



CITY OF VINCENT

AGENDA

Late Reports

Council Briefing

16 July 2019

Time: 6pm
Location: Administration and Civic Centre
244 Vincent Street, Leederville

David MacLennan
Chief Executive Officer

Order Of Business

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5 PLANNING AND PLACE








5.9 OUTCOMES OF ADVERTISING AMENDMENT 1 TO LOCAL PLANNING POLICY NO. 7.1.1 - BUILT FORM; EFFECT OF DESIGN WA; AND INITIATION OF AMENDMENT 2 TO LOCAL PLANNING POLICY NO. 7.1.1 - BUILT FORM

TRIM Ref: D18/196594

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Attachments:

1. Local Planning Policy No. 7.1.1 - Built Form - Current [↓](#) 
2. Local Planning Policy No. 7.1.1 - Built Form - Amendment 1 - Schedule of Modifications [↓](#) 
3. Local Planning Policy No. 7.1.1 - Built Form - Amendment 1 - Track Change [↓](#) 
4. Local Planning Policy No. 7.1.1 - Built Form - Amendment 1 - Summary of Submissions [↓](#) 
5. Local Planning Policy No. 7.1.1 - Built Form - Amendment 2 - Schedule of Modifications [↓](#) 
6. Local Planning Policy No. 7.1.1 - Built Form - Amendment 2 - Track Change [↓](#) 
7. Local Planning Policy No. 7.1.1 - Built Form - Amendment 2 - Untracked [↓](#) 

RECOMMENDATION:

That Council

1. **ENDORSES** Administration's responses to submissions in relation to the advertising of Amendment 1 to Local Planning Policy No. 7.1.1 – Built Form included in Attachment 4;
2. **RESOLVES** not to proceed with Amendment 1 to Local Planning Policy No. 7.1.1 – Built Form included as Attachment 3, pursuant to Schedule 2, Part 2, Clause 5 of the *Planning and Development (Local Planning Schemes) Regulations 2015*;
3. **PREPARES** Amendment 2 to Local Planning Policy No. 7.1.1 – Built Form included as Attachment 6, pursuant to Schedule 2, Part 2, Clause 5 of the *Planning and Development (Local Planning Schemes) Regulations 2015*;
4. **NOTES** that Amendment 2 to Local Planning Policy No. 7.1.1 – Built Form, will be advertised for a period of 28 days pursuant to Schedule 2, Part 2, Clause 5 of the *Planning and Development (Local Planning Schemes) Regulations 2015* and Item 4.2 of Appendix 3 of Policy No. 4.1.5 – Community Consultation.

PURPOSE OF REPORT:

To consider:

- The outcomes of community consultation on Amendment 1 to Local Planning Policy No. 7.1.1 – Built Form (Built Form Policy); and
- Not proceeding with Amendment 1 to the Built Form Policy; and
- Preparing Amendment 2 to the Built Form Policy which includes:
 - The changes proposed as part of Amendment 1, with modification as a result of submissions;
 - A number of additional changes which have arisen in implementing the Policy since September 2018 when Amendment 1 was initiated; and
 - A number of modifications to align the structure and operation of the Built Form Policy to the new State Planning Framework.

BACKGROUND:

The Built Form Policy was adopted by Council on 13 December 2016 (Item 9.1.11) and came into effect on 21 January 2017. A copy of the current Built Form Policy is included as **Attachment 1**.

Amendment 1 to the Built Form Policy was adopted by Council for public comment at its meeting on 18 September 2018 (Item 9.6). The amendment proposed changes to seven areas of the Policy, being Canopy Cover, Deep Soil Areas, Tree Retention, Additions and Alterations, Lot Boundary Setbacks, Built Form Area Objectives, Building Design, Materials and Finishes and Environmentally Sustainable Design. A full explanation of the changes proposed as part of Amendment 1, and the reasons for these changes, is included as **Attachment 2**. A track change version of Amendment 1 to the Policy is included as **Attachment 3**.

Amendment 1 to the Built Form Policy was advertised between 23 October 2018 and 11 December 2018 in accordance with Council's resolution. The City received 27 submissions on Amendment 1. The purpose of this report is to present the results of the community consultation on Amendment 1 and recommend an approach for the next steps to amend the Policy.

On 18 February 2019 the Department of Planning, Lands and Heritage released State Planning Policy 7.3 Residential Design Codes Volume 2 – Apartments (R Codes Volume 2) along with a new State Planning Policy 7.0 – Design of the Built Environment and a Design Review Guide. This new suite of documents represents a substantial change to the State Planning Framework in relation to the built form of new apartment development. It is intended to improve the quality of apartment development across Western Australia through a performance based assessment of proposals and a robust design review process.

In addition to the above, Administration has continued to implement the Built Form Policy and identified further opportunities to improve and refine the document since Amendment 1 to the Built Form Policy was adopted by Council for public comment in September 2018.

As a result of the submissions received, the changes to the State Planning Framework and the opportunities to refine the document, Administration is recommending a number of substantial changes to Amendment 1 to the Built Form Policy. As these changes propose to change the statutory application of the provisions from being deemed-to-comply standards to a performance based assessment and propose a number of content modifications it is considered necessary to advertise the proposed changes for public comment.

Pursuant to Schedule 2, Part 2, Clause 5 of the *Planning and Development (Local Planning Schemes) Regulations 2015* (Regulations) there is no option for the City to proceed with Amendment 1 to the Built Form Policy with modification and the readvertise Amendment 1 for public comment. As the proposed modifications are considered to warrant further consultation it is recommended that the City not proceed with Amendment 1 to the Built Form Policy and instead, prepare a new Amendment 2.

DETAILS:

There are three types of modifications proposed to the Built Form Policy as part of Amendment 2. These include:

- Modifications that were part of Amendment 1, updated as required based on the City's response to submissions received;
- Modifications that are new as a result of the change to the State Planning Framework; and
- Modifications that are new based on further implementing the Built Form Policy since Amendment 1 was adopted by Council in September 2018 for advertising.

A summary of the key matters raised in submissions and through use of the Policy and the responses to those matters, including any recommended changes, is outlined below.

1. Consultation Outcomes

There were three key issues raised during community consultation on Amendment 1. These three issues are summarised below. A full summary of submissions and responses to those submissions is included as **Attachment 4**.

1.1 *Onerous Requirements*

Amendment 1 to the Built Form Policy proposed increased landscaping requirements, required that development achieve Environmentally Sustainable Design (ESD) requirements, and required that development applications complete an urban design study that would demonstrate how the design elements of the locality have been interpreted in the proposed development.

Submitters raised that these draft provisions would increase the cost of preparing a development application and felt that these requirements would be overly onerous and costly to implement.

Administration understands that these requirements would put additional onus on developers, however, it is considered that landscaping and urban design requirements are critical in ensuring high amenity development. It is recommended that these requirements be retained in Amendment 2.

With regards to the ESD requirements, the City is not permitted to impose requirements over and above the requirements of the Building Code of Australia. The requirement in Amendment 1 for development to achieve an ESD standard imposes a requirement that is over and above the requirements of the Building Code of Australia. It is recommended that this inconsistency be removed.

For Volume 1 – Single Houses and Grouped Dwellings the requirement has been modified such that development is required to demonstrate that the development is capable of achieving ESD through a report. This is consistent with the current Built Form Policy.

For Volume 2 and Volume 3 (Multiple Dwellings, Mixed Use and Commercial development) an Acceptable Outcome is proposed requiring that development achieve the recommendations of the ESD reports. It is noted that an Acceptable Outcome is not applied in the same way as a Deemed-to-Comply standard so this is permitted as it is not a requirement over and above the Building Code of Australia.

1.2 *Side & Rear Setbacks*

Amendment 1 to the Built Form Policy proposed side and rear setbacks based on the R Code and Built Form Area of both the development site and adjoining site. The following three general situations would result:

- In situations where higher coded land adjoins lower coded land the setback would be higher to provide a suitable interface between the two sites of different density;
- Where two lower coded sites adjoin one another the setback would depend on the height and length of the development proposed, with larger setbacks required for longer and higher walls; and
- Where two higher coded sites adjoin a standard setback is applied to allow increased development potential for each site.

Amendment 1 also proposed landscaping provisions for deep soil areas, planting areas and canopy coverage.

Submitters raised that the large side and rear setback requirements and landscaping areas would not be achievable on small and narrow sites.

Administration acknowledges that there are varying site constraints that may make these provisions difficult to implement. In these situations the Built Form Policy allows for a site specific design response through the performance based assessment against pathway where the development would be assessed against the principles and objectives of the Policy. On this basis it is recommended that these provisions be retained in Amendment 2.

1.3 *Landscaping Compliance*

Amendment 1 to the Built Form Policy proposed landscaping requirements for deep soil areas, planting areas and canopy coverage.

Submitters raised concern that these provisions would not be followed and that the City could not enforce compliance under these requirements.

In accordance with Schedule 2, Part 8, Clause 63 of the *Planning and Development (Local Planning Schemes) Regulations 2015* (Regulations) the City is able to request that a landscaping plan be provided as part of a development application. The landscaping plan forms part of the development application and subsequent development approval. Where development does not occur in accordance with the development approval the City may take compliance action, to ensure the development is compliant. On this basis it is recommended that these provisions be retained in Amendment 2.

2. State Planning Framework Changes

2.1 *Volumes*

The new State Planning Framework separates State Planning Policy 7.3 – Residential Design Codes into two volumes. Volume 1 deals with development of single houses and grouped dwellings and Volume 2 deals with development of multiple dwellings in areas coded R40 and above (including the dwelling components of mixed use development and activity centres).

To align with the new State Planning Framework Administration proposes to reformat the Built Form Policy into three volumes, while still maintaining the Built Form Areas within each volume. This approach will ensure it is clear how the City's policy relates to the R Codes. The proposed volumes for the Built Form Policy are:

- Volume 1 - Single Houses & Grouped Dwellings;
- Volume 2 - Multiple Dwellings & Mixed Use Development; and
- Volume 3 - Commercial Development.

2.2 *Performance-Based Assessment*

The new R Codes Volume 2 introduces a performance-based assessment process for apartment development. Applications for development approval need to demonstrate that the design achieves the Objectives of each design element. While addressing the Acceptable Outcomes is likely to achieve the Objectives, they are not a deemed-to-comply pathway and each proposal will be assessed in the context of the entire design solution to ensure the Objectives are achieved. Proposals may also satisfy the Objectives via alternative means or solutions that are not identified in the Acceptable Outcomes. This will ensure that each development proposal considers the context of the development site rather than complying with an out-of-context state-wide standard.

It is recommended that the Built Form Policy align with this performance-based approach for both apartment and commercial development. In practice this means that the Built Form Policy would apply as follows:

- Volume 1 of the Built Form Policy would apply in conjunction with the R Codes Volume 1 and include deemed-to-comply requirements, design principles and local housing objectives. The assessment process for these development types would remain the same as the current assessment process.
- Volume 2 of the Built Form Policy would apply in conjunction with the R Codes Volume 2 and include acceptable outcomes in place of current deemed-to-comply requirements, element objectives in place of current design principles.
- There is currently no State Government guidance for commercial development equivalent to the Residential Design Codes. The proposed Built Form Policy Volume 3 provides suitable guidance for commercial development to fit into the City of Vincent context. Volume 3 is also proposed to be performance-based including element objectives and acceptable outcomes.

3. Additional Policy Modifications

In addition to the modifications mentioned above, through further use of the Policy Administration is proposing a number of modifications. These modifications address building design, lot boundary setbacks and garages.

3.1 Building Design

Amendment 1 to the Built Form Policy proposed to make modifications to the building design provisions by requiring an Urban Design Study to be prepared and for new development to demonstrate how elements of the urban design of the area had been incorporated into the proposed development.

Through further review of the issue it has been identified that additional information is required to provide guidance regarding local streetscape character types including key design elements that are required to be incorporated in the proposed development.

To address this it is recommended that Amendment 2 to the Built Form Policy include a suite of new provisions to identify key design elements and require that they are incorporated into the proposed development.

3.2 Lot Boundary Setbacks

Amendment 1 to the Built Form Policy proposed to move towards more responsive setback requirements which would be determined by the height and length of the walls, where development is adjoining that of a similar or lower scale.

In Amendment 2 it is proposed that setbacks at the lower densities, being R20, R30 and R40, also align with this concept. This will ensure that unnecessarily large setbacks requirements for low density development adjoining low density development are removed.

3.3 Garages

The City has identified an emerging issue where development proposed large garages on narrow sites which dominate the front façade and have a negative impact on the streetscape. This is largely because the R Codes Volume 1 allows garages to be 60 percent of the width of the lot where a balcony extends the width of the garage.

To address this issue it is proposed to include new provisions relating to garages for Single Houses and Grouped Dwellings that require all upper storeys to be setback behind the ground floor building line and clarify that garages may only be a maximum of 50 percent of the width of the lot, regardless of whether there is a balcony proposed as part of the development.

A full schedule of modifications proposed as part of Amendment 2 to the Built Form Policy is included as **Attachment 5**. A track change version of Amendment 2 to the Built Form Policy is included as **Attachment 6**, and an untracked version is included as **Attachment 7**.

CONSULTATION/ADVERTISING:

Amendment 1 to Local Planning Policy No. 7.1.1 – Built Form was advertised between 23 October and 11 December 2018. During the advertising written notification was sent to surrounding local governments, relevant State Government agencies, previous submitters on the City's Built Form Policy and key industry organisations. A notice was put in the Perth Voice and Guardian Express once per week for four weeks and a notice was published on the City's Imagine Vincent engagement portal. The amendment was also referred to the City's Design Review Panel for comment. The City received 27 submissions during the consultation period.

If approved by Council, Amendment 2 will be advertised for 28 days in accordance with Schedule 2, Part 2, Clause 5 of the *Planning and Development (Local Planning Schemes) Regulations 2015* and Item 4.2 of Appendix 3 of Policy No. 4.1.5 – Community Consultation.

Advertising Amendment 2 will include:

- Written notification to:
 - Surrounding local governments;
 - Relevant State Government agencies;
 - Previous submitters on the City's Built Form Policy;
 - Key industry organisations;

- Notice in the Perth Voice and Guardian Express once per week for four weeks;
- Notice on the City's website and social media;
- Referral to the City's Design Review Panel; and
- An open day in each ward of the City to allow interested people to understand the proposed changes and ask any questions to inform their submission.

LEGAL/POLICY:

- *Planning and Development Act 2005*;
- *Planning and Development (Local Planning Schemes) Regulations 2015*;
- State Planning Policy 7.0 – Design of the Built Environment;
- State Planning Policy 7.3 – Residential Design Codes Volume 1;
- State Planning Policy 7.3 – Residential Design Codes Volume 2 Apartments;
- Local Planning Scheme No. 2;
- Policy No. 4.1.5 – Community Consultation;
- Policy No. 7.1.1 – Built Form;
- Appendix 16 – Design Guidelines for Perth; and
- Appendix 18 – Design Guidelines for William Street.

RISK MANAGEMENT IMPLICATIONS:

It is considered low risk to not proceed with Amendment 1 to the Built Form Policy and prepare Amendment 2 to the Built Form Policy. It is considered low risk for Council not to amend the Built Form Policy at all, however this would result in the City's local planning policy being inconsistent with the State Planning Framework.

STRATEGIC IMPLICATIONS:

This is in keeping with the City's Strategic Community Plan 2018-2028:

Enhanced Environment:

Our urban forest/canopy is maintained and increased.

We have minimised our impact on the environment.

Sensitive Design:

Our built form is attractive and diverse, in line with our growing and changing community.

Our planning framework supports quality design, sustainable urban built form and is responsive to our community and local context.

SUSTAINABILITY IMPLICATIONS:

Nil.

FINANCIAL/BUDGET IMPLICATIONS:

The cost of advertising and implementing this proposal will be met through the existing operational budget.

COMMENTS:

Amendment 1 to the Built Form Policy was generally supported by submitters, with a number of detailed comments being received. These comments have resulted in further modifications being proposed and included in Amendment 2.

The changes to the State Planning Framework provided an opportunity for the City to better align the Built Form Policy with the new performance based assessment approach, while maintaining detailed local planning policy requirements that supplement the State Planning Framework.

As there are a large number of changes proposed to the document it is recommended that Council not proceed with Amendment 1, and instead incorporate the changes proposed as part of Amendment 1, into a new Amendment 2 to the Built Form Policy and advertise this for public comment.

When Amendment 1 to the Built Form Policy was adopted by Council, the City also proposed amendments to Appendix 16 – Design Guidelines for Perth and Appendix 18 – Design Guidelines for William Street. The changes advertised to Appendix No. 16 and Appendix No. 18 are contingent on changes being made to the Built Form Policy concurrently. No further consultation is required on these proposed amendments and they will be reported back to Council concurrently with the outcomes of consultation on Amendment 2.

There are a number of proposed provisions in Amendment 2 that, if approved by Council, would require the approval of the Western Australian Planning Commission (WAPC) under the R Codes to be effectual local planning policy provisions. The draft provisions which would require the approval of the WAPC are as follows:

- R Codes Volume 1:
 - Lot boundary setbacks; and
 - Landscaping.
- R Codes Volume 2:
 - Tree canopy and deep soil areas;
 - Car and bicycle car parking; and
 - Energy Efficiency.

Administration will liaise with the Department of Planning, Lands and Heritage in relation to these provisions during consultation and report back to Council on the results of this consultation.

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BUILT FORM

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PART 1 – PRELIMINARY

POLICY DEVELOPMENT

This Policy has been prepared under the provisions of Schedule 2, Part 2, Clause 4 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

PURPOSE & APPLICATION

The purpose of this Policy is to provide guidance on development in the City of Vincent. This Policy applies to all development applications in the City of Vincent.

POLICY OBJECTIVES

Context

1. Development which integrates land use, public space and the form of the built environment.
2. Ensure development is respectful of local and historic context.
3. Preserve and reinterpret established built form and social character.
4. Facilitate redevelopment while maintaining and enhancing amenity.

Design

5. To facilitate good quality and well-designed development, including both buildings and landscaping.
6. Development which facilitates activity and vibrancy.
7. Contribute to and bridges between planning and design specialties.
8. Encourage development that incorporates the principles of Crime Prevention through Environmental Design.
9. To facilitate orderly and proper planning by providing Deemed to Comply requirements as a straight-forward pathway to approval and Design Principles and Local Housing Objectives for innovative solutions resulting in positive development outcomes.

Sustainability

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10. High quality urban places that are efficient, functional and attractive, and can respond to the changing needs of the community, environment and the economy over time.
11. Resource, energy and water efficiency throughout lifecycle including construction, maintenance and ongoing upkeep. Encourage building design that incorporates sustainable and energy efficient design that befits the local climate and provides comfortable living conditions.

Movement

12. Maximise the opportunities provided by the City of Vincent's proximity to the Perth central business district, major public transport routes, and cycling networks.

Housing

13. To provide a range of development types and encourage a range of housing typologies to address the demographic and needs of the community.
14. A focus on the retention and adaptive re-use of the City's building stock and the provision of affordable housing.

RELATIONSHIP TO OTHER DOCUMENTS

This Local Planning Policy forms part of the City of Vincent local planning policy framework. Where this Policy is inconsistent with the City's local planning scheme, the local planning scheme prevails. Where this Policy is inconsistent with an adopted Local Development Plan, Activity Centre Plan or Structure Plan, the adopted Local Development Plan, Activity Centre Plan or Structure Plan prevails.

Where this Policy is inconsistent with the provisions of a specific Policy or Guidelines applying to a particular site or area (eg Character Retention Area Guidelines), the provisions of that specific Policy or Guidelines shall prevail.

DEFINITIONS

Active Frontage	A ground floor space where there is visual engagement between those in the street and those on the ground floors of buildings.
Articulation	Architectural composition in which elements and parts of the building are expressed logically, distinctly, and consistently, with clear joints. For the purposes of this Policy articulation refers to points within a dwelling that clearly distinguish one part of the dwelling from another, such as setback between the ground and upper floors and indentations or 'breaks' within building walls.

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Average Natural Ground Level	The average natural ground level is calculated as the average of the sum of the natural ground level points directly below the outermost corner points of the footprint of each level of the dwelling (see Figures 4 and 5).
Awning	A roof like structure attached to a building to provide shelter.
Building Height	As per the R Codes.
Canopy Coverage	Land area covered by tree crowns (branches, leaves, and reproductive structures extending from the trunk or main stems).
Climate Moderation Devices	A structure or element which provides suitable control of internal temperature and air conditions, but does not include air conditioners.
Colonnade	A sequence of columns, covered or open, free-standing or part of a building.
Dedicated Road	A road which has been committed to public use in accordance with the <i>Land Administration Act 1997</i> .
Deep Soil Zone	Areas of soil within a development which provide a minimum space of 1 metre that allows for and supports mature plant and tree growth excluding areas covered with impervious surfaces.
External Fixtures	As per the R Codes.
Landscaping	<p>As per the R Codes with additional clarification on “any other such area approved of by the decision-maker as landscaped area” to be defined as:</p> <p>Landscaped areas which are available for the use and enjoyment of the occupants, can include common and/or private open areas and recreational areas but does not include covered portions of driveways, hard paved driveways and parking areas, open air porous parking areas and driveways, or green walls.</p>
Natural Ground Level	As per the R Codes.
Permanent Structure	Building or development which is not temporary and cannot be easily removed, this includes but is not limited to development with footings.
Primary Street	As per the R Codes.
R Codes	Refers to State Planning Policy 3.1: Residential Design Codes.
Secondary Street	As per the R Codes.

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Skillion Roof	A mono-pitch roof form.
Soft Landscaping	Any landscaped area with a minimum soil depth of 300mm that contains in-ground planting, and is exclusive of removable planter boxes/pots, artificial turf, green walls and porous paving areas.
Stall riser	The part of a shop front below a window.
Streetscape	The visual elements of a street including the road, adjoining buildings, foot paths, street furniture, trees and open spaces that combine to form the street's character.
Verandah	A roofed platform partly enclosed or unenclosed extending across the front and sides of a building.
Visible Light Transmission	Light passing directly through glass.
Visually permeable	As per the R Codes.

