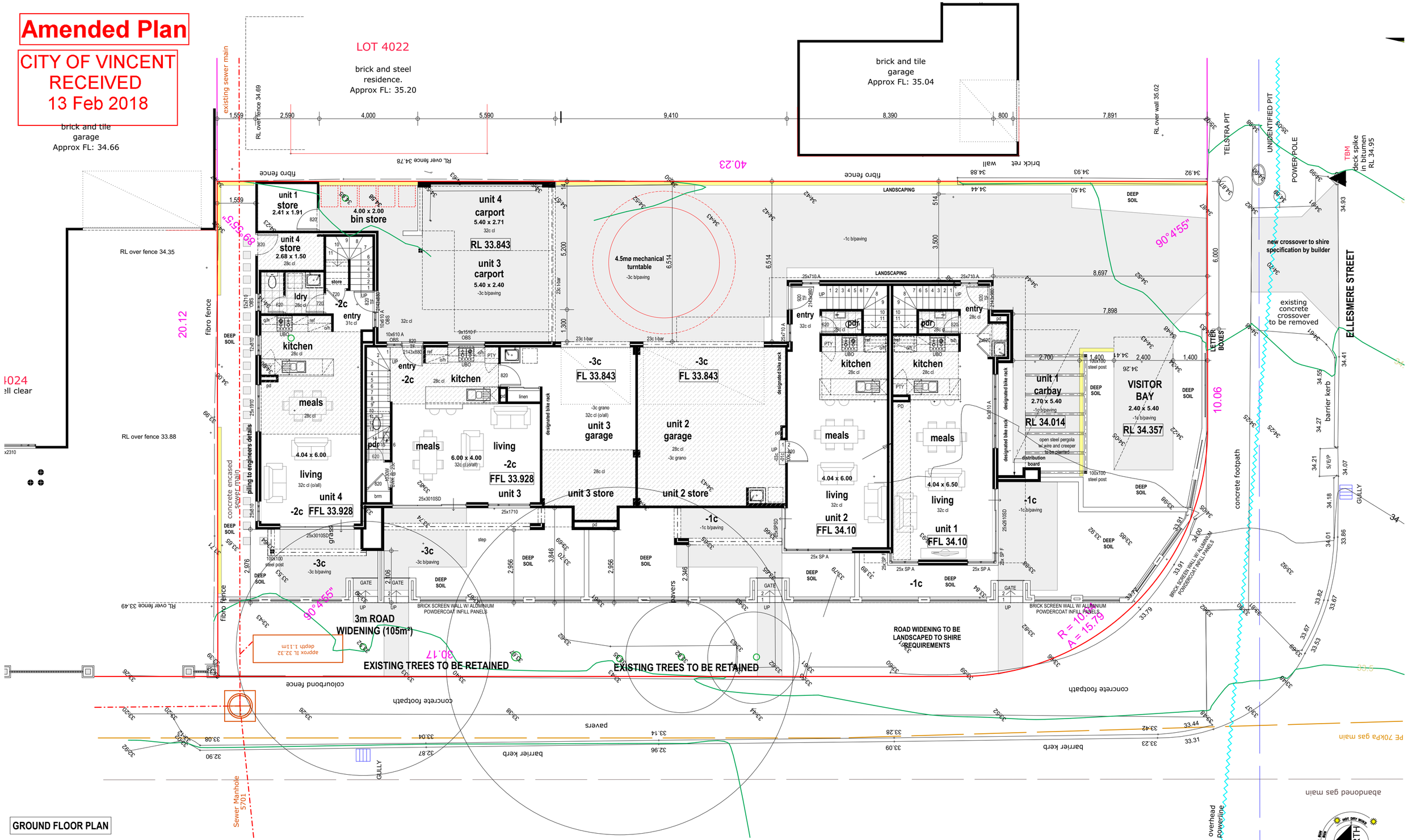

GROUND FLOOR PLAN

AREA Floor Area Calculation - UNIT 4			
FLOOR	NAME	AREA	PERIMETER
Ground			
	ground floor	51.338	34.450
	carport	15.120	16.400
	store	4.805	9.080
		71.263 m²	
First			
	upper floor	66.040	40.330
	terrace	6.861	11.180
		72.901 m²	
		144.164 m²	