APPLICATION OF POLICY & DEVELOPMENT STANDARDS

1. Application

- 1.1. Part 2, Section 1 of this Policy applies to applications for development in the areas identified as town centre areas on Figure 1, pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.
- 1.2. Part 2, Section 2 of this Policy applies to applications for development in the areas identified as activity corridor areas on Figure 1 pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.
- 1.3. Part 2, Section 3 of this Policy applies to applications for development in the areas identified as mixed use areas on Figure 1 pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.
- 1.4. Part 2, Section 4 of this Policy applies to applications for development in the areas identified as transit corridor areas on Figure 1 pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.
- 1.5. Part 2, Section 5 of this Policy applies to applications for development in the areas identified as residential areas on Figure 1 pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

2. Development Standards

- 2.1. Applications for development that comply with the relevant Deemed to Comply policy provisions are considered to be acceptable and will therefore be approved.

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- 2.2. Applications for development that propose any of the Not Accepted policy provisions specified will be refused.
- 2.3. Applications for development that seek departure from the Deemed to Comply' policy provisions may be deemed to be acceptable where the following occurs:
- 2.3.1 The applicant applies for assessment against the relevant Design Principles, Local Housing Objectives, Policy Objectives and Objectives of the local planning scheme;
 - 2.3.2 The applicant provides adequate justification against those Design Principles, Local Housing Objectives, Policy Objectives and Objectives of the local planning scheme;
 - 2.3.3 Where required by the City's Policy 4.2.13 – Design Advisory Committee (DAC), the applicant presents the development to the DAC to review and provide comment to the City regarding whether the application meets the relevant Design Principles contained within the Policy and Appendix 1 and Local Housing Objectives; and
 - 2.3.4 The City will assess and determine at its discretion that the outcome will achieve the relevant Design Principles, Local Housing Objectives, Policy Objectives and Objectives of the local planning scheme.

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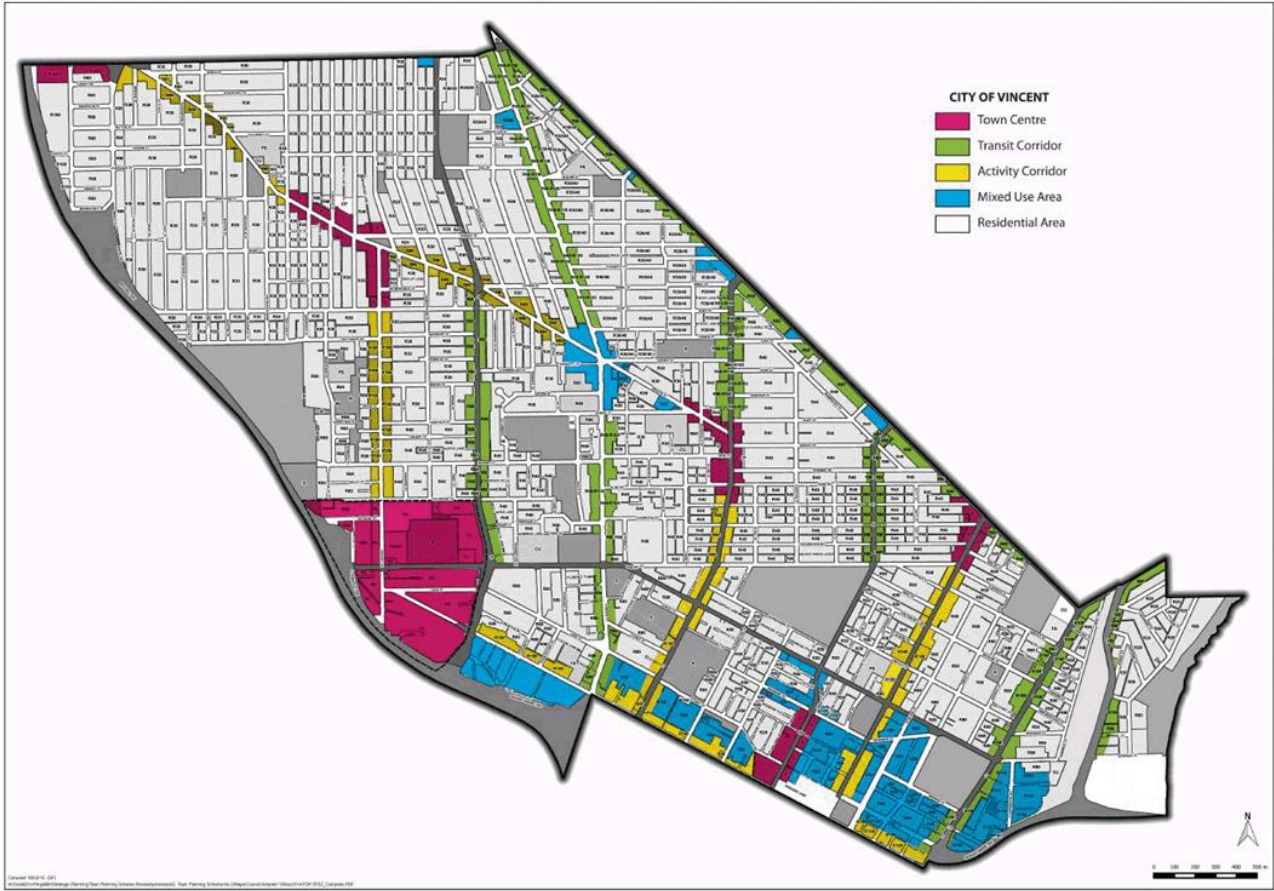


FIGURE 1 – BUILT FORM AREAS

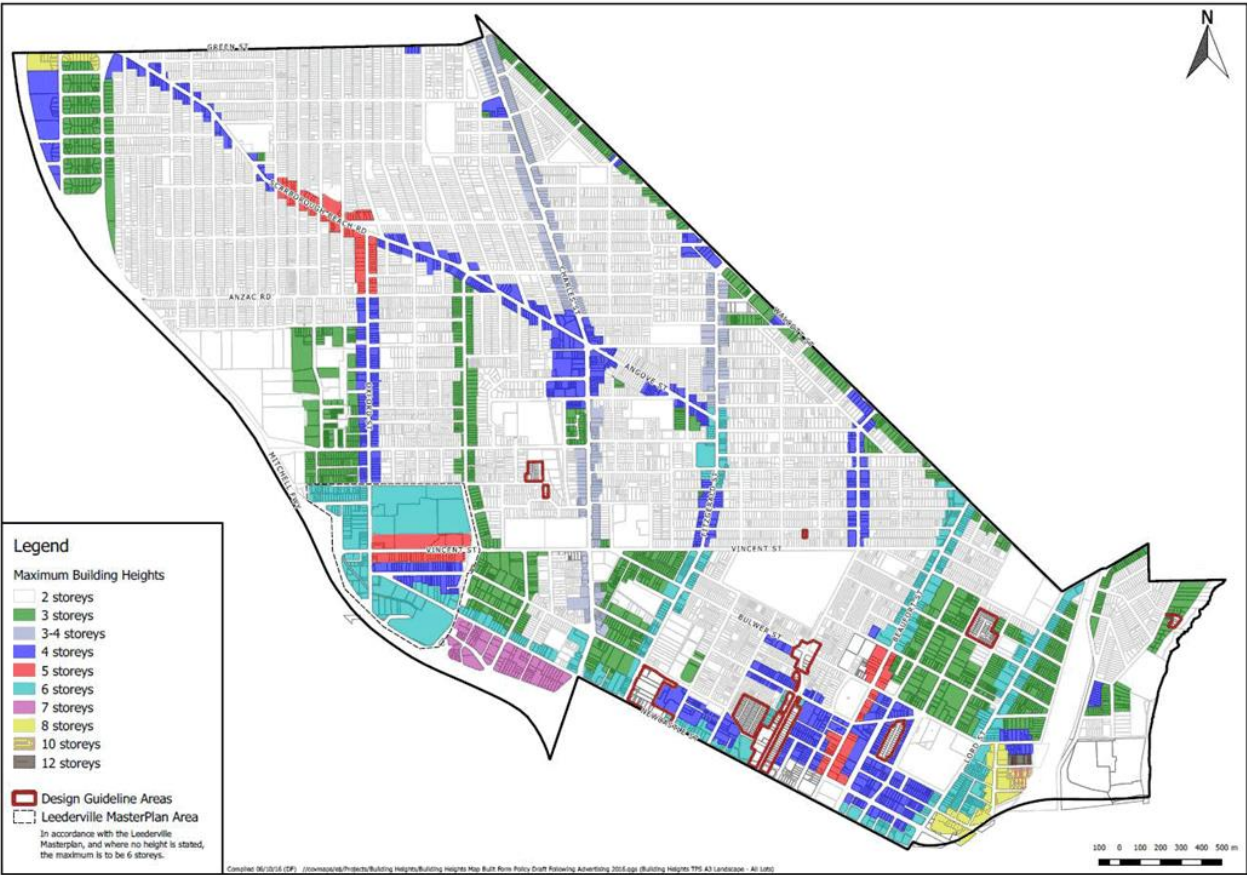


FIGURE 2 – BUILDING HEIGHTS

PART 2 - POLICY PROVISIONS

Section 1 – Town Centres

Part 2, Section 1 of this Policy applies to Town Centres as shown in Figure 1 – Built Form Areas.

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1.1 Building Height

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P1.1.1** Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.
- P1.1.2** Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.
- P1.1.3** Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
- P1.1.4** Design which minimises overlooking and overshadowing where it impacts residential development.
- P1.1.5** The City may approve development which exceeds the maximum height stated in Table 1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P1.1.1 – P1.1.4.

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses Sections 5.1.6 and 6.1.2 of the

R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C1.1.1** Development that is consistent with the building heights provided in Table 1 and Figure 2.
- C1.1.2** External fixtures may extend beyond the maximum height in Table 1 and Figure 2 where they are not visible from the street or neighbouring properties.
- C1.1.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this policy.

TABLE 1: Building Height – Town Centres

Location	Maximum No. of Storeys Building Height	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top Highest point of skillion roof	Top of pitched roof
Leederville	In accordance with the Leederville Masterplan, and where no height is stated the maximum is to be 6 storeys, with the exception of the below requirements.:	19.5m	20.5m	19.5m	20.5m	22.5m
	Vincent Street – 5 storeys					
	Carr Place – 4 storeys					
North Perth	Vincent Street – 5 Storeys	16.4m	17.4m	16.4m	17.4m	19.4m
	Carr Place – 4 Storeys	13.3m	14.3m	13.3m	14.3m	16.3m
	Fitzgerald Street – 6 sStoreys	19.5m	20.5m	19.5m	20.5m	22.5m
	Angove Street – 4 storeys					
	Angove Street – 4 Storeys	13.3m	14.3m	13.3m	14.3m	16.3m

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Location	Maximum No. of StoreysBuilding Height	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	TopHighest point of skillion roof	Top of pitched roof
Perth	6 sStoreys	19.5m	20.5m	19.5m	20.5m	22.5m
Mount Lawley / Highgate	6 sStoreys	19.5m	20.5m	19.5m	20.5m	22.5m
Mount Hawthorn	5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
Glendalough	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m

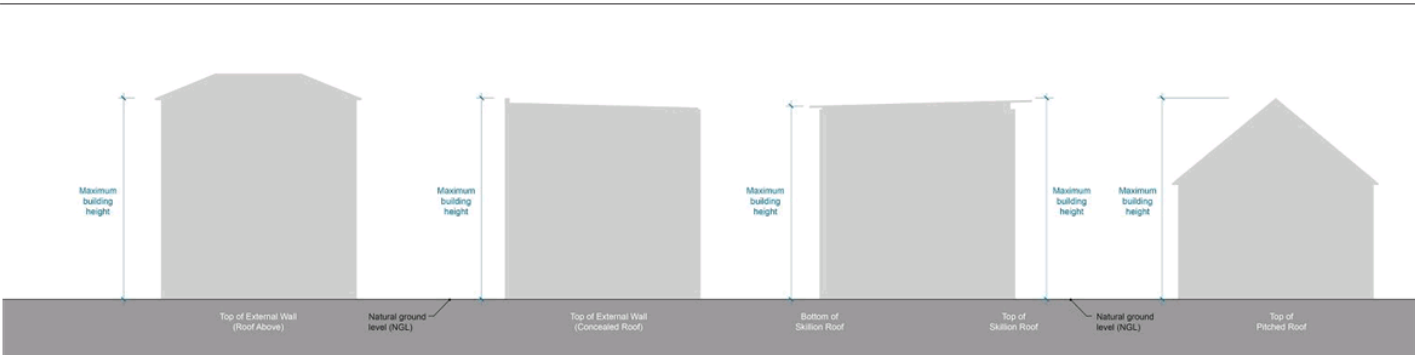


Figure C1.1.1 – Building Height Measurement

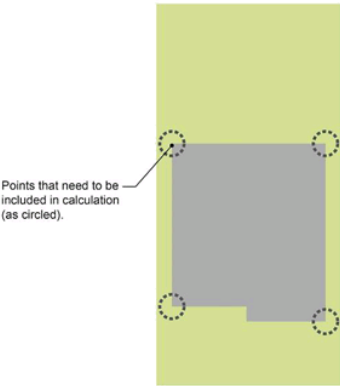


Figure 3 – Average Natural Ground Level Calculation

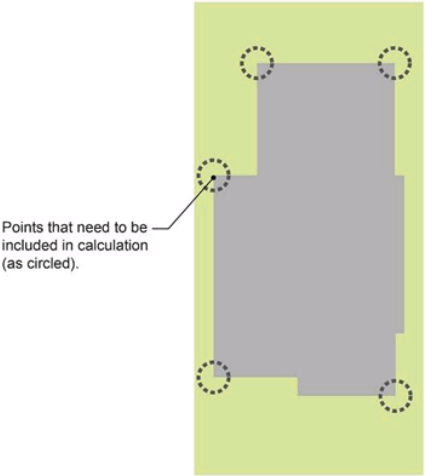


Figure 4 – Average Natural Ground Level Calculation

1.2 Setbacks**Design Principles & Local Housing Objectives**

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.2, 5.1.3, 6.1.3 and 6.1.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P1.2.1** Development which incorporates design elements that reduce the impact of building bulk.
- P1.2.2** Development which maximises natural light access, natural ventilation and, internal and external privacy.
- P1.2.3** Setbacks that facilitate the provision of landscaping.
- P1.2.4** Development which activates and addresses rights of way.
- P1.2.5** Street setbacks that facilitate the provision of useable open space, alfresco dining opportunities and landscaping which contributes to canopy coverage.

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.1.2 and 6.1.3 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C1.2.1** Primary and secondary street setback for the first three storeys is nil.

Setbacks Adjoining Non-Residential Built Form Areas

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 6.1.4 C4.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C1.2.2** Minimum side boundary setbacks for the first two storeys is nil.
- C1.2.3** Side boundary setbacks for development three storeys and above and rear boundary setbacks are to be in accordance with Table 5 of the R Codes unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

Setbacks Adjoining Residential Built Form Areas

- C1.2.4** Lot boundary setbacks adjoining properties coded R60 and above are:
 - Ground floor, second and third storey is 4.5m; and
 - fourth storey and above 6.5m;
 unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.
- C1.2.5** Lot boundary setbacks adjoining properties coded R50 and below are:
 - Ground floor, second and third storey is 6.5m; and
 - fourth storey and above 12.5m;
 unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

Development Adjoining Rights of Way

C1.2.6 Where development adjoins a right of way the setback shall be measured from the midpoint of the right of way.

C1.2.7 Development must address adjoining rights of way by providing passive surveillance and openings to the right of way.

Not Accepted

N1.2.1 Non-compliance with lot boundary setback provisions where the site adjoins land coded R40 and below.

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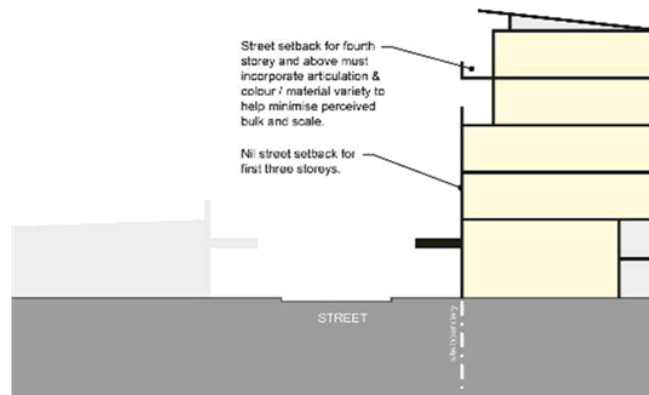


Figure C1.2.1 – Town Centre Street Setback

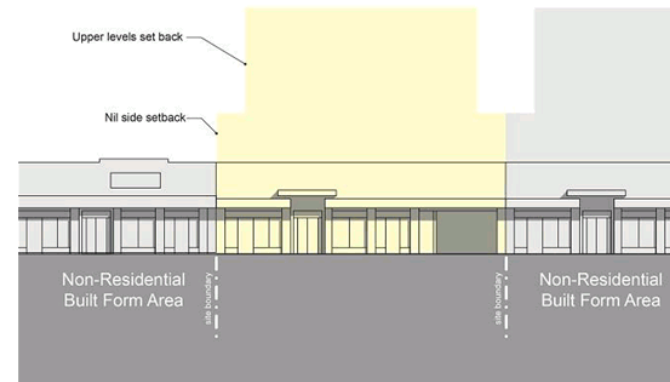


Figure C1.2.3 – Side boundary setbacks adjoining non-residential area

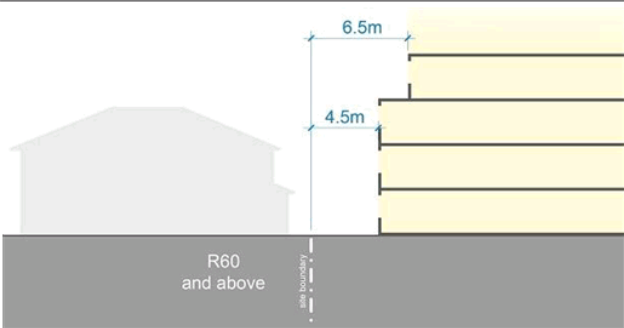


Figure C1.2.5 - Lot boundary setbacks adjoining properties coded R60 and above.

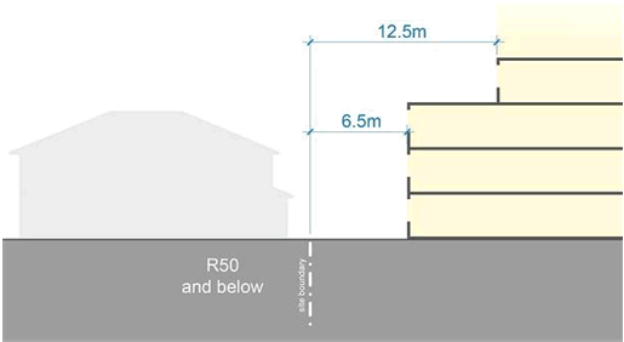


Figure C1.2.6 - Lot boundary setbacks adjoining properties coded R50 and below

1.3 Corner Sites**Design Principles & Local Housing Objectives**

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 6.2.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P1.3.1** Development on corner sites that is designed to express significance and frame the corner to define the built form and give a strong edge to the public realm.
- P1.3.2** Development expressed with strong visual elements that integrate with both street frontages.
- P1.3.3** Create cohesion of both street frontages and contribute to a comfortable pedestrian environment by addressing each frontage with awnings.
- P1.3.4** Designed to address developments on the opposing street corner.

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions are considered local planning policy provisions for the purpose of clause 6.2.4 C4. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C1.3.1** Buildings which are designed to address and emphasise the corner and provide uninterrupted activation of both street frontages.

- C1.3.2** Footpath protection with awnings provided on both primary and secondary streets.

Not Accepted

- N1.3.1** Service areas or fire egress stairs located on or within 1m of the corner.
- N1.3.2** Building entries that are significantly recessed back from the street corner, creating an undercroft that takes activity away from the footpath.

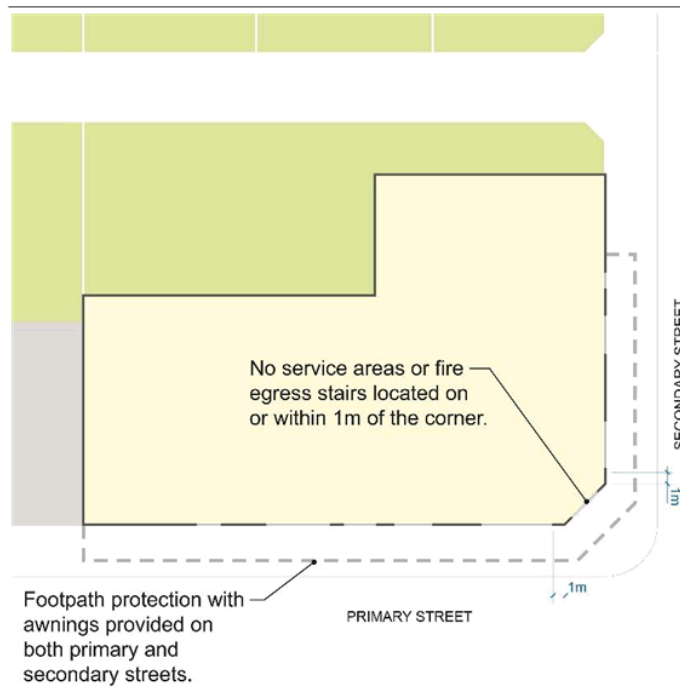


Figure C1.3 – Corner Sites

1.4 Ground Floor Design**Design Principles & Local Housing Objectives**

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 6.2.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P1.4.1** Development shall integrate with adjoining public spaces and provide building frontages that contribute to the liveliness, interest, comfort and safety of these public spaces.