AREA Floor Area Calculation - UNIT 3			
FLOOR	NAME	AREA	PERIMETER
Ground			
	ground floor	44.097	27.850
	garage	32.840	26.620
	carport	12.960	15.600
		89.897 m²	
First			
	upper floor	71.201	36.410
	terrace	7.541	11.760
		78.742 m²	
		168.639 m²	

AREA Floor Area Calculation - UNIT 2			
FLOOR	NAME	AREA	PERIMETER
Ground			
	ground floor	46.686	31.030
	garage	41.168	25.700
		87.854 m²	
First			
	upper floor	75.512	44.034
	terrace	6.749	10.560
		82.261 m²	
		170.115 m²	

AREA Floor Area Calculation - UNIT 1			
FLOOR	NAME	AREA	PERIMETER
Ground			
	ground floor	52.033	39.872
	store	5.180	9.180
		57.213 m²	
First			
	upper floor	65.164	40.280
	terrace	4.720	8.720
		69.884 m²	
		127.097 m²	

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SHEET: **4 of 10**

SITE COVER
682m² R40
ACTUAL 356m² 52%

PLOT RATIO CALCULATION:
LOT AREA 787m²
R40 MAX PLOT RATIO = 0.6
ie. 0.6 x 787m² = 472m²

TOTAL 471.8m²
= PLOT RATIO OF 0.599

PLOT RATIO CALCULATION:
LOT AREA 787m²-
ROAD WIDENING 105m²
TOTAL 682m²
R40 MAX PLOT RATIO = 0.6
ie. 0.6 x 682m² = 409m²

TOTAL 471.82m²
= PLOT RATIO OF 0.691

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UPPER FLOOR PLAN

SOVEREIGN BUILDING COMPANY	CLIENT **TIGER DEVELOPMENTS** PROPOSED RESIDENCE **LOT 4023 (#24) ELLESMERE STREET, NORTH PERTH** HOUSE TYPE: **INDIVIDUAL**	THESE ARE THE PLANS REFERRED TO IN THE BUILDING CONTRACT DATE..... OWNER..... OWNER..... BUILDER.....	DRAWN / AMENDMENTS 1/10/18 PLANNING AS 17/12/18 PLANNING AMEND AS	**PLANNING DRAWINGS** *COPYRIGHT* *This plan shall remain the sole property of the builder and must not be given, copied or resold without the permission of SOVEREIGN BUILDING* *Dimensions take preference over scaling & to be checked on site prior to commencing construction*	JOB NO: **A1811** SCALE: 1:100 PRINTED DATE:13/02/2019 SHEET: **5 of 10**