Façade Design

- P1.4.2** Ground floor façade depths which provide robustness and space for detail.
- P1.4.3** Active frontage allowing uses to be clearly visible from the street.
- P1.4.4** Emphasise vertical articulation to break up building mass and highlight street level uses and details.
- P1.4.5** Development which retains traditional commercial facades where possible.
- P1.4.6** Contemporary active frontages which are designed with the core elements of traditional shopfront design.
- P1.4.7** Ground floor commercial spaces which increase engagement with the public realm with opening doors, windows and walls.

- P1.4.8** Security measures which do not adversely detract from the streetscape.

- P1.4.9** Adhere to the performance criteria of the Western Australian Planning Commissions, Designing Out Crime Planning Guidelines.

Tenancy Size

- P1.4.10** Regular entrances with attractive, open and operable shopfronts, which increase the interest and engagement of pedestrians and improve walkability and vibrancy.
- P1.4.11** Spaces which accommodate relevant and desirable uses.
- P1.4.12** Tenancies which maintain the regular spacing rhythm of the streetscape.
- P1.4.13** Development designed to be adaptive and cater for changing uses over time.
- P1.4.14** All design elements and spaces within the development must have purpose, 'dead' spaces are not supported.

Materials

- P1.4.15** High quality durable materials and textures used at street level which reference the surrounding context where possible.
- P1.4.16** Detailed and/or sustainably sourced materials which are highly engaging to the pedestrian.

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions are considered local planning policy provisions for the purpose of clause 6.2.4 C4. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

Façade Design

- C1.4.1** Façade depth of 300mm to allow space for the articulation of entries, openings, windows, sills, stall risers and other detailing.
- C1.4.2** The design shall incorporate vertical articulation by using tall and narrow façade treatments.
- C1.4.3** Maximise the width of active frontage including glazing, openings and operable windows to ensure activity, interaction and surveillance of the street.
- C1.4.4** Co-locate service areas and vehicular access to maximise the width of the active frontage.
- C1.4.5** Stall risers to a minimum height of 450mm.
- C1.4.6** Location of signage to be integrated into the design and articulation of the ground floor.
- C1.4.7** Where it is necessary to include fire boosters, mail boxes and external fixtures on the ground floor facade, these are to be screened or made to appear as part of the façade of the ground floor design to maximise the width of the active frontage.

- C1.4.8** Minimal use of shallow framing systems and thin wall/glazing systems.
- C1.4.9** Development which fronts a link or arcade must maximise active frontage.
- C1.4.10** Security measures located and installed internally behind the glazing line or recessed between elements in the façade such as columns or doorway recesses.
- C1.4.11** Security measures which are transparent and visually permeable to allow views inside the building and enable internal light sources to be seen from the street.

Tenancy Size

- C1.4.12** Ground floor spaces are to have a finished floor level to finished ceiling level height of minimum 3.5m.
- C1.4.13** Ground floor spaces with a width between 7.5m to 9m.
- C1.4.14** Ground floor tenancies within new mixed use and commercial buildings shall provide an acoustic report which demonstrates that they are capable of attenuating noise for a range of land uses including high intensity uses such as small bars and restaurants.

Materials

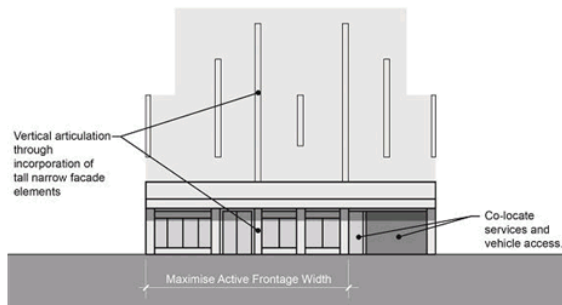
- C1.4.15** Ground floor glazing and/or tinting to be a minimum of 70% visually permeable to provide unobscured visibility.
- C1.4.16** Use of contrasting materials. This may be in the form of contrasting texture, colour, pattern or material finish.

Not Accepted

- N1.4.1** Unarticulated monotonous facades to the street.
- N1.4.2** Floor to ceiling glazing, excluding doors.
- N1.4.3** Street walls and fences which front the street.
- N1.4.4** Glazing and/or tinting with 50% or lower visual permeability.
- N1.4.5** Blank walls, dead ends and hidden recesses.
- N1.4.6** Features or structures that can be used as natural ladders to gain access to higher levels, windows or doors.



Figure C1.4.9 – Active Frontages to Link and Arcades



C1.4.2 & C1.4.4 – Town Centre Facades

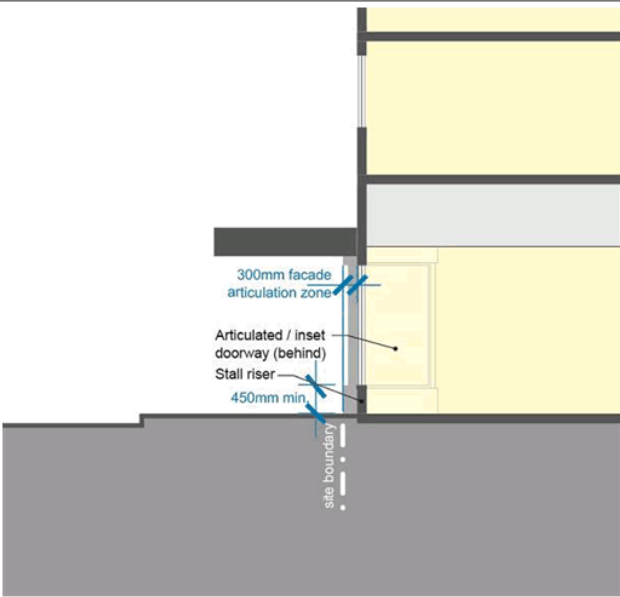


Figure C1.4 – Façade Design

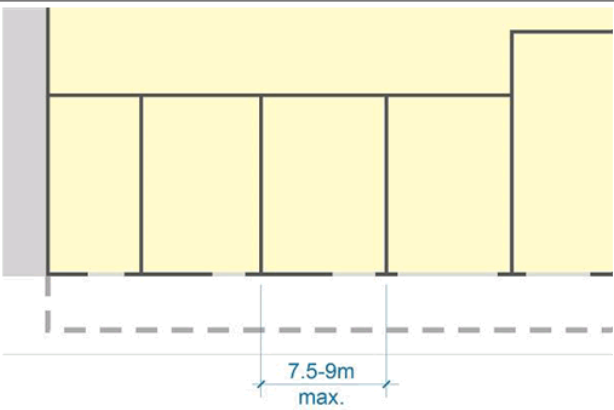


Figure C1.4.12 – Tenancy Size

1.5 Awnings, Verandahs and Collonades**Design Principles & Local Housing Objectives**

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 6.2.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P1.5.1** Provide a continuous network of pedestrian shelter along building frontages to encourage walking and to provide protection from the elements.
- P1.5.2** Contribute to the legibility of a building and enhance building façade articulation.
- P1.5.3** Create a human scale space that encourages window shopping and outdoor trading and dining.
- P1.5.4** Be considered an integral part of the overall architecture of the development and considers the form of existing awnings.
- P1.5.5** Designed to allow unobstructed access to public spaces.
- P1.5.6** Design which is responsive to any existing and/or proposed verge trees.
- P1.5.7** The City may approve development which does not provide an awning where landscaping, which provides equal or greater coverage than an awning, is proposed.

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions are considered local planning policy provisions for the purpose of clause 6.2.4 C4. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C1.5.1** Awnings, verandahs and collonades must be a minimum height of 3.5m from finished floor level to the underside of the awning, verandah or collonade to accommodate under awning signage.
- C1.5.2** Provide continuous awnings or an alternative pedestrian protection measure along the full length of the building frontage to the primary and secondary streets.
- C1.5.3** Be setback a minimum of 600mm from the face of kerb.
- C1.5.4** Design into the awning, verandah or collonade the location of any existing and/or proposed verge tree/s.
- C1.5.5** Integrate the design of the façade with the underside of the awning, verandah or collonade.
- C1.5.6** Awnings and verandahs must be designed to be removable.
- C1.5.7** New awnings, verandahs or collonades shall have regard to the height, depth and form of existing awnings and slope of the site.
- C1.5.8** Verandahs and collonades are only permitted where they are constructed wholly within the lot boundaries of development site.

Not Accepted

N1.5.1 Development in town centres that does not provide an awning.

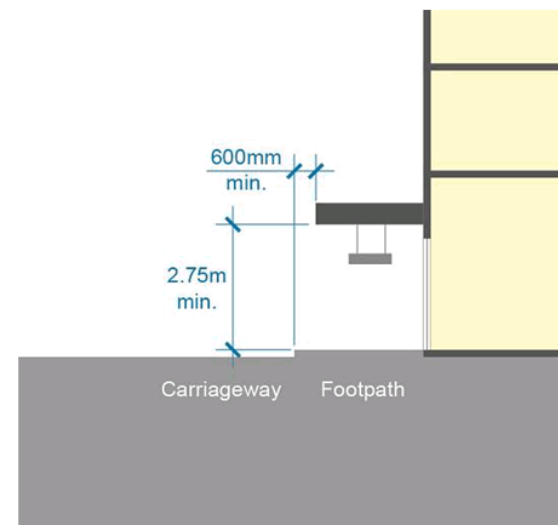


Figure C1.5 - Awnings

1.6 Building Design**Design Principles & Local Housing Objectives**

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 6.2.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P1.6.1** Quality materials and detail that provide interest at a human-scale.
- P1.6.2** Design which incorporates and retains elements of the existing local character and avoids faux materials.
- P1.6.3** Articulation should be used to reduce scale and bulk.

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions are considered local planning policy provisions for the purpose of clause 6.2.4 C4. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C1.6.1** Façade depth a minimum of 300mm to allow space for articulation of windows, and other detailing.
- C1.6.2** Fire boosters, mail boxes and external fixtures, are to be integrated into the building design.
- C1.6.3** Traditional materials found in development in the local area are to be integrated into the design and may include:
 - Red brick;

- Limestone; and
- Timber.

C1.6.4 The following contemporary materials may be integrated into the design:

- Exposed aggregate concrete;
- Terrazzo
- Ceramics; and
- Detailed precast concrete panels.

Not Accepted

- N1.6.1** Unarticulated monotonous facades to the street.
- N1.6.2** Reflective or tinted glass.

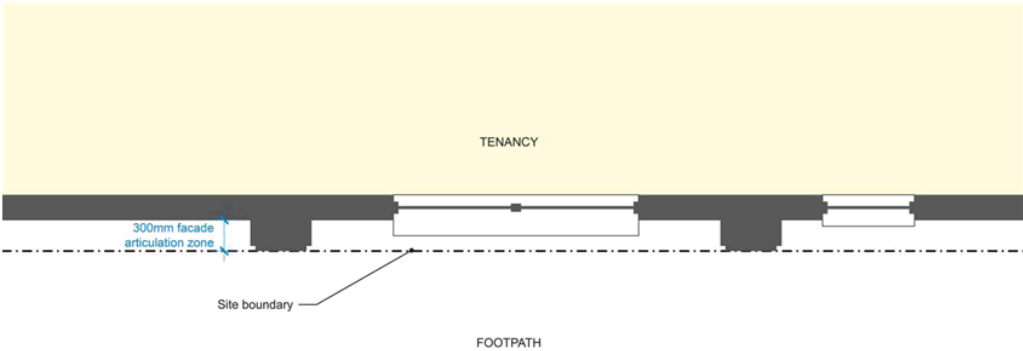


Figure C1.6.1 – Façade depth

1.7 Landscaping**Design Principles & Local Housing Objectives**

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.3.2 and 6.3.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P1.7.1** Landscaping is to be designed to reduce the impact of development on adjoining residential zones and public spaces.
- P1.7.2** Landscaping should provide increased urban air quality, tree and vegetation coverage and a sense of open space between buildings
- P1.7.3** The integration of sustainable landscape design with the building creating a greater landscaping amenity for residents and occupants and the community.
- P1.7.4** The provision of landscaping that will make an effective and demonstrated contribution to the City's green canopy to reduce the impact of the urban heat island effect .
- P1.7.5** Landscaping design which facilitates the retention of existing vegetation and deep soil zones.
- P1.7.6** Landscaping at the rear of the property should not negatively impact on the use and activation of a right of way.

- P1.7.7** Open air car parks should be appropriately landscaped to provide adequate shading and reduce the impact on adjoining properties.

Deemed to Comply

For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

The following landscaping provisions are subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.3.2 and 6.3.2 of the R Codes.

- C1.7.1** Deep soil zones are to be provided as follows:

Site Area	Minimum Area	Deep Soil Zone (% of site)
<650m ²	1m ²	15%
650m ² – 1,500m ²	3m ²	15%
>1,500m ²	6m ²	15%

NOTE: the minimum dimension for the area of deep soil zone is to be 1m

- C1.7.2** The required deep soil zone may be reduced to 12% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.
- C1.7.3** 80% of the rear or side setback area is to be provided as canopy coverage at maturity.
- C1.7.4** A Landscape Plan designed by a registered Landscape Architect is to be submitted to the City in conjunction with the Development Application.

- C1.7.5** A Landscape Maintenance Schedule setting out the program of activities required to maintain the health and amenity of plantings for the life of the development is to be prepared by the Landscape Architect responsible for the design and submitted to the City in conjunction with the Development Application.
- C1.7.6** Open air car parks are to have a minimum of 80% canopy coverage at maturity.
- C1.7.7** All open-air parking areas are to be landscaped at a rate of one tree per four car bays.
- C1.7.8** The perimeter of all open-air parking areas are to be landscaped by a planting strip of at least 1.5m width.

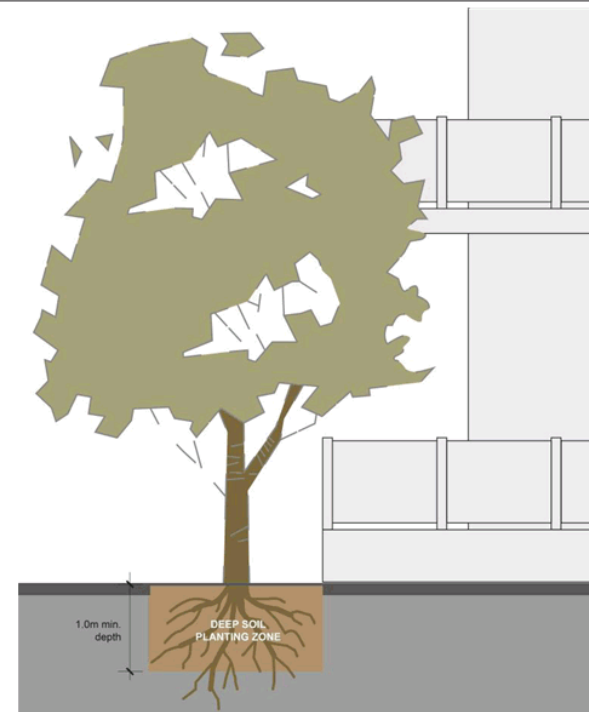


Figure 5 – Deep Soil Planting Zone

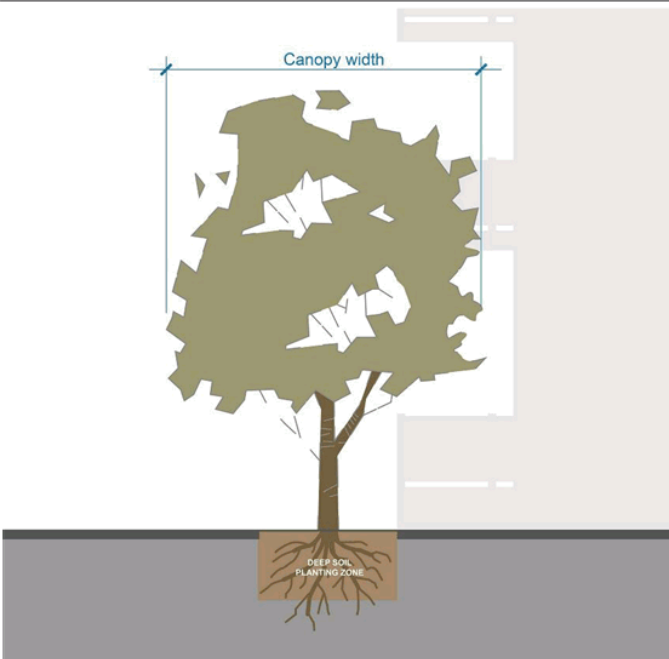


Figure C1.7.1 – Deep soil zones

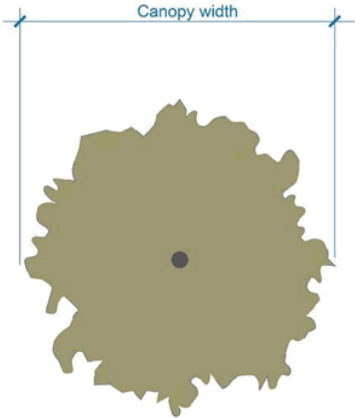


Figure 6 – Canopy Coverage

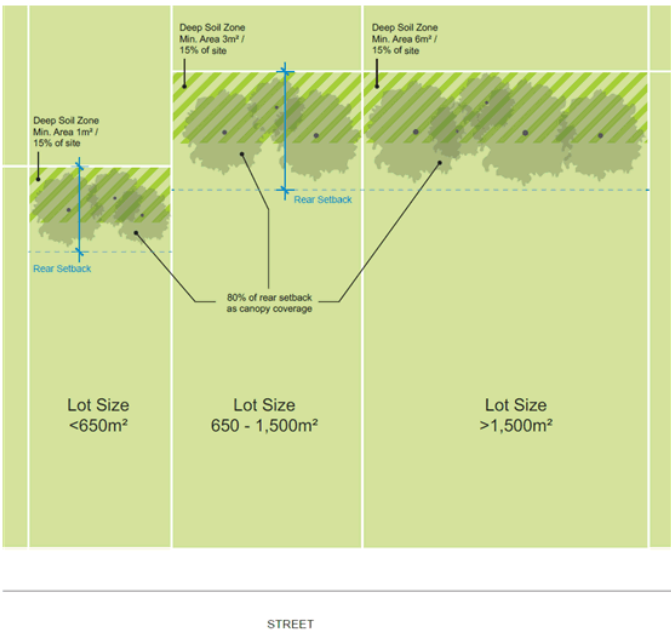


Figure 7 – Town Centre Landscaping

1.8 Environmentally Sustainable Design**Design Principles & Local Housing Objectives**

Where the R Codes apply to a development the following environmentally sustainable design provisions augment the R Codes and apply as local housing objectives pursuant to Clause 7.3.1(b) of the R Codes.

For all development that is not subject to the R Codes the following apply as Design Principles.

Development must demonstrate that:

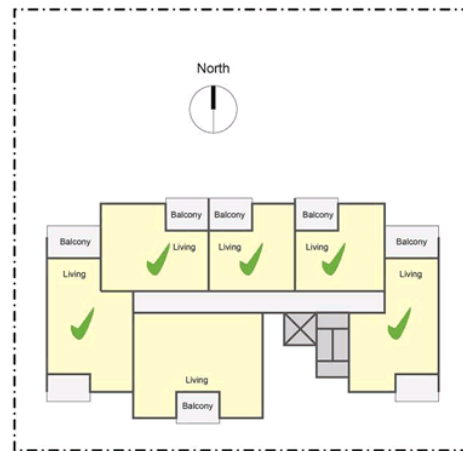
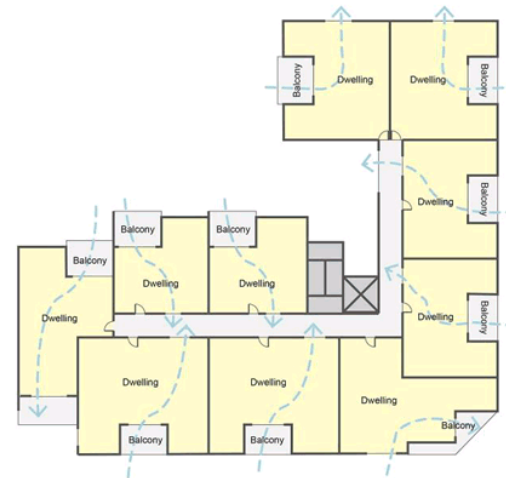
- P1.8.1** It maximises passive solar heating, cooling, natural ventilation and light penetration to reduce energy consumption;
- P1.8.2** It is capable of recovery and re-use of rainwater, storm water, grey water and/or black water for non-potable water applications.
- P1.8.3** Climate moderation devices can be incorporated to reduce passive solar gain in summer and increase passive solar gain in winter.
- P1.8.4** That it is capable of achieving one of the environmental performance ratings shown in the below table, or their equivalent*.

Accepted Rating Frameworks	Specifications / compliance requirements	Minimum requirement to be achieved
Green Building Council of Australia's	current Design and As-Built rating tool	5 star Green Star rating

Green Star rating system		
Life Cycle Assessment Methodologies	ISO 14044 "Environmental management – Life cycle assessment – Requirements and Guidelines" and EN15978 "Sustainability of construction works – Assessment of environmental performance of buildings – Calculation method."	Residential component: - Global warming potential of the development over its lifetime to be reduced by 50% or more when compared to the average Australian code-compliant equivalent building built at the same time. - Water use of the development over its lifetime to be reduced by 25% or more when compared to the average Australian code-compliant equivalent building built at the same time.
		Commercial component: - Global warming potential of the development over its lifetime to be reduced by 30% or more when compared to the average Australian code-compliant

		equivalent building built at the same time. - Water use of the development over its lifetime to be reduced by 15% or more when compared to the average Australian code-compliant equivalent building built at the same time.
Or equivalent*		

*The City accepts sustainability assessment frameworks and mechanisms that are nationally or internationally recognised, compliant with applicable Australian/international standards and subject to oversight by a certifying body.

CITY OF VINCENT PLANNING AND BUILDING POLICY MANUAL
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BUILT FORM*Figure C1.8.2 – Solar orientation**Figure C1.8.3 – Cross Ventilation*

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BUILT FORM

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.2.3 C3.1 and 6.2.1 C1.1 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

1.9 Pedestrian Access

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.2.3 and 6.2.1 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

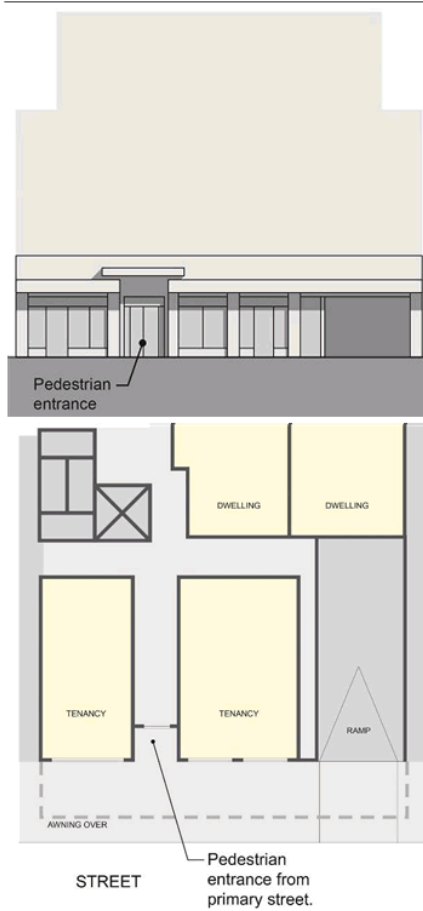
- P1.9.1** Ground floor levels which allow dignified and equitable accessibility and unobstructed activity to flow between the development and the public realm.
- P1.9.2** Pedestrian entrances shall be clearly identified into buildings to provide a well-designed and functional public realm interface for all users.
- P1.9.3** Pedestrian entrances need to be welcoming and legible and clearly differentiated for all use types.
- P1.9.4** Levels which create a direct visual connection between passers-by and the internal occupants or users.
- P1.9.5** Provide new pedestrian links to improve permeability in local areas.
- P1.9.6** Public pedestrian links are preferred over private access links.
- P1.9.7** Open air, unenclosed laneways and courtyard/squares are preferred.

- C1.9.1** Pedestrian access which is identifiable from the street and visitor car parking areas and other public areas.
- C1.9.2** Access for pedestrians which directly fronts the primary street.
- C1.9.3** Developments shall distinguish residential entries from retail and other commercial entries.
- C1.9.4** Internal ground floor level to be at grade.
- C1.9.5** Design of balustrades to be integrated into the design of the development.
- C1.9.6** Ramps are not to exceed 50% of the active frontage.

Deemed to Comply

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*Figure C1.9 - Access*

Section 1 – Town Centres

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1.10 Vehicle Access & Parking

Where the R Codes apply to a development the following parking, vehicular access and parking design provisions augment clauses 5.3.3, 5.3.5, 5.3.4, 6.3.3, 6.3.4 and 6.3.5 and apply as local housing objectives pursuant to Clause 7.3.1(b) of the R Codes.

Design Principles & Local Housing Objectives

For all development that is not subject to the R Codes the following apply as Design Principles.

- P1.10.1** Vehicle access to and from site is to be safe, manageable and convenient.
- P1.10.2** Pedestrian priority and safety is to be ensured by minimising the number, location and design of vehicle crossovers.
- P1.10.3** Minimise breaks in the street wall to maximise active frontages.
- P1.10.4** Service areas, loading bays and vehicle entrances should gain access from the Secondary Street or right of way where ever possible.
- P1.10.5** Minimise visual impact of car parking and supporting infrastructure from the primary or secondary streets.
- P1.10.6** Unobstructed sight lines provided at vehicle access points to ensure safety and visibility along vehicle access ways, streets, rights of way, communal streets, crossovers, and footpaths.
- P1.10.7** Suitable end of trip facilities should be included in the initial design of the building.

P1.10.8 Maximise the retention of existing mature vegetation through the location and design of vehicle access.

P1.10.9 Car parking which is clearly differentiated for different use types and identifiable from the street.

Deemed to Comply

For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.
Vehicle Access

- C1.10.1** Access to on-site car parking spaces to be provided:
- where available, from a right of way available for lawful use to access the relevant lot and which is adequately paved and drained from the property boundary to a dedicated road;
 - from a secondary street where no right of way exists; or
 - from the primary street frontage where no secondary street or right-of way exists.
- C1.10.2** Access to a right of way is required to be trafficable to the nearest dedicated road. The cost to upgrade a tight of way to make it trafficable is to be borne by the applicant.
- C1.10.3** Where vehicular access is provided from a street, all vehicles are required to enter and exit the site in forward gear.
- C1.10.4** Roller shutters and screens are to be visually permeable.

-
- C1.10.5** Onsite parking for a development shall be located beneath or at the rear of buildings.
- C1.10.6** In a mixed-use development, car bays should be clearly signposted differentiating between the residential car bays and the commercial car bays.
- C1.10.7** Where on-site parking provided for customer/client use is not directly visible from the adjacent street, adequate signage is to be provided to promote public knowledge of and direction to the car park. This signage is to comply with the requirements of the City's Policy relating to Signs and Advertising.
- C1.10.8** Existing trees must not be removed to provide for vehicle access.

Crossovers

- C1.10.9** Each lot is to provide a maximum of 1 crossover.
- C1.10.10** The maximum width of a single crossover is 3m. The maximum width of a double crossover is 5m.
- C1.10.11** The location of crossovers should maximize the ability to provide on-street car parking spaces.
- C1.10.12** Where a crossover meets a pedestrian path there must be clear communication of pedestrian priority.
- C1.10.13** Crossovers must be setback a minimum of 0.5m from the lot boundary.
-

Not Accepted

- N1.10.1** Entirely opaque roller doors or screens.

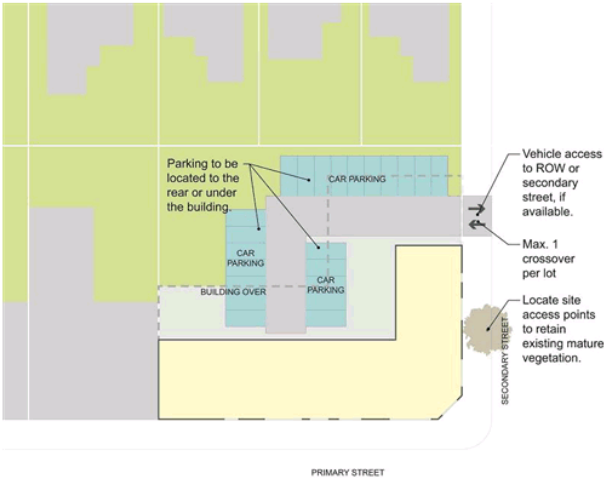


Figure C1.10 – Vehicle Access and Parking

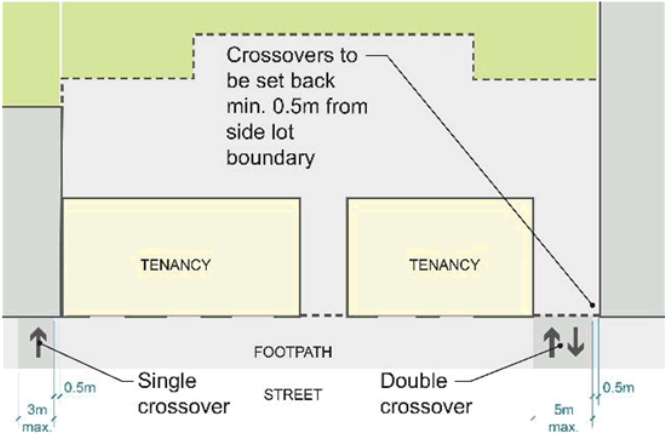


Figure C1.10.9 – C1.10.13 - Crossovers

1.11 Service Areas & External Fixtures**Design Principles & Local Housing Objectives**

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.4.4, 5.4.5, 6.4.5 and 6.4.6 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P1.11.1** Service areas and external fixtures shall be easily maintained, adequate and attractive and should be incorporated into the overall design of buildings and support renewable energy initiatives.
- P1.11.2** Developments should provide adequate waste storage facilities for each dwelling and/or commercial premises and this should be considered at the early stage of the design process.
- P1.11.3** New development should consider the undergrounding of power supply in order to improve the streetscape and provide space for increased landscaping, canopy coverage and development.

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.4.4 C4.3, 5.4.4 C4.4, 6.4.5 C5.3 and 6.4.5 C5.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C1.11.1** Development must comply with Western Power Corporation Easements and Restriction Zones.

- C1.11.2** External fixtures are required to be concealed from the street and surrounding properties, located on the roof, basement or at the rear of the development.

- C1.11.3** External fixtures are permitted where they are:
- not visible from the street and surrounding properties; or
 - integrated with the design of the building.

- C1.11.4** If external fixtures cannot be integrated into the design of the building to be concealed from the street and surrounding properties they will be required to be screened as follows:

- continuous vertical or horizontal opaque material more than 50mm in width, occupying a minimum of three quarters of the total surface area in aggregate; or
- a surface offering equal or more obstruction to view which does not compromise ventilation.

Where the R Codes apply to a development the following provisions augment clauses 5.4.5 C5.2 and 6.4.6 C6.2 and apply as local housing objectives pursuant to Clause 7.3.1(b) of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C1.11.5** Where there is an increased waste requirement, an area for waste management must be provided in accordance with the City's Waste Requirement Guidelines.

- C1.11.6** For any development a waste management plan must be provided which is to include information relating to the ability to adapt the waste storage spaces for any future increases in waste management requirements.

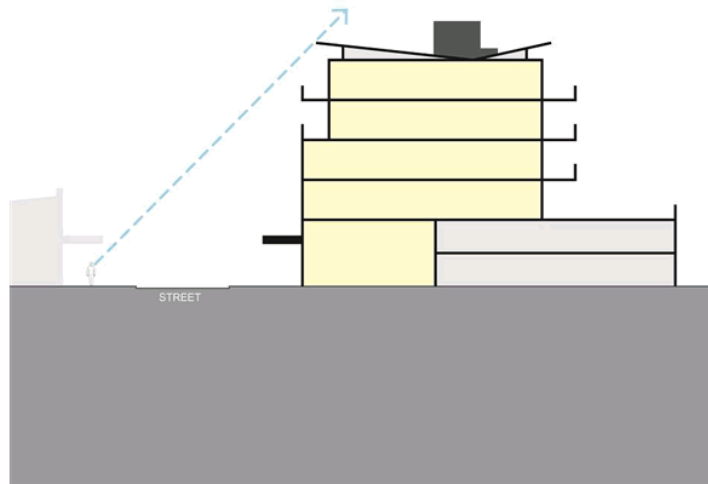


Figure C1.11 – External Fixtures

Section 2 – Activity Corridors

Part 2 Section 2 of this Policy applies to Activity Corridors as shown in Figure 1 – Built Form Areas.

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POLICY NO. 7.1.1
BUILT FORM

2.1 Building Height

all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P2.1.1** Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.
- P2.1.2** Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.
- P2.1.3** Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
- P2.1.4** Design which minimises overlooking and overshadowing where it impacts residential development.
- P2.1.5** The City may approve development which exceeds the maximum height stated in Table 2 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P2.1.1 – P2.1.4.

C2.1.1 Development that is consistent with the building heights provided in Table 2 and Figure 2.

C2.1.2 External fixtures may extend beyond the maximum height in Table 2 and Figure 2 where they are not visible from the street or neighbouring properties.

C2.1.3 The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this policy.

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in Sections 51.6 and 6.1.2 of the R Codes. For

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Section 2 – Activity Corridors

TABLE 2: Building Height – Activity Corridors

Activity Corridors	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Oxford Street	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Scarborough Beach Road	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Fitzgerald Street (Newcastle St to Vincent St)	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Fitzgerald Street (Vincent St to Raglan Road)	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Newcastle Street	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Beaufort Street (Newcastle St to Lincoln St)	5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
Beaufort Street (Lincoln St to Walcott St)	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m

2.2 Activity Corridor Development Requirements

- 2.2.1** All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1.

Section 3 – Mixed Use

Part 2 Section 3 of this Policy applies to Mixed Use Areas as shown in Figure 1 – Built Form Areas.

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BUILT FORM

3.1 Building Height

all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in Sections 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P3.1.1** Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.
- P3.1.2** Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.
- P3.1.3** Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
- P3.1.4** Design which minimises overlooking and overshadowing where it impacts residential development.
- P3.1.5** The City may approve development which exceeds the maximum height stated in table 3 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P3.1.1 – P3.1.4.

C3.1.1 Development that is consistent with the building heights provided in Table 3 and Figure 2.

C3.1.2 External fixtures may extend beyond the maximum height in Table 3 and Figure 2 where they are not visible from the street or neighbouring properties.

C3.1.3 The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this policy.

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in Sections 5.1.6 and 6.1.2 of the R Codes. For

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Section 3 – Mixed Use

TABLE 3: Building Height – Mixed Use Areas

Mixed Use Area	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Area bounded by Newcastle St, Loftus St, Mitchell Freeway and Charles St	7 storeys	22.6m	23.6m	22.6m	23.6m	25.6m
Area bounded by Carr St, Charles St, Newcastle St and Fitzgerald St	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Between Fitzgerald St and William St	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Brisbane St						
Bulwer St						
Charles St						
Green St						
Walcott St						
William St						
Between William St and Lord St						
North Perth	6 storeys					
Area bounded by Summers St, Lord St,		19.5m	20.5m	19.5m	20.5m	22.5m

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Section 3 – Mixed Use

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Graham Farmer Freeway and East Parade (Except where defined below)						
Edward St South	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m
Edward St North	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Caversham South	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m
Caversham North	10 storeys	31.9m	32.9m	31.9m	32.9m	34.9m
Cheriton South	10 storeys	31.9m	32.9m	31.9m	32.9m	34.9m
Cheriton North	12 storeys	38.1m	39.1m	38.1m	39.1m	41.1m

3.2 Mixed Use Development Requirements

All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1.

Section 4 – Transit Corridors

Part 2 Section 4 of this Policy applies to Transit Corridors as shown in Figure 1 – Built Form Areas.

4.1 Building Size

- 4.1.1** Where Part 5 of the R Codes applies, and for all other development, no provisions apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.1.1 of the R Codes apply.

CITY OF VINCENT PLANNING AND BUILDING POLICY MANUAL
POLICY NO. 7.1.1
BUILT FORM

4.2 Building Height

all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P4.2.1** Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.
- P4.2.2** Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.
- P4.2.3** Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
- P4.2.4** Design which minimises overlooking and overshadowing where it impacts residential development.
- P4.2.5** The City may approve development which exceeds the maximum height stated in table 4 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P4.2.1 – P4.2.4.

C4.2.1 Development that is consistent with the building heights provided in Table 4 and Figure 2.

C4.2.2 External fixtures may extend beyond the maximum height in Table 4 and Figure 2 where they are not visible from the street or neighbouring properties.

C4.2.3 The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this policy.

Deemed to Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.1.6 and 6.1.2 of the R Codes. For

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Section 4 – Transit Corridors

TABLE 4: Building Height – Transit Corridors

Transit Corridors	Maximum No. of Storeys	Top of external wall (roof above)	Maximum Building Height			
			Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Loftus Street	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Charles Street: Between Newcastle St and Carr St						
West side and lots fronting Newcastle	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
East side	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Charles Street (Carr Street to Walcott St)	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R80 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Fitzgerald Street (Angove St to Walcott St)	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Walcott Street	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Lord Street	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
East Parade	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m

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Section 4 – Transit Corridors

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Transit Corridors	Maximum No. of Storeys		Maximum Building Height			
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
William Street (Vincent St to Walcott St)	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m

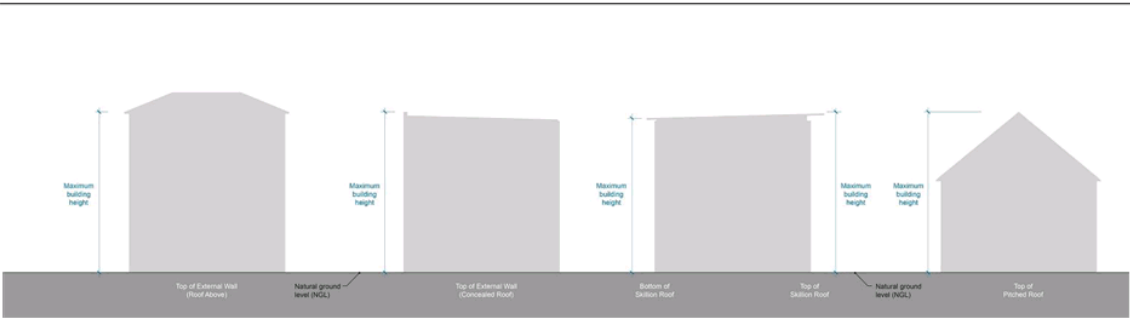


Figure C4.2.1 – Building Height and Measurement

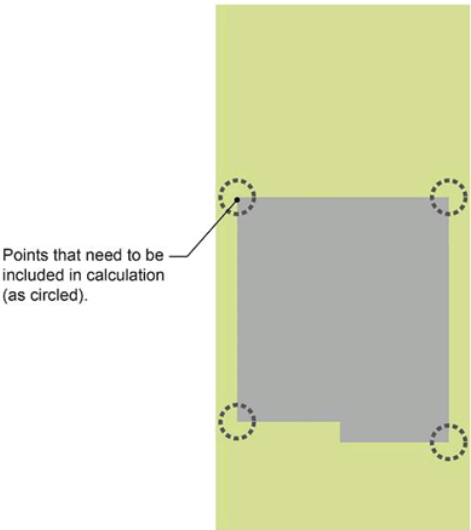


Figure 3 - Average Natural Ground Level Calculation

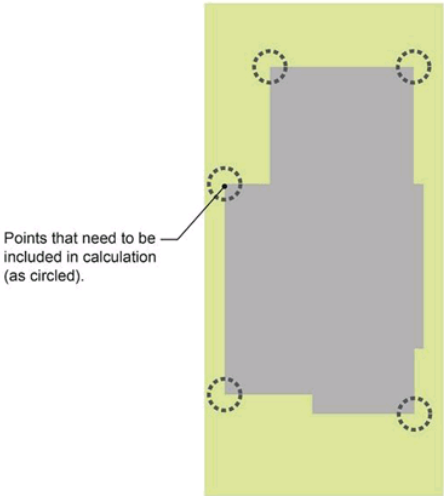


Figure 4 - Average Natural Ground Level Calculation

CITY OF VINCENT PLANNING AND BUILDING POLICY MANUAL
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For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

4.3 Setbacks

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.2, 5.1.3, 6.1.3 and 6.1.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P4.3.1** Development which incorporates design elements that reduce the impact of building bulk.
- P4.3.2** Development which maximises natural light access, natural ventilation, internal and external privacy.
- P4.3.3** Setbacks that facilitate the provision of landscaping.
- P4.3.4** Development which activates and addresses rights of way.

Deemed to Comply

For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C4.3.1** Where Part 5 of the R Codes applies the primary and secondary street setback is as per Clause 5.1.2. Where Part 6 of the R Codes applies, and for all other development, the primary and secondary street setback is as per Clause 6.1.3 in the R Codes.

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions are considered local planning policy provisions for the purpose of clause 6.2.4 C4.

- C4.3.2** Primary and secondary street setback for the third storey and above must incorporate articulation and the use of varying colours and materials which minimise the bulk and scale of the building on the streetscape.

For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

The following setback provisions are subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.1.3 C3.1, 6.1.4 C4.1 and 6.1.4 C4.2 of the R Codes.

Setbacks Adjoining Non-Residential Built Form Areas

- C4.3.3** Side boundary setbacks as per Clause 5.1.3 and 6.1.4 in the R Codes unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

- C4.3.4** Rear boundary setbacks for Residential, Mixed-Use and Commercial buildings are to be in accordance with Table 5 of the R Codes unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

Setbacks Adjoining Residential Built Form Areas

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Section 4 – Transit Corridors

C4.3.5 Lot boundary setbacks adjoining properties coded R60 and above are:

- Ground floor and second storey is 4.5m; and
- third storey and above 6.5m;

unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

C4.3.6 Lot boundary setbacks adjoining properties coded R50 and below are:

- Ground floor and second storey is 6.5m; and
- third storey and above 12.5m;

unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

Development Adjoining Rights of Way

C4.3.7 Where development adjoins a right of way the setback shall be measured from the midpoint of the right of way.

C4.3.8 Development must address adjoining rights of way by providing passive surveillance and openings to the right of way.

Not Accepted

N4.3.1 Non-compliance with lot boundary setback provisions where the site adjoins land coded R40 and below.

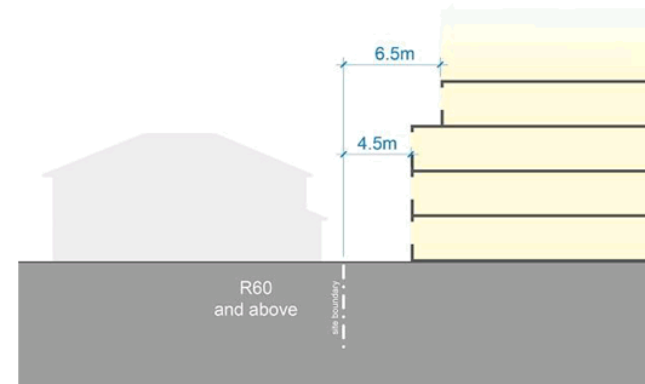


Figure C1.2.5 - Lot boundary setbacks adjoining properties coded R60 and above.