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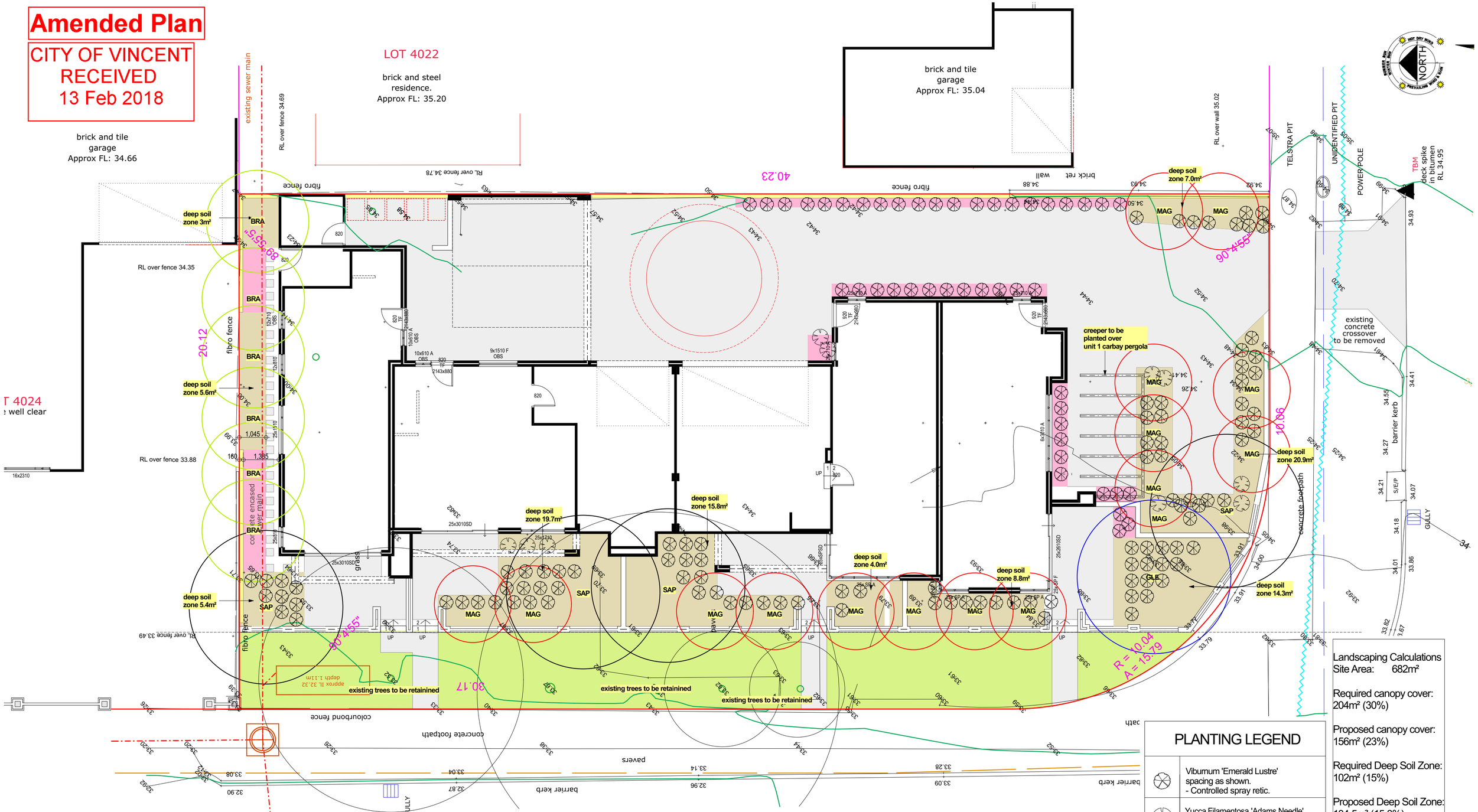

Note:

All lawn and garden beds to be fully reticulated with water authority approved water wise reticulation with automatic timer .
Reticulation type noted under plant/lawn type.

PLANTING LEGEND

	Viburnum 'Emerald Lustre' spacing as shown. - Controlled spray retic.
	Yucca Filamentosa 'Adams Needle', spacing as shown. -Controlled spray retic.

Landscaping Calculations
Site Area: 682m²

Required canopy cover: 204m² (30%)

Proposed canopy cover: 156m² (23%)

Required Deep Soil Zone: 102m² (15%)

Proposed Deep Soil Zone: 104.5m² (15.3%)

LANDSCAPE LEGEND

	Brick paving
	Soft leaf buffalo lawn - controlled spray retic.
	Deep soil zone
	Standard soil zone

Tree schedule

Code	Species	Size	QTY	Mature Canopy	Total Canopy
GLE	Gleditsia Sunburst	100L	1	28m² (6mø)	28m²
SAP	Chinese Tallow	100L	4	20m² (6mø)	80m²
MAG	Magnolia Little Gem	45L	12	7m² (3mø)	84m²
BRA	Bradford Pear	45L	6	12m² (4mø)	72m²