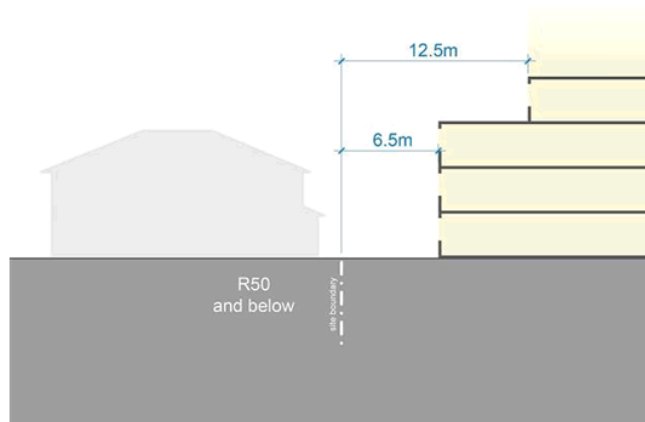


Figure C1.2.6 - Lot boundary setbacks adjoining properties coded R50 and below

4.4 Open Space

- 4.4.1** Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.1.4 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.1.5 of the R Codes apply.

4.5 Street Surveillance

- 4.5.1** Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.2.3 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.2.1 of the R Codes apply.

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4.6 Street Walls and Fences

Design Principles

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.2.4 and 6.2.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

P4.6.1 Front fences and walls which enable surveillance and enhance streetscape.

P4.6.2 Development which adds interest to the street and minimises blank facades.

Deemed-to-Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.2.4 and 6.2.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

C4.6.1 Street walls, fences and gates are to be of a style and materials compatible with those of the development on site and/or walls, fences and gates of the immediate surrounding area.

C4.6.2 Street walls, fences and gates within the primary street setback area, including along the side boundaries, and front walls and fences to new dwellings fronting a right of way or dedicated road to be as follows:

- (a) Maximum height of 1.8 metres above the natural ground level;
- (b) Maximum height of piers with decorative capping to be 2 metres above the natural ground level;
- (c) Maximum height of solid portion of wall to be 1.2 metres above adjacent footpath level and are to be visually permeable above 1.2 metres;
- (d) Posts and piers are to have a maximum width 400 millimetres and a maximum diameter of 500 millimetres; and
- (e) The distance between piers should not be less than the height of the piers except where pedestrian gates are proposed.

C4.6.3 Street walls, fences and gates to secondary streets, behind the primary street setback line, or walls, fences and gates to the primary streets where those streets are district distributor roads to be as follows:

- (a) Solid portion of wall may increase to a maximum height of 1.8 metres above adjacent footpath level provided that the wall or fence has at least two significant appropriate design features (to the satisfaction of the City of Vincent) to reduce the visual impact – for example, significant open structures, recesses and/or planters facing the road at regular intervals and varying materials, finishes and/or colours; and
- (b) Maximum height of piers with decorative capping to be 2 metres above adjacent footpath level.

C4.6.4 Exposed boundary walls visible to the street are to incorporate the following design features:

- Indentations;

- Varying heights;
- Varying materials, colours and textures; or
- Public artwork.

C4.6.5 Any proposed vehicular or pedestrian entry gates shall be visually permeable.

C4.6.6 Walls and fences on the side boundaries, only within the primary street setback area, constructed from metal sheeting are permitted provided they meet all other requirements relating to height, provide adequate sight lines and are not a side boundary fence facing a secondary street.

Not Accepted

N4.6.1 Street walls, fences and gates constructed from fibre cement are not acceptable.

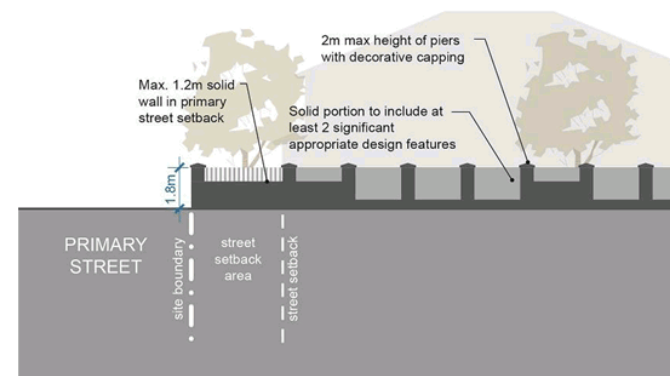


Figure C4.6 – Street walls and fences

4.7 Sight lines

- 4.7.1** Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.2.5 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.2.3 of the R Codes apply.

4.8 Building Appearance

- 4.8.1** Where Part 5 of the R Codes applies no provisions apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.2.4 of the R Codes apply.

4.9 Outdoor living areas

- 4.9.1** Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.1 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.1 of the R Codes apply.

4.10 Landscaping**Design Principles**

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.3.2 and 6.3.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P4.10.1** Landscaping is to be designed to reduce the impact of development on adjoining residential zones and public spaces.
- P4.10.2** Landscaping should provide increased urban air quality, tree and vegetation coverage and a sense of open space between buildings.
- P4.10.3** The integration of sustainable landscape design with the building creating a greater landscaping amenity for residents and occupants and the community.
- P4.10.4** The provision of landscaping that will make an effective and demonstrated contribution to the City's green canopy to reduce the impact of the urban heat island effect.
- P4.10.5** Landscaping design which facilitates the retention of existing vegetation and deep soil zones.
- P4.10.6** Landscaping at the rear of the property should not negatively impact on the use and activation of a right of way.

- P4.10.7** Open air car parks should be appropriately landscaped to provide adequate shading and reduce the impact on adjoining properties.

Deemed-To-Comply

For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

The following landscaping provisions are subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.3.2 and 6.3.2 of the R Codes.

- C4.10.1** Deep soil zones are to be provided as follows:

Site Area	Minimum Area	Deep Soil Zone (% of site)
<650m ²	1m ²	15%
650m ² – 1,500m ²	3m ²	15%
>1,500m ²	6m ²	15%

NOTE: the minimum dimension for the area of deep soil zone is to be 1m

- C4.10.2** 50% of the front setback to be provided as soft landscaping.
- C4.10.3** The required deep soil zone may be reduced to 12% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.
- C4.10.4** 30% of the site area is to be provided as canopy coverage within at maturity.

- C4.10.5** A Landscape Plan designed by a registered Landscape Architect is to be submitted to the City in conjunction with the Development Application.
- C4.10.6** A Landscape Maintenance Schedule setting out the program of activities required to maintain the health and amenity of plantings for the life of the development is to be prepared by the Landscape Architect responsible for the design and submitted to the City in conjunction with the Development Application.
- C4.10.7** Open air car parks are to have a minimum of 80% canopy coverage at maturity.
- C4.10.8** All open-air parking areas are to be landscaped at a rate of one tree per four car bays.
- C4.10.9** The perimeter of all open-air parking areas are to be landscaped by a planting strip of at least 1.5m width.

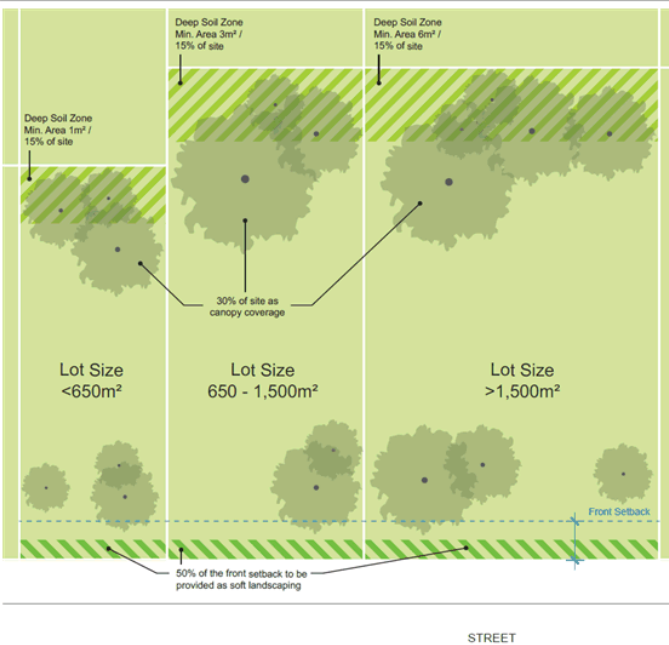


Figure 8 – Transit Corridor Landscaping

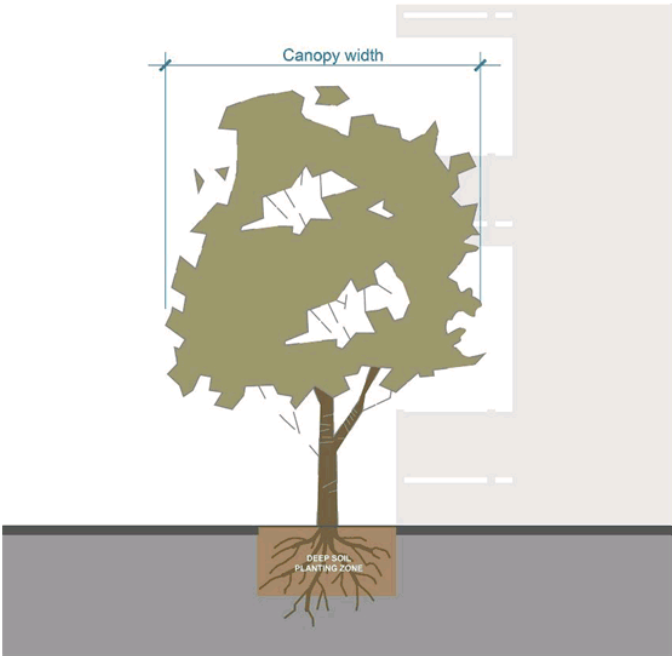


Figure C4.10.1 & C4.10.4 – Deep Soil & Canopy Width

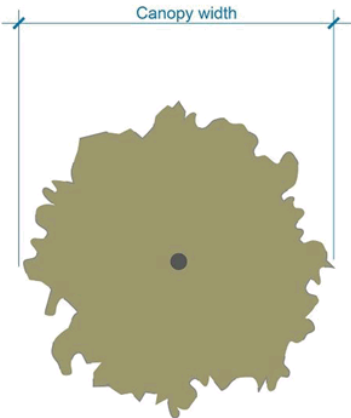


Figure 6 – Canopy Coverage

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4.11 Parking

4.11.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.3 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.3 of the R Codes apply.

4.12 Design of Car Parking Spaces

4.12.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.4 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.4 of the R Codes apply.

4.13 Vehicular Access

4.13.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.5 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.5 of the R Codes apply.

4.14 Site Works

4.14.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.7 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.6 of the R Codes apply.

4.15 Retaining Walls

4.15.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.8 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.7 of the R Codes apply.

4.16 Stormwater Management

4.16.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.9 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.8 of the R Codes apply.

4.17 Visual Privacy

4.17.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.4.1 of the R Codes apply. Where Part 6 of the R Codes applies, and

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for all other development, all Design Principles and Deemed to Comply criteria of clause 6.4.1 of the R Codes apply.

4.18 Solar Access for adjoining sites

4.18.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.4.2 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.4.2 of the R Codes apply.

4.19 Dwelling Size

4.19.1 Where Part 5 of the R Codes applies no provisions apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.4.3 of the R Codes apply.

4.20 Outbuildings

4.20.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.4.3 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.4.4 of the R Codes apply.

4.21 External Fixtures**Design Principles**

P4.21.1 Where Part 5 of the R Codes applies all Design Principles of clause 5.4.4 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles of clause 6.4.5 of the R Codes apply.

Deemed-to-Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.4.4 C4.3, 5.4.4 C4.4, 6.4.5 C5.3 and 6.4.5 C5.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

C4.21.1 External fixtures are permitted where they are:

- not visible from the street and surrounding properties; or
- integrated with the design of the building.

C4.21.2 If external fixtures cannot be integrated into the design of the building to be concealed from the street and surrounding properties they will be required to be screened as follows:

- continuous vertical or horizontal opaque material more than 50mm in width, occupying a minimum of three quarters of the total surface area in aggregate; or
- a surface offering equal or more obstruction to view which does not compromise ventilation.

C4.21.3 For single houses and grouped dwellings, air conditioning fixtures are to be placed at the rear of the ground floor. The highest point of the air conditioning fixture is to be a maximum 1.8 metres above natural ground level or below the existing fence line.

Not Accepted

N4.21.1 External fixtures are not permitted to protrude above the roofline.

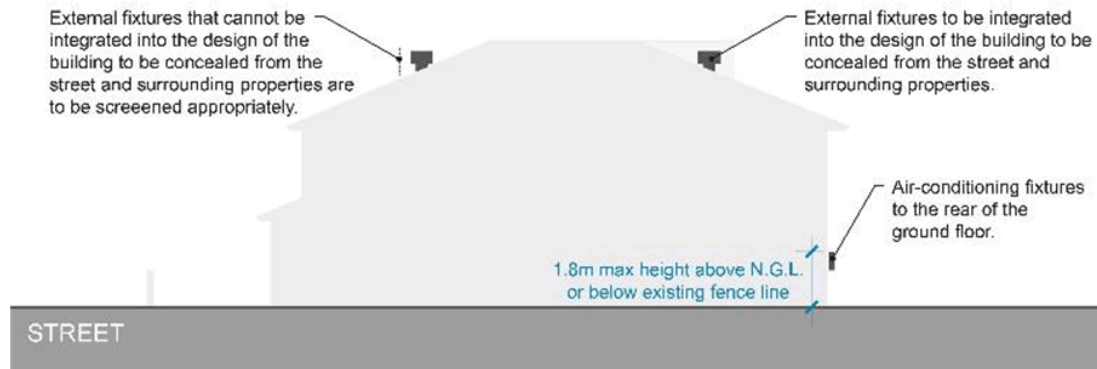


Figure C4.21 – External Fixtures

4.22 Utilities and Facilities

4.22.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.4.5 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.4.6 of the R Codes apply.

4.23 Environmentally Sustainable Design

4.23.1 All Design Principles and Local Housing Objectives of clause 1.8 of Part 2 Section 1 of this Policy apply to all development with the exception of the erection or extension of single houses or grouped dwellings.

Section 5 - Residential

Part 2 Section 5 of this Policy applies to Residential Areas as shown in Figure 1 – Built Form Areas.

5.1 Site Area

- 5.1.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.1.1 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.

5.2 Street Setback

Design Principles

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.2 and 6.1.3 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P5.2.1** Development which preserves and enhances the visual character of the existing streetscape by considering building setbacks.
-

Deemed-to-Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.1.2 C2.1 and 6.1.3 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

Street setback

- C5.2.1** The primary street setback is to be the average of the five properties adjoining the proposed development.

Dual frontage

- C5.2.2** The above setback distances also apply to development which has an elevation to a road which does not intersect or adjoin the primary or secondary streets.

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5.3 Lot Boundary Setback

Design Principles

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.2, 5.1.3, 6.1.3 and 6.1.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

P5.3.1 Development which preserves and enhances the visual character of the existing streetscape by considering building setbacks.

Deemed-to-Comply

For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

The following setback provisions are subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.1.3 C3.2 and 6.1.4 C4.1 of the R Codes.

C5.3.1 Walls may be built up to two lot boundaries, where it does not affect two boundaries of the same lot, behind the street setback within the following limits and subject to the overshadowing provisions of Clause 5.23.

- i. where the wall abuts an existing or simultaneously constructed wall of similar or greater dimension;

- ii. in areas coded R20 and R25, walls not higher than 3.5m with an average of 3m or less, up to a maximum length of the greater of 9m or one-third the length of the balance of the lot boundary behind the front setback;
- iii. in areas coded R30 and higher, walls not higher than 3.5m with an average of 3m or less, for two-thirds the length of the balance of the lot boundary behind the front setback; or
- iv. where both the subject site and the affected adjoining site are created in a plan of subdivision submitted concurrently with the development application.

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.1.3 C3.2, 6.1.4 C4.1 and 6.1.4 C4.2 of the R Codes.

C5.3.2 Rear boundary setbacks for development adjoining R60 and above are:

- Ground floor, second and third storey is 4.5m; and
 - fourth storey and above 6.5m;
- unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

C5.3.3 Rear boundary setbacks for development adjoining R50 and below are:

- Ground floor, second and third storey is 6.5m; and
 - fourth storey and above 12.5m;
- unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

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Section 5 – Residential Areas

C5.3.4 Where development adjoins a right of way the setback shall be measured from the midpoint of the right of way.

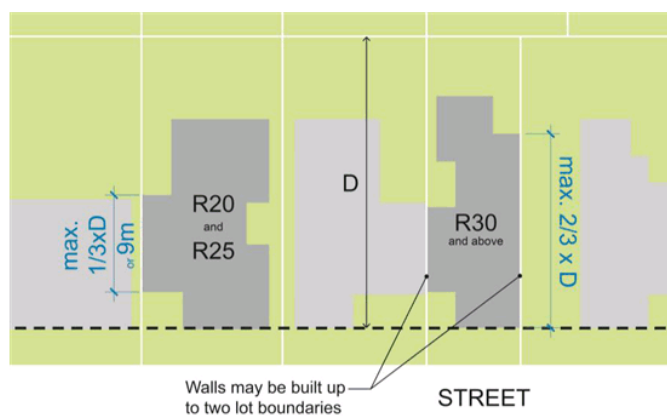


Figure 5.3 – Residential lot boundary setbacks

5.4 Open Space

- 5.4.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.1.4 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of Clause 6.1.5 of the R Codes apply.

5.5 Communal Open Space

- 5.5.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.1.5 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.

5.6 Building Height

Design Principles & Local Housing Objectives

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P5.6.1** Buildings which respond and contribute to neighbourhood context and streetscape character, and do not overwhelm or dominate existing development.
- P5.6.2** Design which is complimentary to existing developments.
- P5.6.3** Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
- P5.6.4** Design which minimises overlooking and overshadowing.
- P5.6.5** Development which preserves and enhances the visual character of the existing streetscape by considering building bulk and scale.
- P5.6.6** The City may approve development which exceeds the maximum height stated in table 5 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P5.6.1 – P5.6.5.

Deemed-to-Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C5.6.1** Development that is consistent with the building heights provided in Table 5 and Figure 2.

TABLE 5: Building Height – Residential Area

Maximum No. of Storeys as per Figure 2	Maximum Building Height				
	Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
1 storey	3m	4m	3m	4m	6m
2 storeys	6m	7m	6m	7m	9m
3 storeys	9m	10m	9m	10m	12m
4 storeys	12m	13m	12m	13m	15m
5 storeys	16m	17m	16m	17m	18m

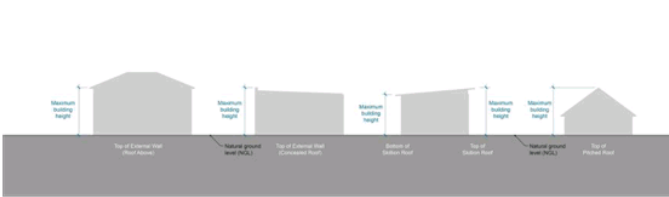


Figure C5.6.1 – Residential Building Heights

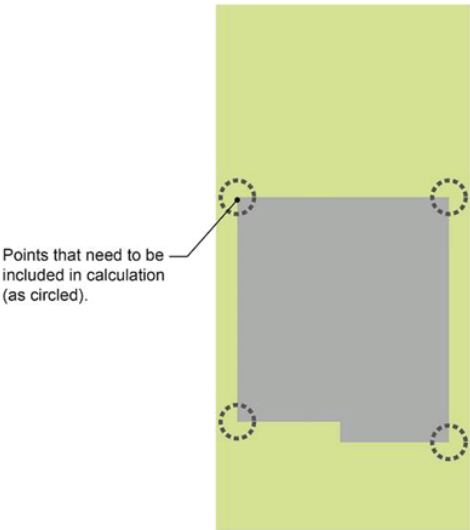


Figure 3 - Average Natural Ground Level Calculation

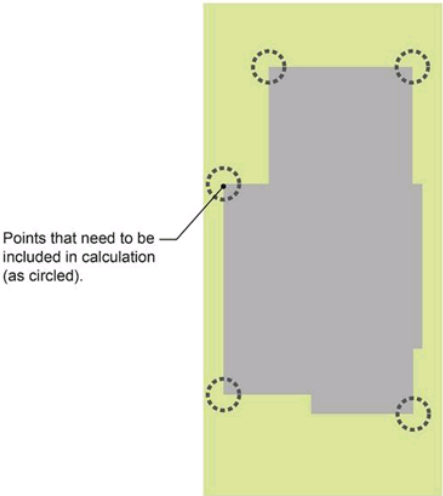


Figure 4 - Average Natural Ground Level Calculation

5.7 Setback of Garages and Carports**Design Principles & Local Housing Objectives**

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.2.1 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P5.7.1** The setting back of carports and garages to maintain clear sight lines along the street and not to detract from the streetscape or appearance of dwellings; or obstruct views of dwellings from the street and vice versa.
- P5.7.2** Development which preserves and enhances the visual character of the existing streetscape by considering building bulk, scale, setbacks and design.

Deemed-to-Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in Clause 5.2.1 C1.1, 5.2.1 C1.2 and 5.2.1 C1.5 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

- C5.7.1** Vehicular access to car parking, carports and garages from the street are subject to compliance with clause 5.3.5 of the R Codes.
- C5.7.2** Garages are to be setback a minimum of 500mm behind the building line of the dwelling.
- C5.7.3** Carports shall be setback in accordance with Clause 5.2.1 C1.2 of the R Codes.

- C5.7.4** Garages and carports must match the existing dwellings predominant colour, scale and materials and must be complementary and subservient to the dwelling.
- C5.7.5** Carports must provide an unobstructed view to major openings of the dwelling from the street. Gates or doors to carports are required to be visually permeable.
- C5.7.6** Carports shall allow light and ventilation to the major openings of the dwelling.
- C5.7.7** The total width of any carport within the street setback area is not to exceed 50 per cent of the frontage (including strata lots) of the lot or six metres whichever is the lesser.

Not Accepted

- N5.7.1** Roller doors and/or gates on any carports located within the street setback area which are not visually permeable.

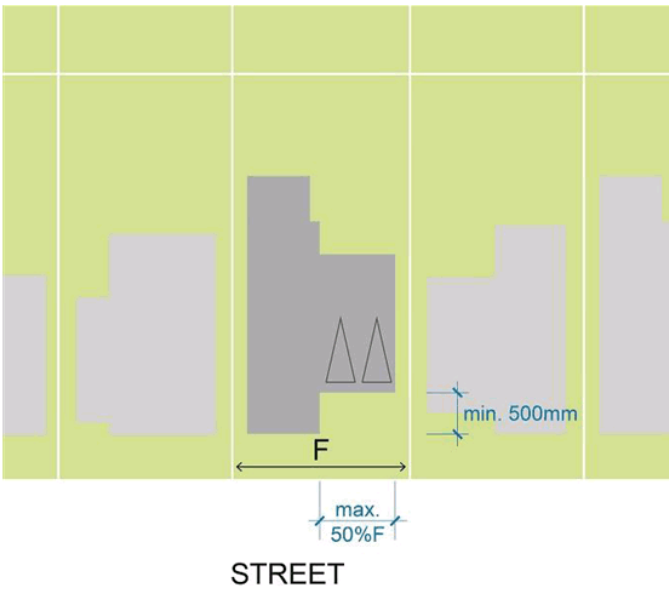


Figure C5.7.3 – Garage Street Setback

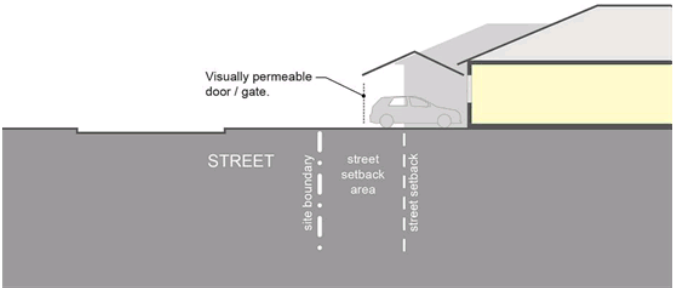


Figure C5.7.4 – Carports within Street Setback

5.8 Garage Width

- 5.8.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.2.2 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.

5.9 Street Surveillance**Design Principles & Local Housing Objectives**

P5.9.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles of clause 5.2.3 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles of clause 6.2.1 of the R Codes apply.

Deemed-to-Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.2.3 C3.2 and 6.2.1 C1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

C5.9.1 The primary street elevation of the dwelling is to address the street and shall include the main entry (front door) to the dwelling.

Sites which abut a right-of-way and do not designate another primary street shall address the right-of-way as though it were its primary street for the purposes of this clause.

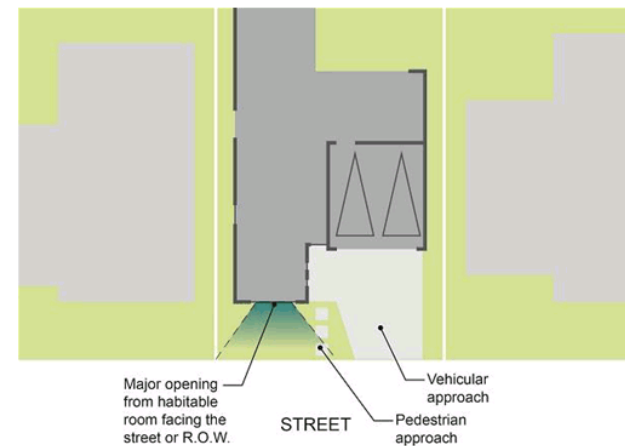


Figure C5.9.1 – Street Surveillance

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5.10 Street Walls and Fences

Design Principles

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.2.4 and 6.2.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

P5.10.2 Development which preserves and enhances the visual character of the existing streetscape by considering bulk, scale, setbacks, design, relationship between the private and public domain, and fencing styles.

Deemed-to-Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.2.4 and 6.2.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

C5.10.1 Street walls, fences and gates are to be of a style and materials compatible with those of the dwelling on site and/or walls, fences and gates of the immediate surrounding area.

C5.10.2 Street walls, fences and gates within the primary street setback area, including along the side boundaries, and front walls and fences to new dwellings fronting a right of way or dedicated road to be as follows:

- (a) Maximum height of 1.8 metres above the natural ground level;
- (b) Maximum height of piers with decorative capping to be 2 metres above the natural ground level;

- (c) Maximum height of solid portion of wall to be 1.2 metres above adjacent footpath level and are to be visually permeable above 1.2 metres;
- (d) Posts and piers are to have a maximum width 400 millimetres and a maximum diameter of 500 millimetres; and
- (e) The distance between piers should not be less than the height of the piers except where pedestrian gates are proposed.

C5.10.3 Street walls, fences and gates to secondary streets, behind the primary street setback line, or walls, fences and gates to the primary streets where those streets are district distributor roads to be as follows:

- (a) Solid portion of wall may increase to a maximum height of 1.8 metres above adjacent footpath level provided that the wall or fence has at least two significant appropriate design features (to the satisfaction of the City of Vincent) to reduce the visual impact – for example, significant open structures, recesses and/or planters facing the road at regular intervals and varying materials, finishes and/or colours; and
- (b) Maximum height of piers with decorative capping to be 2 metres above adjacent footpath level.

Note: The measurement of street walls, fences and gates is to include any retaining walls and is to be measured from the natural ground level immediately below the base of the wall to the top of the wall above, within the development site. In the case of primary street frontage the measurement of street walls, fences and gates is to be measured from the natural ground level of the footpath immediately below the base of the wall to the top of the wall above.

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Section 5 – Residential Areas

C5.10.4 Walls, fences and gates on the side boundaries within the primary street setback area, constructed from metal sheeting are permitted provided they meet all other requirements relating to height, provide adequate sight lines and are not a side boundary fence facing a secondary street.

Not Accepted

N5.10.1 Street walls, fences and gates constructed from fibre cement are not acceptable in the primary street setback area.

N5.10.1 Street walls, fences and gates made of metal sheeting.

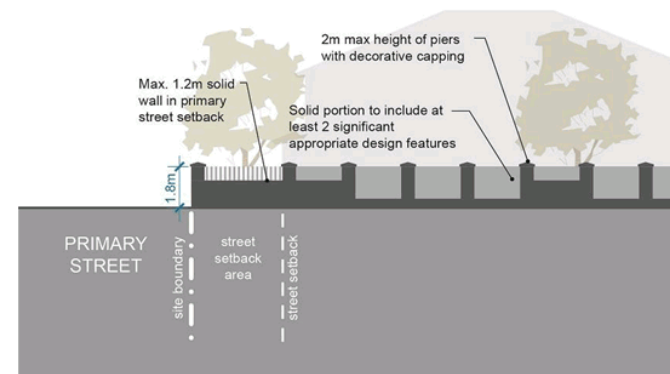


Figure C5.10 – Street Walls and Fences

5.11 Sight Lines

- 5.11.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.2.5 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of Clause 6.2.2 of the R Codes apply.

5.12 Appearance of Retained Dwelling

- 5.12.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.2.6 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.

5.13 Outdoor Living Areas

- 5.13.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.3.1 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of Clause 6.3.1 of the R Codes apply..

5.14 Landscaping**Design Principles**

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.3.2 and 6.3.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

- P5.14.1** Landscaping is to be designed to reduce the impact of development on adjoining residential zones and public spaces.
- P5.14.2** Landscaping should provide increased urban air quality, tree and vegetation coverage and a sense of open space between buildings.
- P5.14.3** The integration of sustainable landscape design with the building creating a greater landscaping amenity for residents and occupants and the community.
- P5.14.4** The provision of landscaping that will make an effective and demonstrated contribution to the City's green canopy to reduce the impact of the urban heat island effect.
- P5.14.5** Landscaping design which facilitates the retention of existing vegetation and deep soil zones.
- P5.14.6** Landscaping at the rear of the property should not negatively impact on the use and activation of a right of way.

- P5.14.7** Open air car parks should be appropriately landscaped to provide adequate shading and reduce the impact on adjoining properties.

Deemed-To-Comply

For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

The following landscaping provisions are subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.3.2 and 6.3.2 of the R Codes.

New Dwellings

- C5.14.1** Deep soil zones are to be provided as follows:

Site Area	Minimum area	Deep Soil Zone (% of site)
<650m ²	1m ²	15%
650m ² – 1,500m ²	3m ²	15%
>1,500m ²	6m ²	15%

NOTE: the minimum dimension for the area of deep soil zone is to be 1m

- C5.14.2** The required deep soil zone may be reduced to 12% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.
- C5.14.3** 30% of the site area is to be provided as canopy coverage at maturity.

Multiple Dwellings

with equivalent coverage is retained anywhere on the site.

C5.15.4 In addition to Clauses C5.14.1 – C5.14.3 the following Clauses C5.14.5 – C5.14.9 also apply to the development of Multiple Dwellings.

C5.14.5 A Landscape Plan designed by a registered Landscape Architect is to be submitted to the City in conjunction with the Development Application.

C5.14.6 A Landscape Maintenance Schedule setting out the program of activities required to maintain the health and amenity of plantings for the life of the development is to be prepared by the Landscape Architect responsible for the design and submitted to the City in conjunction with the Development Application.

C5.14.7 Open air car parks are to have a minimum of 80% canopy coverage at maturity.

C5.14.8 All open-air parking areas are to be landscaped at a rate of one tree per four car bays.

C5.14.9 The perimeter of all open-air parking areas are to be landscaped by a planting strip of at least 1.5m width.

Additions and Alterations to all buildings

C5.14.10 Where any additions or alterations to a building is proposed, 30% of the front setback area is to be provided as canopy coverage within 5 years of development approval, unless an existing mature tree

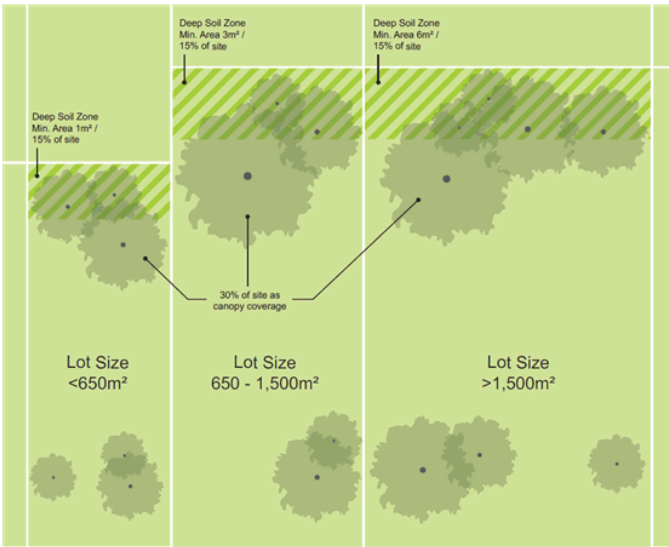
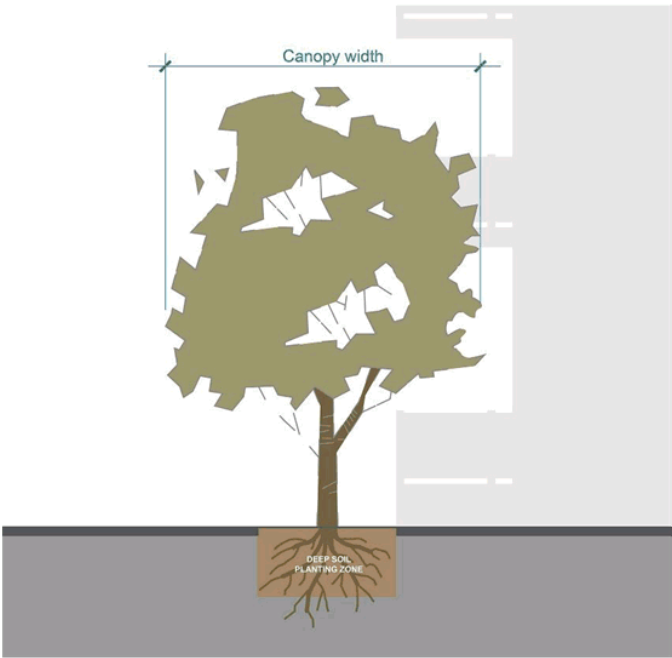


Figure 9 – Residential Landscaping



C5.14.1 & C5.14.3 – Deep Soil & Canopy Width

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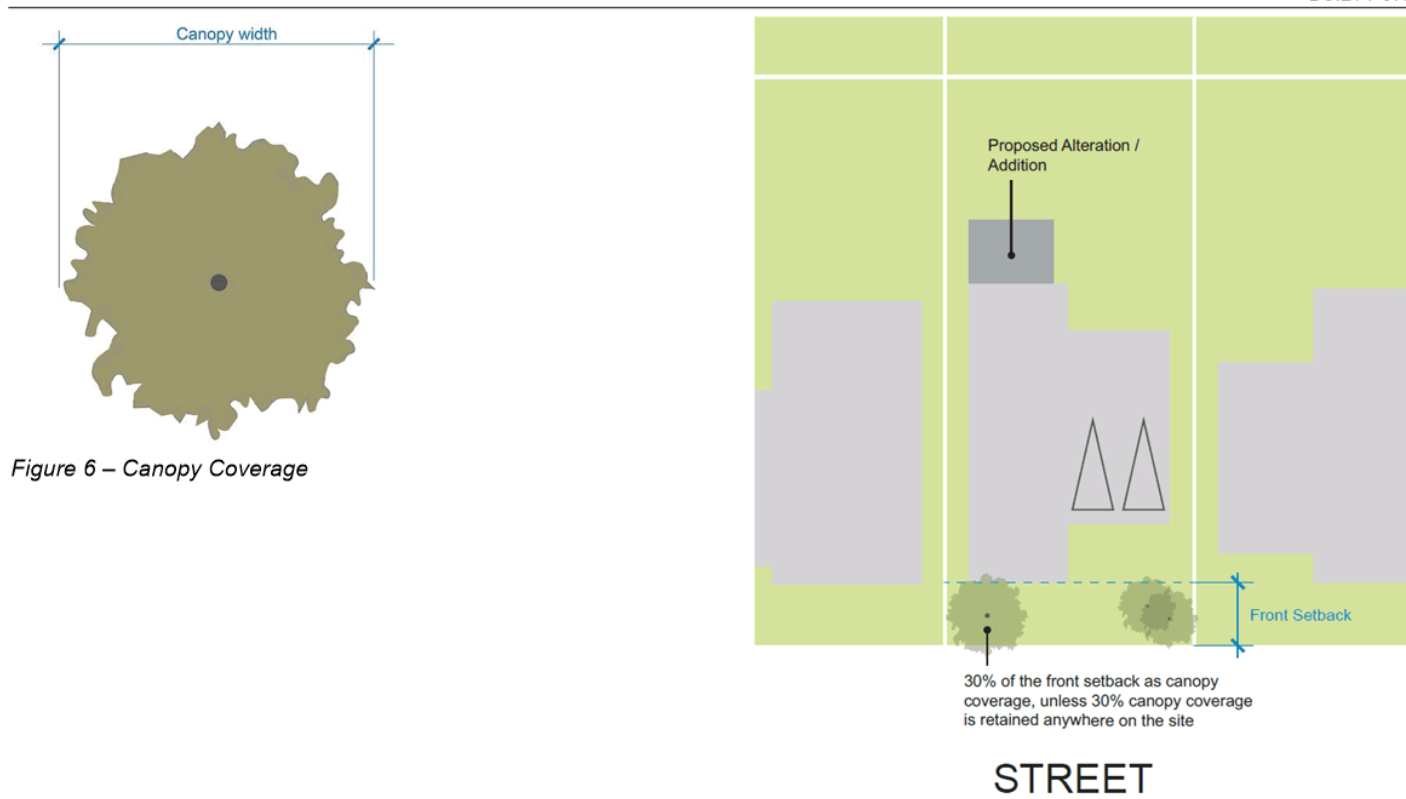


Figure C5.14.10 – Additions and Alterations

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5.15 Parking	Where Part 6 of the R Codes applies no provisions apply.
5.15.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.3 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.3 of the R Codes apply.	5.19 Site Works 5.19 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.7 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.6 of the R Codes apply.
5.16 Design of Car Parking Spaces	5.20 Retaining Walls
5.16.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.4 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.4 of the R Codes apply.	5.20.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.8 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.7 of the R Codes apply.
5.17 Vehicular Access	5.21 Stormwater Management
5.17.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.5 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.5 of the R Codes apply.	5.21.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.9 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.8 of the R Codes apply.
5.18 Pedestrian Access	5.22 Visual Privacy
5.18.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.3.6 of the R Codes apply.	5.22.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.4.1 of the R Codes

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Section 5 – Residential Areas

apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.4.1 of the R Codes apply.

5.23 Solar Access for Adjoining Sites

5.23.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.4.2 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.4.2 of the R Codes apply.

5.24 Outbuildings

5.23.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.4.3 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.4.4 of the R Codes apply.

5.25 External Fixtures**Design Principles**

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.4.4 and 6.4.6 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

P5.25.1 Development which preserves and enhances the visual character of the existing streetscape by considering building bulk, scale and design.

Deemed-to-Comply

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.4.4, 6.4.5 C5.3 and 6.4.5 C5.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

C5.25.1 External fixtures are permitted where they are:

- not visible from the street and surrounding properties; or
- integrated with the design of the building.

C5.25.2 If external fixtures cannot be integrated into the design of the building to be concealed from the street and surrounding properties they will be required to be screened as follows:

- continuous vertical or horizontal opaque material more than 50mm in width, occupying a minimum

of three quarters of the total surface area in aggregate; or

- a surface offering equal or more obstruction to view which does not compromise ventilation.

C5.25.3 For single houses and grouped dwellings, air conditioning fixtures are to be placed at the rear of the ground floor. The highest point of the air conditioning fixture is to be a maximum 1.8 metres above natural ground level or below the existing fence line.

Not Accepted

N5.25.1 External fixtures are not permitted to protrude above the roofline.

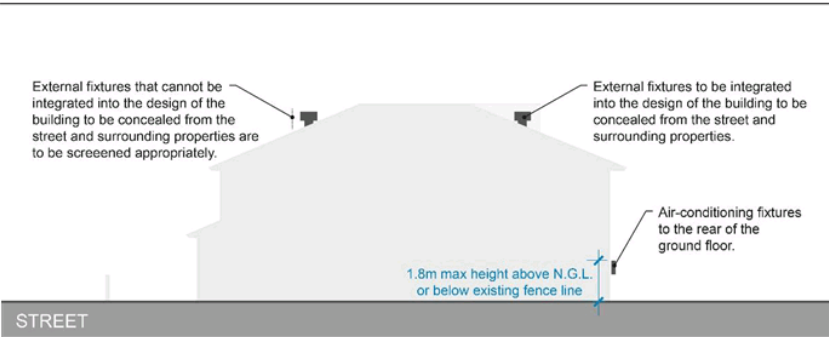


Figure 5.25 – External Fixtures

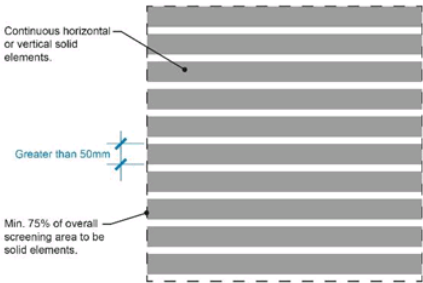


Figure C5.25.2 – Screening of External Fixtures

5.26 Utilities and Facilities

development with the exception of the erection or extension of single houses or grouped dwellings.

- 5.26.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.4.5 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.4.6 of the R Codes apply.

5.27 Ancillary Dwellings

- 5.27.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.5.1 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.

5.28 Aged or Dependent Persons' Dwellings

In accordance with the City's Local Planning Policy No. 7.4.2 - Aged or Dependent Persons' Dwellings.

5.29 Single Bedroom Dwellings

- 5.29.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.5.3 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.

5.30 Environmentally Sustainable Design

- 5.30.1** All Design Principles and deemed-to comply criteria of clause 1.8 of Part 2 Section 1 of this Policy apply to all

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5.31 Development on Rights of Way

Design Principles

- P5.31.1** Design development which appropriately addresses rights of way to facilitate spaces which are welcoming and safe for residents and visitors.
- P5.31.2** Development which provides appropriate pedestrian access to a dedicated road with suitable space for service areas and waste management.

Deemed-to-Comply

- P5.31.1** Development on rights of ways is to be in accordance with the Western Australian Planning Commission's Planning Bulletin 33 Rights of Way or Laneways in Established Areas – Guidelines.

Orientation

- C5.31.2** Where a dwellings' primary street frontage is a right of way, or where no primary street or secondary street frontage exists, it is to be oriented to address the right of way using clearly defined entry points and major openings as if it were a primary street.

Setbacks

The following setback provision is subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.

- C5.31.3** Development must be setback 1 metre from a right of way. If the site is subject to right of way widening, the setback is measured from the new lot boundary after the widening is applied.

Access

- C5.31.4** Each lot that does not have direct frontage to a dedicated road is to be provided with a pedestrian access way to a dedicated road. The width of the pedestrian access way is to be 1.5 metres.
- C5.31.5** Access to a right of way is required to be trafficable to the nearest dedicated road. The cost to upgrade a right of way to make it trafficable is to be borne by the applicant.