Total: 264m²
39% canopy cover

LANDSCAPING PLAN

SOVEREIGN BUILDING COMPANY

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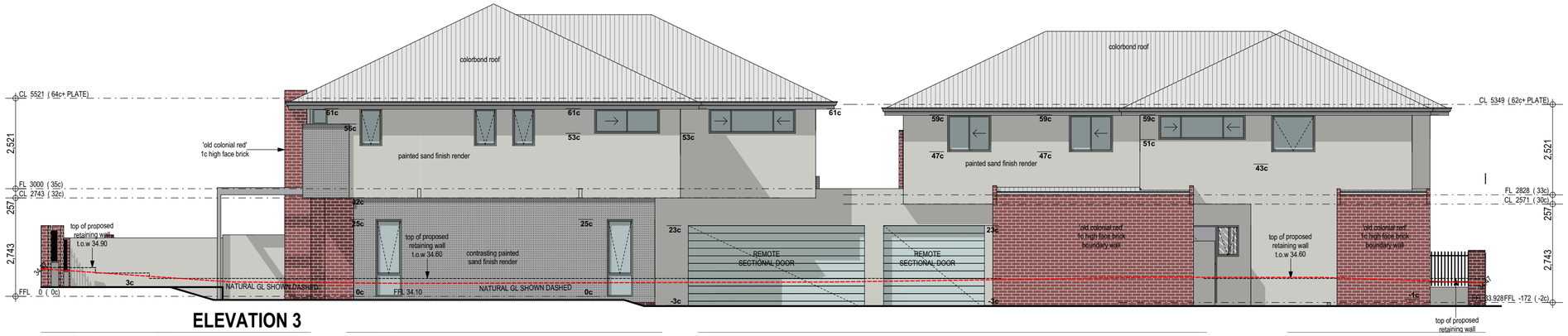
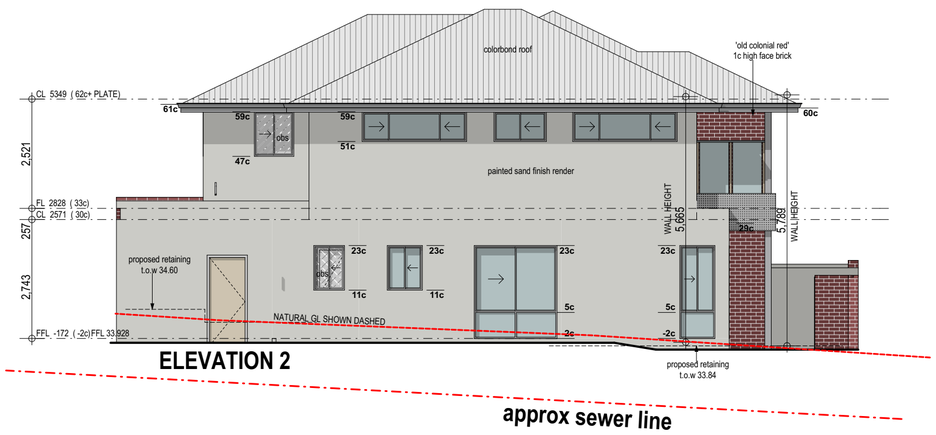
LONDON STREET ELEVATION



ELEVATION 3



ELEVATION 2

ELLESMERE STREET ELEVATION

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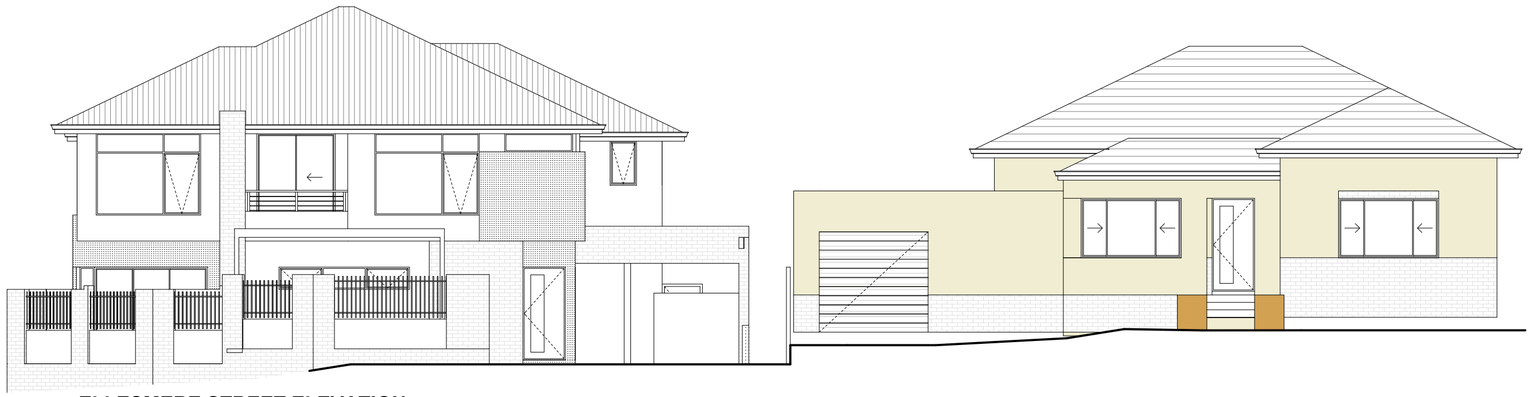