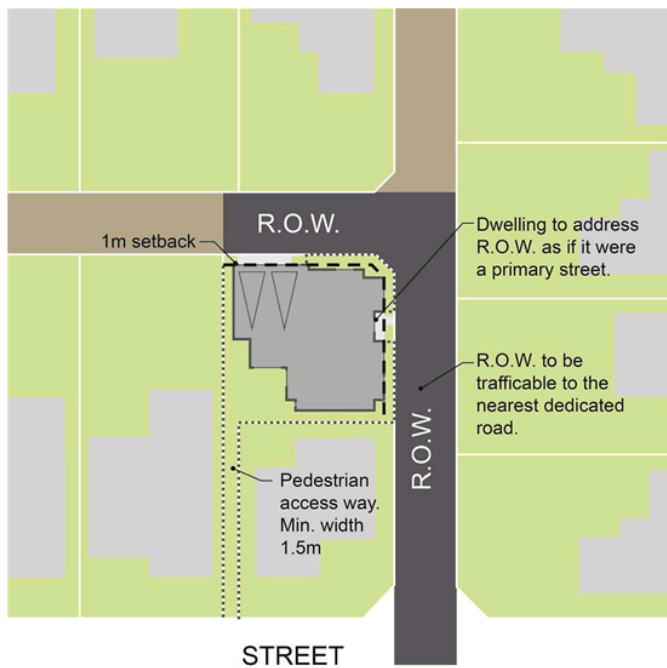


Figure 5.31 – Corner development on rights of way

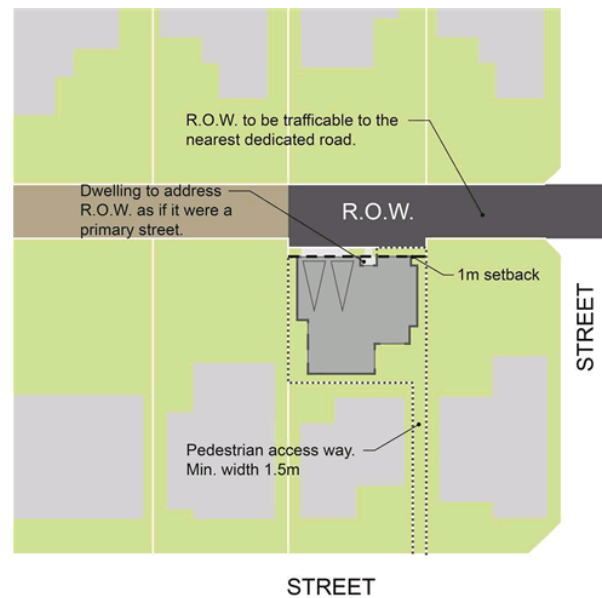


Figure 5.31 – Development on rights of way

Appendix 1 – DESIGN PRINCIPLES

1. Context and character

Good design responds to and enhances the distinctive characteristics of a local area, contributing to a sense of place.

The distinctive characteristics of a local area include its prominent natural and built features, the overall qualities of its built environment, significant heritage elements, as well as social, economic and environmental conditions.

Good design responds intelligently and sensitively to these factors, interpreting rather than replicating existing features and enhancing the identity of the area, including the adjacent sites, streetscape and neighbourhood.

Good design also responds positively to the intended future character of an area. It delivers appropriate densities that are consistent with projected population growth, and are able to be sustained by existing or proposed transport, green networks and social infrastructure.

Consideration of local context is particularly important for sites in established areas that are undergoing change or identified for change.

2. Landscape quality

Good design recognises that together landscape and buildings operate as an integrated and sustainable system, within a broader ecological context.

Good landscape design protects existing environmental features and ecosystems, enhances the local environmental context and regenerates lost or damaged ecosystem functionality, where possible. It balances consideration of environmental factors such as water and soil management, ground conditions, solar access, microclimate, tree canopy, habitat creation and preservation of green infrastructure with social, cultural and economic conditions.

Good landscape design employs hard and soft landscape and urban design elements to create external environments that interact in a considered manner with built form, resulting in well-integrated, engaging places that contribute to local identity and streetscape character.

Good landscape design provides optimal levels of external amenity, functionality and weather protection while ensuring social inclusion, equitable access and respect for the public and neighbours. Well-designed landscape environments ensure effective establishment and facilitate ease of long term management and maintenance.

3. Built form and scale

Good design provides development with massing and height that is appropriate to its setting and successfully negotiates between existing built form and the intended future character of the local area.

Good design achieves an appropriate built form by responding to its site, as well as surrounding built fabric, in a considered manner, mitigating negative impacts on the amenity of neighbouring properties and public realm.

Good design considers the orientation, proportion, composition, and articulation of built form elements, to deliver an outcome that is suited to the building's purpose, defines the public domain, respects important views, contributes to the character of adjacent streetscapes and parks, and provides a good pedestrian environment at ground level.

4. Functionality and build quality

Good design meets the needs of users efficiently and effectively, balancing functional requirements to deliver optimum benefit and performing well over the full life-cycle.

Designing functional environments involves ensuring that spaces are suited to their intended purpose and arranged to facilitate ease of use and good relationships to other spaces. Good design provides flexible and adaptable spaces, to maximise utilisation and accommodate appropriate future requirements without the need for major modifications.

Good build quality is achieved by using good quality and robust materials, finishes, elements and systems. Projects should be well-detailed, resilient to the wear and tear expected from its intended use, and easy to upgrade and maintain.

Good design accommodates required services in an integrated manner, without detriment to the overall design outcome.

5. Sustainability

Good design optimises the sustainability of the built environment, delivering positive environmental, social and economic outcomes.

Sustainable buildings utilise passive environmental design measures that respond to local climate and site conditions by providing optimal orientation, shading, thermal performance and natural ventilation. Reducing reliance on technology for heating and cooling minimises energy use, resource consumption and operating costs over the whole life-cycle of the project.

Other sustainable design measures include the use of sustainable construction materials, recycling, material re-use, harnessing of renewable energy sources, appropriate water management. Good design considers the ease with which sustainability initiatives can be maintained and managed.

Sustainable landscape and urban design adheres to established principles of water-sensitive urban design, and minimises negative impacts on existing natural features and ecological processes, as well as facilitating green infrastructure at all project scales.

6. Amenity

Good design optimises internal and external amenity for occupants, visitors and neighbours, contributing to living and working environments that are comfortable and productive.

Good design provides internal rooms and spaces that are adequately sized, comfortable and easy to use and furnish, with good levels of daylight, natural ventilation and outlook. Delivering good levels of internal amenity also includes the provision of appropriate levels of acoustic protection and visual privacy, adequate storage space, and ease of access for all.

Well-designed external spaces provide welcoming, comfortable environments that are universally accessible, with effective shade as well as protection from unwanted wind, rain, traffic and noise. Good design mitigates negative impacts on surrounding buildings and places, including overshadowing, overlooking, glare, reflection and noise.

7. Legibility

Good design results in buildings and places that are legible, with clear connections and memorable elements to help people find their way around.

Good urban design makes places easy to navigate, with recognisable routes, intersections and landmarks while being well-connected to existing movement networks. Sightlines are well-considered, with built form responding to important vantage points.

Within buildings, legibility is served by a clear hierarchy of spaces with identifiable entries and clear wayfinding. Externally, buildings and spaces should allow their purpose to be easily understood, and provide clear distinction between public and private spaces.

Good design provides environments that are logical and intuitive, at the scale of building, site and precinct.

8. Safety

Good design optimises safety and security, minimising the risk of personal harm and supporting safe behaviour and use.

Safety and security is promoted by maximising opportunities for passive surveillance of public and communal areas and providing clearly defined, well-lit, secure access points that are easily maintained and appropriate to the purpose of the development.

Good design provides a positive, clearly defined relationship between public and private spaces and addresses the need to provide optimal safety and security both within a development and to adjacent public realm.

Designing for safety also involves mitigating any potential occupational safety and health hazards that might result from a development during its construction, maintenance and operation.

9. Community

Good design responds to local community needs as well as the wider social context, providing buildings and spaces that support a diverse range of people and facilitate social interaction.

Good design encourages social engagement and physical activity in an inclusive manner, enabling stronger communities and improved public health outcomes.

In residential developments, good design achieves a mix of dwelling types, providing housing choice for different demographics, living needs and household budgets, and facilitating ageing-in-place.

10. Aesthetics

Good design is the product of a skilled, judicious design process that results in attractive and inviting buildings and places that engage the senses.

Good design resolves the many competing challenges of a project into an elegant and coherent outcome. A well-conceived design concept informs all scales, from the articulation of building form through to materiality and detail, enabling sophisticated, integrated responses to the complexities of local built form and landscape character.

In assessing design quality, consideration of aesthetics should not be limited to style and appearance; it should also account for design integrity, creativity, conceptual coherence and cultural relevance in a proposal.

Schedule of Modifications Local Planning Policy No. 7.1.1 – Built Form

Issue		Recommended Modification																																													
1	Canopy Cover																																														
1.1	<p>The definition of canopy coverage in the City's current Built Form Policy includes all land covered by tree crowns.</p> <p>The City identified that neighbouring properties' trees would also be included in this definition. Since neighbouring properties' trees are outside of the control of whichever application is subject to the Built Form Policy, it was determined that it is not appropriate for them to be included as canopy coverage.</p>	<p>Amend the definition of Canopy Coverage as follows:</p> <p>Land area covered by tree crowns (branches, leaves, and reproductive structures extending from the trunk or main stems) <u>from trees located within the subject site, excluding any area that falls within an adjoining privately owned lot.</u></p>																																													
1.2	<p>The current Built Form Policy Deemed to Comply Clause C1.7.3 requires 80 percent of rear and side setback areas to be provided as canopy coverage at maturity and Deemed to Comply Clauses C4.10.4 and C5.14.3 require 30 percent of the site area to be provided as canopy coverage at maturity.</p> <p>The City applied for approval of these requirements from the WAPC under Clause 7.3.2 of the R Codes. The WAPC proposed a modification that the provision be reworded to require Deep Soil Area to be located to enable canopy coverage over the site to be maximised at maturity. The justification for this was that the change is more consistent with draft Design WA, which does not have canopy cover requirements, but focuses on a minimum Deep Soil Area being provided.</p> <p>The table below provides a comparison of the estimated impact on the canopy coverage based on the WAPC's proposed provision for various lot sizes.</p> <table><tr><th>Lot size</th><th colspan="2">Current Built Form Policy</th><th colspan="2">WAPC modified provisions</th></tr><tr><th></th><th>Deep Soil Zone</th><th>Canopy</th><th>Deep Soil Area</th><th>Canopy</th></tr><tr><td>184m2</td><td>15%</td><td>30%</td><td>12%</td><td>27%</td></tr><tr><td>300m2</td><td>15%</td><td>30%</td><td>12%</td><td>17%</td></tr><tr><td>649m2</td><td>15%</td><td>30%</td><td>12%</td><td>20%</td></tr><tr><td>650m2</td><td>15%</td><td>30%</td><td>12%</td><td>20%</td></tr><tr><td>1499m2</td><td>15%</td><td>30%</td><td>12%</td><td>17%</td></tr><tr><td>1500m2</td><td>15%</td><td>30%</td><td>12%</td><td>19%</td></tr><tr><td>6000m2</td><td>15%</td><td>30%</td><td>12%</td><td>26%</td></tr></table> <p>This modification is not supported, as it does not add any value to the existing requirement for 15 percent Deep Soil Zone over the site, and it does not directly link to the City's canopy cover targets. It is important that the original intent of the Built Form Policy is maintained to ensure that new developments have an appropriate amount of canopy coverage to screen large scale development, provide a high amenity environment for neighbouring properties and residents and contribute to broader greening aspirations.</p> <p>Through implementing the Built Form Policy, Administration has identified a number of improvements that are recommended to be made to the policy provisions including:</p> <ul style="list-style-type: none">• C1.7.3 should apply to lot boundary setback areas at the ground level only. Lot boundary setbacks can be stepped back at higher levels and it would be impractical to require those higher levels to provide canopy coverage due to the difficulty of maintaining appropriate soil depth/quality.• All percentage canopy cover requirements should be a minimum, whereas currently they are written as an exact requirement. <p>In reviewing the Policy, the WAPC advocated for a provision that required a minimum number of trees within that Deep Soil Area, depending on the lot size. The justification for this was that the change is more consistent with draft Design WA, which does not have canopy cover requirements, but focuses on a minimum number of trees being provided.</p> <p>Administration does not support the requirement to move towards specifying the number and size of trees as it would result in a reduced canopy coverage requirement compared to the Built Form Policy. The extent of the variance depends on the size of the lot, the tree types selected and the location of planting. In addition, the method of calculation is significantly more complex than the Built Form Policy's canopy coverage percentage requirement and does not directly and demonstrably link to the City's intent of achieving a measurable canopy cover target.</p> <p>The resulting canopy coverage depends on the specific tree selection and lot size, so the impact of replacing the City's canopy coverage requirements with requirements for tree planting will differ in each development application. In addition, there is no requirement for the trees to be planted in such a way to maximise canopy coverage of the site so trees may be planted with their canopies overlapping, therefore reducing the overall canopy coverage of the site. This is not an issue with the percentage-based canopy coverage requirement.</p> <p>The City recommends maintaining the percentage-based canopy cover provisions as they have been successfully implemented and have demonstrated they are able to achieve the desired canopy coverage, with a simpler method of calculation and assessment, than the proposed draft Design WA provisions.</p>	Lot size	Current Built Form Policy		WAPC modified provisions			Deep Soil Zone	Canopy	Deep Soil Area	Canopy	184m2	15%	30%	12%	27%	300m2	15%	30%	12%	17%	649m2	15%	30%	12%	20%	650m2	15%	30%	12%	20%	1499m2	15%	30%	12%	17%	1500m2	15%	30%	12%	19%	6000m2	15%	30%	12%	26%	<p>Modify C1.7.3 (now C1.4.4) as follows:</p> <p><u>At least 80% of the lot boundary rear or side setback area at ground level shall be area is to be</u> provided as canopy coverage at maturity.</p> <p>Modify C4.10.4 (now C4.10.5) and C5.14.3 (now C5.14.4) as follows:</p> <p><u>At least 30% of the site area shall be is to be</u> provided as canopy coverage within at maturity.</p>
Lot size	Current Built Form Policy		WAPC modified provisions																																												
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Schedule of Modifications Local Planning Policy No. 7.1.1 – Built Form

	Issue	Recommended Modification																								
1.3	<p>Deemed to Comply Clause C5.14.10 in the City's current Built Form Policy requires that alterations and additions provide 30% of the front setback as canopy coverage unless an existing mature tree with equivalent coverage is retained on site.</p> <p>The City applied for approval of this requirement from the WAPC under Clause 7.3.2 of the R Codes.</p> <p>The WAPC proposed a modification that the provision be reworded to require deep soil area located within the front setback to maximise canopy coverage at maturity. The justification for this was that the change is more consistent with draft Design WA, which does not have canopy cover requirements, but focuses on a minimum Deep Soil Area being provided.</p> <p>The City does not support this change as it does not require any specific size of deep soil area, canopy cover, or timeframe. This could result in developments providing less canopy coverage than the current Built Form Policy requirement.</p> <p>The City also identified that the current requirement only relates to retaining one existing tree. It was determined that, if a development retained multiple trees with equivalent canopy, that would also be acceptable.</p>	<p>Amend the wording of C5.14.10 (now C5.14.8) as follows:</p> <p>Where any additions or alterations to a building <u>are</u> proposed, 30% of the front setback area is to be provided as canopy coverage <u>at maturity within 5 years of development approval</u>, unless an existing mature tree/s with equivalent <u>canopy coverage are</u> is retained anywhere on the site.</p>																								
2	Deep Soil Areas																									
2.1	<p>The definition of Deep Soil Zone in the current Built Form Policy does not align with the definition of Deep Soil Area in draft Design WA. The City's definition specifies a minimum depth of 1m whereas the definition in draft Design WA requires there to be no development above or below. Under the definition of Deep Soil Area in draft Design WA planting on structure would not contribute to the required percentage of site coverage.</p> <p>Despite this difference it is considered appropriate to align the definition of Deep Soil Zone with draft Design WA's definition of Deep Soil Area, to be consistent with the draft state planning policy.</p> <p>As the new definition of Deep Soil Area removes the ability to consider on-structure planting and there may be instances where on structure planting is desirable such as in large scale development where it contributes to the amenity for residents, it is recommended that a new definition and provision be introduced into the Built Form Policy to require this.</p>	<p>Amend the title and definition of Deep Soil Zone as follows:</p> <p>Deep Soil Zone Area</p> <p>Areas of soil within a development which provide a minimum space of 1 metre that allows for and supports mature plant and tree growth excluding areas covered with impervious surfaces.</p> <p><u>Soft landscape area on lot with no impeding building structure or feature above or below, which supports growth of medium to large canopy trees and meets a stated minimum dimension. Deep soil areas exclude basement car parks, services, swimming pools, tennis courts and impervious surfaces including car parks, driveways and roof areas.</u></p> <p>Include a new definition of Planting Area as follows:</p> <p>Planting Area</p> <p><u>An area with a minimum soil depth of 1m that supports growth of medium to large canopy trees.</u></p>																								
2.2	<p>Deemed to Comply Clauses C1.7.1, C4.10.1 and C5.14.1 require all properties to provide 15 percent of the development site as Deep Soil Zone. The City applied for approval of this requirement from the WAPC under Clause 7.3.2 of the R Codes. The WAPC proposed a modification to this provision to require 12 percent Deep Soil Area which is supported. To recognise the change in definition and need to provide guidance on the amount of space dedicated to soft landscaping (such as on structure landscaping) it is recommended a new Planting Area requirement be introduced. It was also identified that both a minimum area and minimum dimensions should be specified for both Deep Soil Areas and Planting Areas.</p> <p>The City also identified that the new definition of Deep Soil Area is more onerous than the definition of Deep Soil Zone, and therefore supports including the 12% Deep Soil Area requirement in accordance with draft Design WA.</p>	<p>Modify C1.7.1 (now 1.4.1), C4.10.1 and C5.14.1 as follows:</p> <p>Deep Soil zone Areas are to be provided as follows shall be provided in accordance with the following requirements:</p> <table border="1"> <thead> <tr> <th>Site Area</th><th>Minimum Area Minimum Dimensions</th><th>Deep Soil Zone Areas (% of site)</th></tr> </thead> <tbody> <tr> <td><650m²</td><td>1m² 1m x 1m</td><td>1512%</td></tr> <tr> <td>650m² – 1,500m²</td><td>1m² 1m x 13m</td><td>1512%</td></tr> <tr> <td>>1,500m²</td><td>1m² 1m x 16m</td><td>1512%</td></tr> </tbody> </table> <p><i>NOTE: the minimum dimension for the area of deep soil zone is to be 1m</i></p> <p>Add new C1.7.3 (now 1.4.1), C4.10.4 and C5.14.3 as follows:</p> <p><u>Planting Areas shall be provided in accordance with the following requirements:</u></p> <table border="1"> <thead> <tr> <th>Site Area</th><th>Minimum Area Minimum Dimensions</th><th>Planting Area (minimum % of site)</th></tr> </thead> <tbody> <tr> <td><650m²</td><td>1m² 1m x 1m</td><td>3%</td></tr> <tr> <td>650m² – 1,500m²</td><td>1m² 1m x 1m</td><td>3%</td></tr> <tr> <td>>1,500m²</td><td>1m² 1m x 1m</td><td>3%</td></tr> </tbody> </table>	Site Area	Minimum Area Minimum Dimensions	Deep Soil Zone Areas (% of site)	<650m ²	1m ² 1m x 1m	1512%	650m ² – 1,500m ²	1m ² 1m x 13m	1512%	>1,500m ²	1m ² 1m x 16m	1512%	Site Area	Minimum Area Minimum Dimensions	Planting Area (minimum % of site)	<650m ²	1m ² 1m x 1m	3%	650m ² – 1,500m ²	1m ² 1m x 1m	3%	>1,500m ²	1m ² 1m x 1m	3%
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Schedule of Modifications Local Planning Policy No. 7.1.1 – Built Form

	Issue	Recommended Modification
2.3	Deemed to Comply Clause C1.7.2, C4.10.3 and C5.14.2 allow for a reduction in deep soil zone from 15% to 12% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained. To respond to the new definition of Deep Soil Area and the minimum requirement of 12%, the City determined that a reduction to 10% would be appropriate.	Modify C1.7.2, C4.10.3 and C5.14.2 as follows: The required Deep Soil zone Area may be reduced to 12 ¹⁰ % where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.
3	Car Park Landscaping	
3.1	Deemed to Comply Clauses C1.7.6, C4.10.7 and C5.14.7 require canopy coverage of 80% for car parks. The City applied for approval of this requirement from the WAPC under Clause 7.3.2 of the R Codes. The WAPC proposed a modification that the provision be reworded to require Deep Soil Area to be provided in open air car parks to enable canopy coverage to be maximised at maturity. The justification for this was that the change is more consistent with draft Design WA, which does not have canopy cover requirements, but focuses on a minimum Deep Soil Area being provided. The City does not support this change as it does not directly address the City's intent of shading car parks and it has no measurable target for applicants to meet. The City also identified that an 80% canopy coverage requirement is not achievable in most, if not all, cases. This was due to the fact that the site area of a car park was not defined and assumed to be inclusive of all thoroughfares, roads and accessways. It was determined that, if thoroughfares, roads and accessways are included in the calculation, a canopy coverage of 40% is a very strict, but more realistic and achievable target.	Modify C1.7.6 (now 1.7.5), C4.10.7 (now C4.10.5) and C5.14.7 (now C5.14.4) as follows: Open air car parks, <u>including access ways, shall</u> are to have a minimum of 80 ⁶⁰ % canopy coverage at maturity.
3.2	Deemed to Comply Clauses C1.7.8, C4.10.9 and C5.14.9 require the perimeter of all open-air parking areas to be landscaped by a planting strip of at least 1.5m. The City applied for approval of this requirement from the WAPC under Clause 7.3.2 of the R Codes. The WAPC proposed modifications to this provision such that it only applies to large expanses of car parking, and that the landscaping strip be reduced to 1m and apply between car parking and site/street boundaries. The City does not support this change as it will reduce the landscaping width by a third and it is unclear to which parking areas it would apply. The City identified some minor changes to the wording that should be made to improve clarity.	Modify C1.7.8 (now C1.4.7), C4.10.9 (now C4.10.8) and C5.14.9 (now C5.14.6) as follows: The perimeter of all open-air parking areas <u>shall</u> are to be landscaped by a planting strip <u>with a minimum dimension of at least 1.5m width</u> .
4	Tree Retention	
4.1	The City identified that, while there are requirements for providing canopy coverage and incentives for retaining trees, there is no requirement in the Deemed to Comply provisions to retain existing mature trees. The City determined that a Deemed to Comply requirement would provide the ability for the City to require the retention of existing trees, and this would provide a beneficial outcome in line with the City's targets and objectives of the Policy.	Add new Clauses C1.4.8, C4.10.9 and C5.14.8: <u>Existing trees shall be retained where they are:</u> (a) <u>Healthy specimens with ongoing viability; and</u> (b) <u>Species not included on an applicable weed register.</u>
4.2	Local housing objectives P1.7.5, P4.10.5 and P5.14.5 provide that developments should facilitate the retention of existing vegetation and deep soil zones. In accordance with Clause 7.3.1 (b) of the R Codes, the proposed Clauses augment the R Codes by providing a local housing objective for an aspect of development that is not provided for in the R Codes. The City identified that these objectives have no clarity about what kind of vegetation, or whether there is another option that achieves the same result. Since development cannot always retain trees on site, it may be appropriate in some cases to offset that impact through another method. This objective would rely on the applicant justifying their proposal and it being accepted by the City.	Modify P1.7.5 (now 1.4.5), P4.10.5 and P5.14.5 as follows: <u>Development that offsets the impact of removing existing trees. Landscaping design which facilitates the retention of existing vegetation and deep soil zones.</u>
5	Landscaping Plan	
5.1	Deemed to Comply Clauses C1.7.4, C1.7.5, C4.10.5, C4.10.6, C5.14.5 and C5.14.6 of the current Built Form Policy requires a landscape plan and a landscape maintenance schedule prepared by a registered landscape architect to be provided. The WAPC suggested that the policy is not the most appropriate planning mechanism to require a landscaping plan. The City also agrees and determined that a landscaping plan can be required through the <i>Planning and Development (Local Planning Schemes) Regulations 2015</i> as accompanying material to a development application. The City will modify the development application checklist accordingly.	Delete Clauses C1.7.4, C1.7.5, C4.10.5 C4.10.6, C5.14.5, C5.14.16.