ELLESMERE STREET ELEVATION

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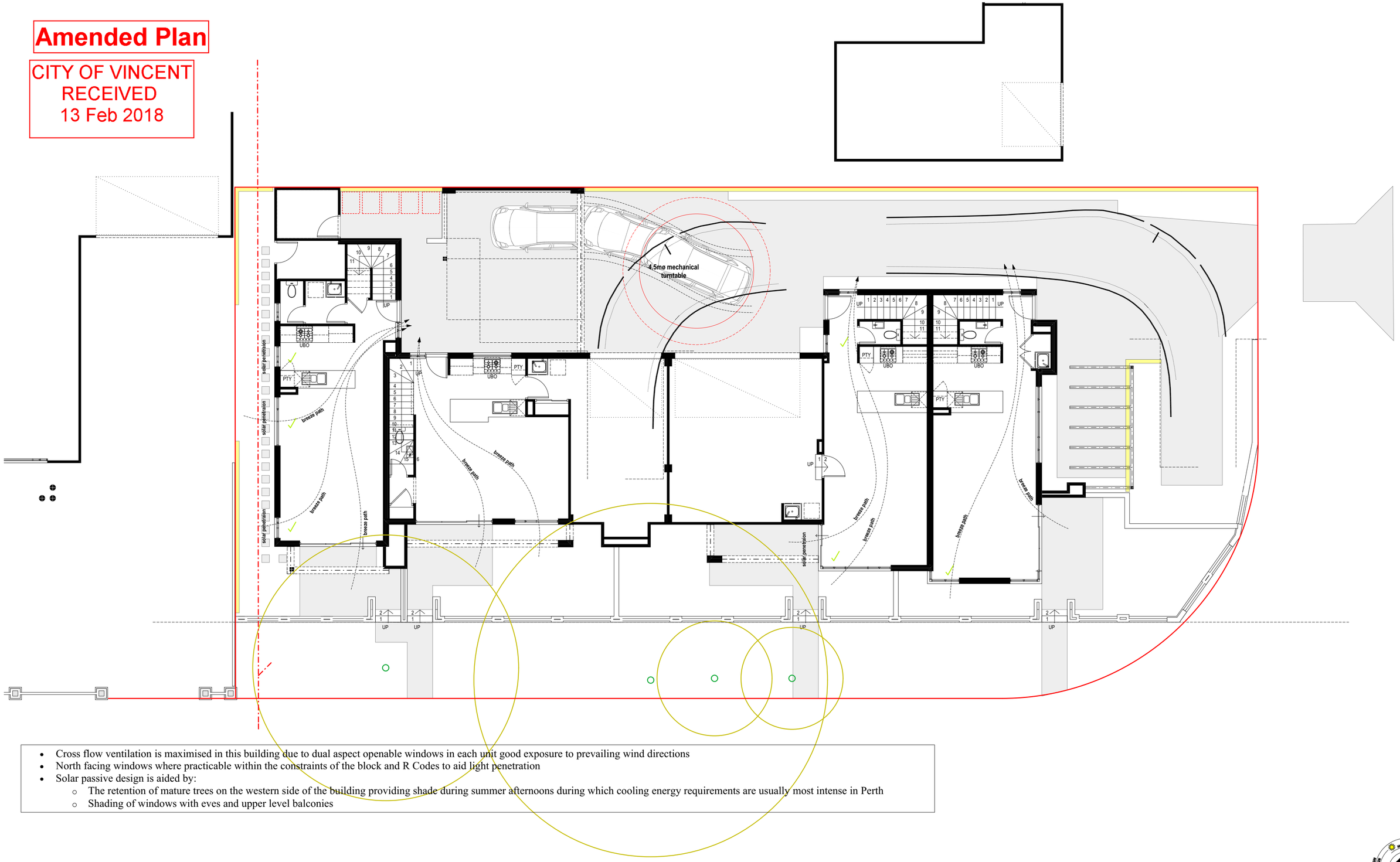

- Cross flow ventilation is maximised in this building due to dual aspect openable windows in each unit good exposure to prevailing wind directions
- North facing windows where practicable within the constraints of the block and R Codes to aid light penetration
- Solar passive design is aided by:
  - The retention of mature trees on the western side of the building providing shade during summer afternoons during which cooling energy requirements are usually most intense in Perth
  - Shading of windows with eves and upper level balconies

GROUND FLOOR PLAN

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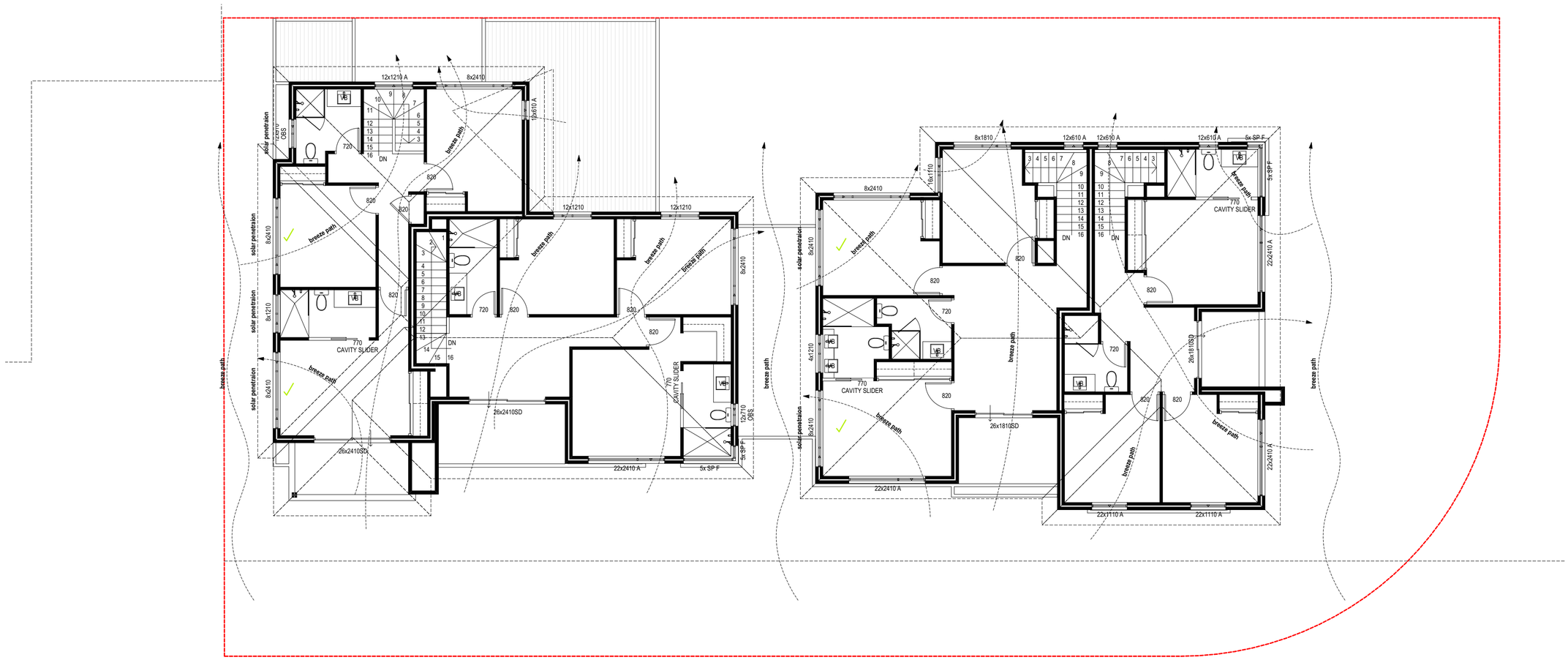

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