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Issue		Recommended Modification																																																																																																																															
6	Alteration and Additions																																																																																																																																
6.1	<p>Deemed to comply provision C5.14.10 requires the replacement of lost canopy cover, due to additions or alterations, in the front setback area.</p> <p>The City applied for approval of this requirement from the WAPC under Clause 7.3.2 of the R Codes.</p> <p>The WAPC proposed modifications to this provision to require deep soil area in the front setback to maximise canopy coverage at maturity unless an existing mature tree with equivalent coverage was retained anywhere on site.</p> <p>The City does not support this change as the canopy coverage is not stated within the provision, making the outcome unclear, and will vary depending on the tree species proposed.</p> <p>It was considered appropriate that where an addition or alteration affects the deep soil area, canopy cover or trees on a site that all landscaping provisions should be complied with to ensure the loss landscaping is suitably offset.</p>	<p>Delete Clause C5.14.10 and insert new Clause C5.15.9 as follows:</p> <p><u>The above landscaping provisions apply to additions and alterations that affect an existing Deep Soil Area, canopy cover or tree on the subject lot.</u></p>																																																																																																																															
7	Rear Boundary Setbacks																																																																																																																																
7.1	<p>Deemed to Comply Clauses C1.2.5 and C4.3.6 require the following lot boundary setbacks where development adjoins a property within the Residential Built Form Area coded R50 and below:</p> <ul style="list-style-type: none">6.5m for the ground floor, second and third storey; and12.5m setback for the fourth storey and above. <p>Deemed to Comply Clause C5.3.3 requires the following rear boundary setbacks where development adjoins a property coded R50 and below:</p> <ul style="list-style-type: none">6.5m for the ground floor, second and third storey; and12.5m setback for the fourth storey and above. <p>The City applied for approval of these requirement from the WAPC under Clause 7.3.2 of the R Codes.</p> <p>The WAPC proposed to modify this provision to base the setback assessment on the height of the proposed development, the type of room in the proposed development and the type of room on the adjacent property.</p> <p>The difference between the current setback requirement and the WAPC's proposed setback requirement depends on the specific development proposed. As an example, a four storey development in a Town Centre adjoining an R60 property would require a ground, second and third storey setback of 4.5 metres and the fourth storey setback would be 6.5 metres. Under the WAPC's proposed provision the setback requirement would range from between 6 metres and 9 metres depending on the type of room it faces on the adjoining property.</p> <p>The modification states that it applies where adjoining properties are coded "R50 and below or R60 and above". Since there is no R-Code between R50 and R60 this requirement will apply to every property adjoining a residential area, rather than specific guidance being applied according to the code of the adjoining property (e.g. an R80 next to an R60 requires a different setback to an R100 next to an R40).</p> <p>The proposed approach for determining the setback requirement is more complex than the current Built Form Policy as it relies on knowing what sort of room is in the building/s adjoining the development site. In many cases, this information may be unavailable. It would also result in a potential disadvantage to developers who do not redevelop first as they may be required to setback their development further.</p> <p>The proposed setback distances in the WAPC's modifications appear to be based on the building separation distances in draft Design WA rather than the setback distances in draft Design WA. Building separation is measured from the wall of the building on an adjoining lot whereas a setback distance is measures from the lot boundary. The result of this is that the proposed setbacks are approximately double those required in draft Design WA, and in most instances higher than those proposed by the City.</p> <p>The City does not support the proposed modification.</p> <p>The City also identified that where a subject site is a lower or equal coding to an adjoining site the large setback distances apply. It is considered unnecessary for large setback distances to apply as it reduces the development potential of the subject site in order to protect the adjoining site which may be of a higher coding. This would result in a large building separation for the subject site whilst the adjoining site has greater density potential and may impact the lower density subject site.</p> <p>It is recommended that the setback assessment be simplified into a table to clearly convey the applicable setbacks and remove the unintended consequence of large setback distances for similar coded land.</p>	<p>Insert setback table as Part 2, Clause C1.2.5, C4.3.6 and C5.3.3 as follows, and renumber the remaining clauses:</p> <p>Lot boundary setbacks in accordance with the following tables:</p> <table><tr><th colspan="2" rowspan="2"></th><th colspan="9">Subject Property</th></tr><tr><th>R20</th><th>R30</th><th>R40</th><th>R50</th><th>R60</th><th>R80</th><th>R100+</th><th>R – AC3</th><th>No R-Code</th></tr><tr><td rowspan="9">Neighbouring Property</td><td rowspan="8">Residential Built Form Area</td><td>R20</td><td>A</td><td>B</td><td>B</td><td>C</td><td>C</td><td>C</td><td>C</td><td>C</td><td>C</td></tr><tr><td>R30</td><td>A</td><td>A</td><td>B</td><td>B</td><td>C</td><td>C</td><td>C</td><td>C</td><td>C</td></tr><tr><td>R40</td><td>A</td><td>A</td><td>A</td><td>B</td><td>B</td><td>C</td><td>C</td><td>C</td><td>C</td></tr><tr><td>R50</td><td>A</td><td>A</td><td>A</td><td>A</td><td>B</td><td>B</td><td>C</td><td>C</td><td>C</td></tr><tr><td>R60</td><td>A</td><td>A</td><td>A</td><td>A</td><td>A</td><td>B</td><td>B</td><td>B</td><td>B</td></tr><tr><td>R80</td><td>A</td><td>A</td><td>A</td><td>A</td><td>A</td><td>D</td><td>D</td><td>D</td><td>D</td></tr><tr><td>R100+</td><td>A</td><td>A</td><td>A</td><td>A</td><td>A</td><td>D</td><td>D</td><td>D</td><td>D</td></tr><tr><td>No R-Code</td><td>A</td><td>A</td><td>A</td><td>A</td><td>A</td><td>D</td><td>D</td><td>D</td><td>D</td></tr><tr><td>Non-Residential Built Form Area</td><td>A</td><td>A</td><td>A</td><td>A</td><td>A</td><td>D</td><td>D</td><td>D</td><td>D</td></tr></table> <table><tr><th></th><th>Setback for ground floor, second storey and third storey</th><th>Setback for the fourth storey and above</th></tr><tr><td>A</td><td>R Codes table 2a and 2b;</td><td>R Codes table 2a and 2b;</td></tr><tr><td>B</td><td>4.5m</td><td>6.5m</td></tr><tr><td>C</td><td>6.5m</td><td>12.5</td></tr><tr><td>D</td><td>R Codes Table 5</td><td>R codes Table 5</td></tr></table>			Subject Property									R20	R30	R40	R50	R60	R80	R100+	R – AC3	No R-Code	Neighbouring Property	Residential Built Form Area	R20	A	B	B	C	C	C	C	C	C	R30	A	A	B	B	C	C	C	C	C	R40	A	A	A	B	B	C	C	C	C	R50	A	A	A	A	B	B	C	C	C	R60	A	A	A	A	A	B	B	B	B	R80	A	A	A	A	A	D	D	D	D	R100+	A	A	A	A	A	D	D	D	D	No R-Code	A	A	A	A	A	D	D	D	D	Non-Residential Built Form Area	A	A	A	A	A	D	D	D	D		Setback for ground floor, second storey and third storey	Setback for the fourth storey and above	A	R Codes table 2a and 2b;	R Codes table 2a and 2b;	B	4.5m	6.5m	C	6.5m	12.5	D	R Codes Table 5	R codes Table 5
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	Issue	Recommended Modification
7.2	<p>Deemed to comply criteria C1.2.3, C1.2.4, C1.2.5, C4.3.3, C4.3.4, C4.3.5, C4.3.6, C5.3.2 and C5.3.3 all contain setback provisions followed by the wording:</p> <p>'Unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 (i) of the R Codes for the code of the adjacent property.'</p> <p>The intent of this wording was to ensure that development is separated from the adjoining land a sufficient distance so that overlooking is not an issue and screening devices are not necessary. This provides better amenity for building occupants, and provides a better building design as balconies are not screened.</p> <p>The City applied for approval of these requirement from the WAPC under Clause 7.3.2 of the R Codes.</p> <p>The wording of the clause is not acceptable to the WAPC as it is perceived to circumvent privacy provisions.</p> <p>The WAPC suggested that the provision be modified to replace R Codes Clauses 5.4.1/6.4.1 C1.1 ii and C1.2, with an additional provision that requires any balcony to be unscreened for at least 25% of its perimeter (which includes the edges of a balcony abutting the building).</p> <p>The WAPC's modification proposes to replace the guidance in the R Codes relating to screening.</p> <p>The proposed modification is not supported as it removes the explanation of what a screening device is and when it may be required, which could result in worse visual privacy issues in certain circumstances.</p> <p>Under the current Built Form Policy where a development proposes to vary the setback requirements that would result in the building and balcony being within the 'cone of vision' and the balcony would be required to be screened in accordance with 5.4.1/6.4.1 of the R Codes.</p> <p>The City would like to maintain the intent of the clause and provide a deemed to comply criteria within the building setback Clauses aligned with the Design Principle of the R Codes, 'buildings set back from boundaries or adjacent buildings on the same lot so as to: assist with the protection of privacy between adjoining properties.'</p>	<p>Modify Clause C1.2.3 as follows:</p> <p>Side boundary setbacks for development three storeys and above and rear boundary setbacks are to be in accordance with Table 5 of the R Codes unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.</p> <p>Add new Clauses C1.2.6, C4.3.4 and C5.3.3 as follows:</p> <p><u>Balconies shall be setback a minimum of 7.5 metres.</u></p>
8	Setbacks from Rights of Way	
8.1	<p>Clause 5.31 Development on Rights of Way contains Design Principles, Local Housing Objectives and Deemed to Comply requirements to guide the development of buildings which have their sole frontage to a right of way.</p> <p>In accordance with Clause 7.3.1 (b) of the R Codes, the proposed Clause augments the R Codes by providing a local housing objective that is not provided for in the R Codes. Approval of the WAPC is not necessary for this provision.</p> <p>The design principles and local housing objectives relate to the design of development and its need to facilitate safe and welcoming spaces, and to pedestrian and service access to a dedicated road. However, there are no design principles or local housing objectives outlining the intention of the setbacks from rights-of-way in terms of vehicle access. It is recommended that a design principle and local housing objective be provided.</p>	<p>Add new local housing objective as Part 2, Clause P5.31.3:</p> <p><u>Development which provides suitable space for safe vehicle movement in the right of way.</u></p>
9	Boundary Walls	
9.1	<p>The deemed to comply lot boundary setback criteria for development on a transit corridor, which abuts a transit corridor, reverts to the R Codes. The R Codes allow walls built to one lot boundary subject to height and length limits dependant on the coding of the land. These height and length limits are considered suitable to these situations, as they would apply between lots of similar density. Where development abuts the residential built form area, these boundary wall provisions would not apply.</p> <p>In accordance with Clause 7.3.1 (a) of the R Codes, the City has the ability to amend or replace the deemed to comply provisions relating to boundary walls.</p> <p>It is considered suitable in the transit corridor that walls be built to two lot boundaries within the acceptable height and length limits provided in the R Codes. This would provide a consistent streetscape along transit corridors allowing the bulk of the built form to be developed to the street whilst maintaining the amenity of the residential built form areas which are generally located behind the transit corridors.</p> <p>New Clause C4.3.4 outlines that walls may be built up to two side boundaries, this new provision replaces Clause 5.1.3 C3.2 and 6.1.4 C4.3 of the R Codes.</p>	<p>Modify the preamble note to C4.3.3 as follows:</p> <p>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses <u>5.1.3 C3.4, and 6.1.4 C4.1 and 6.1.4 C4.2</u> of the R Codes.</p> <p>Add new Clause C4.3.4 as follows:</p> <p>Clause 5.1.3 C3.2 and 6.1.4 C4.3 of the R Codes apply to the development of walls up to two side boundaries.</p>

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	Issue	Recommended Modification
10	Setbacks	
10.1	<p>Deemed to comply criteria C5.2.1 requires a street setback to be the average of the five properties adjoining the development. The intent of the clause is to provide a consistent street setback based on the predominant setback of the streetscape and in practice is applied as the average of five properties on either adjoining side of the development.</p> <p>In accordance with Clause 7.3.1 (a) of the R Codes, the City has the ability to amend or replace the deemed to comply provisions relating to street setbacks.</p> <p>Clause C5.2.1 should be reworded to be clear that street setback is the average of five properties adjoining both sides of the development.</p>	<p>Modify Clause C5.2.1 as follows:</p> <p>The primary street setback is to be the average of the five <u>properties buildings</u> adjoining <u>either side lot boundary of</u> the proposed development.</p>
10.2	<p>Deemed to comply criteria C5.7.3 requires that carports be setback in accordance with Clause 5.2.1 C1.2 of the R Codes. This allows the development of carports to be setback in accordance with Table 1 of the R Codes which is between 1m and 6m depending on the coding of the site. This setback can then be reduced by 50% where an area of open space is provided behind the setback line to offset the reduced setback. The method to reduce the setback for the carport is considered suitable however the use of the table 1 setbacks is not. It is not considered suitable as it does not consider the street setback of Clause C5.2.1 of the Built Form Policy being the average of five properties adjoining either side of the development.</p> <p>In accordance with Clause 7.3.1 (a) of the R Codes, the City has the ability to amend or replace the deemed to comply provisions relating to the setback of garages and carports.</p> <p>Clause C5.7.3 should be reworded to be clear that the setback of carports relates to the C5.2.1 of the Policy and may be reduced in accordance with the R Codes.</p>	<p>Modify Clause C5.7.3 as follows:</p> <p>Carports shall be setback in accordance with Clause <u>C5.2.1 of this Policy</u>. This setback may be reduced in accordance with <u>5.2.1-C4.2 Clause 5.1.2 C2.1 iii</u> of the R Codes.</p>
11	Built Form Area Objectives	
11.1	<p>Section 1 – Town Centres</p> <p>The Built Form Policy contains five built form areas. Each area contains specific Design Principles and Local Housing Objectives which guide development. However, there are no overall objectives for each built form area that explain the intended development outcomes for each area. It is important to guide the overall style of development, as well as providing advice for applicants and the determining authority when using the policy and making design principle assessments.</p>	<p>Include the following objectives in Part 2, Section 1 of the Policy:</p> <p><u>Section 1 – Objectives</u></p> <ol style="list-style-type: none"> <u>1. Improve all street level ground floor spaces – The relationship of building design and uses to the adjacent public domain is vital to ensure attractive, interesting, pedestrian friendly outcomes.</u> <u>2. Ensure that buildings contribute to public spaces through design and maximise street level interest, articulation, materiality, openness, and interaction between inside and outside.</u> <u>3. Design which encourages active participation by the public – The built form should have a positive influence on improving public health by improving walkability and interest for pedestrians.</u> <u>4. Establish well-connected, weather protected spaces – Protect pedestrians under awnings and increase activation along both north-south and east-west directions.</u> <u>5. Reinforce and continue traditional design and character of established streetscapes – Materials, scale, awnings and appropriately designed outdoor alfresco areas.</u> <u>6. Encourage active built form – Design buildings for a human scale, minimising blank walls and the detrimental impacts of services, utilities and car parking structures. Encourage direct street level pedestrian access wherever possible.</u> <u>7. Design for change – New development should be flexible to respond to future changes in use, lifestyle and demography.</u> <u>8. Provide natural amenity and landscaping – New development should provide areas of deep soil which support healthy plant and tree growth and contribute to the City's tree canopy, reducing urban heat islands, and providing natural beauty and amenity to residents and visitors.</u> <u>9. Development which is sustainable – Design buildings to maximise passive heating and cooling and minimise energy use and emissions.</u> <u>10. Ensure buildings are designed with privacy in mind at the early stages, avoiding the need to retrofit excessive screening.</u>

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	Issue	Recommended Modification
11.2	<p>Section 2 – Activity Corridors</p> <p>The Built Form Policy contains five built form areas. Each area contains specific Design Principles and Local Housing Objectives which guide development. However, there are no overall objectives for each built form area that explain the intended development outcomes for each area. It is important to guide the overall style of development, as well as providing advice for applicants and the determining authority when using the policy and making design principle assessments.</p>	<p>Include the following objectives in Part 2, Section 2 of the Policy:</p> <p>Section 2 – Objectives</p> <ol style="list-style-type: none"> 1. <u>Improve the built form connection between the City's Town Centres – Design which provides connection between the City's Town Centres.</u> 2. <u>Improve all street level ground floor spaces - The relationship of building design and uses to the adjacent public domain is vital to ensure attractive, interesting, pedestrian friendly outcomes;</u> 3. <u>Ensure that buildings contribute to public spaces through design and maximise street level interest, articulation, materiality, openness, and interaction between inside and outside.</u> 4. <u>Design which encourages active participation by the public - The built form should have a positive influence on improving public health by improving walkability and interest for pedestrians.</u> 5. <u>Establish better connected, weather protected spaces - Protect pedestrians under awnings and increase activation along both north-south and east-west directions.</u> 6. <u>Reinforce and continue traditional design and character of established streetscapes - Materials, scale, awnings and appropriately designed outdoor alfresco areas.</u> 7. <u>Encourage active built form - Design buildings for a human scale, minimising blank walls and the detrimental impacts of services, utilities and car parking structures. Encourage direct street level pedestrian access wherever possible.</u> 8. <u>Design for change – New development should be flexible to respond to future changes in use, lifestyle and demography.</u> 9. <u>Provide natural amenity and landscaping – New development should provide areas of deep soil which support healthy plant and tree growth and contribute to the City's tree canopy, reducing urban heat islands, and providing natural beauty and amenity to residents and visitors.</u> 10. <u>Development which is sustainable – Design buildings with suitable building orientation to maximise passive heating and cooling and minimise energy use and emissions.</u> 11. <u>Ensure buildings are designed with privacy in mind at the early stages, avoiding the need to retrofit excessive screening.</u>
11.3	<p>Section 3 – Mixed Use</p> <p>The Built Form Policy contains five built form areas. Each area contains specific Design Principles and Local Housing Objectives which guide development. However, there are no overall objectives for each built form area that explain the intended development outcomes for each area. It is important to guide the overall style of development, as well as providing advice for applicants and the determining authority when using the policy and making design principle assessments.</p>	<p>Include the following objectives in Part 2, Section 3 of the Policy:</p> <p>Section 3 – Objectives</p> <ol style="list-style-type: none"> 1. <u>Provide for a variety of Built Form - built form which facilitates positive interaction between a mix of land uses and residential densities.</u> 2. <u>Improve all street level ground floor spaces - The relationship of building design and uses to the adjacent public domain is vital to ensure attractive, interesting, pedestrian friendly outcomes;</u> 3. <u>Ensure that buildings contribute to public spaces through design and maximise street level interest, articulation, materiality, openness, and interaction between inside and outside.</u> 4. <u>Design which encourages active participation by the public - The built form should have a positive influence on improving public health by improving walkability and interest for pedestrians.</u> 5. <u>Establish better connected, weather protected spaces - Protect pedestrians under awnings and increase activation along both north-south and east-west directions.</u> 6. <u>Reinforce and continue traditional design and character of established streetscapes - Materials, scale, awnings and appropriately designed outdoor alfresco areas.</u> 7. <u>Encourage active built form - Design buildings for a human scale, minimising blank walls and the detrimental impacts of services, utilities and car parking structures. Encourage direct street level pedestrian access wherever possible.</u> 8. <u>Design for change – New development should be flexible to respond to future changes in use, lifestyle and demography.</u> 9. <u>Provide natural amenity and landscaping – New development should provide areas of deep soil which support healthy plant and tree growth and contribute to the City's tree canopy, reducing urban heat islands, and providing natural beauty and amenity to residents and visitors.</u> 10. <u>Development which is sustainable – Design buildings with suitable building orientation to maximise passive heating and cooling and minimise energy use and emissions.</u> 11. <u>Ensure buildings are designed with privacy in mind at the early stages, avoiding the need to retrofit excessive screening.</u>

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	Issue	Recommended Modification
11.4	<p>Section 4 – Transit Corridors</p> <p>The Built Form Policy contains five built form areas. Each area contains specific Design Principles and Local Housing Objectives which guide development. However, there are no overall objectives for each built form area that explain the intended development outcomes for each area. It is important to guide the overall style of development, as well as providing advice for applicants and the determining authority when using the policy and making design principle assessments.</p>	<p>Include the following objectives in Part 2, Section 4 of the Policy:</p> <p>Section 4 – Objectives</p> <ol style="list-style-type: none"> 1. Provide for medium to high density residential development - built form which facilitates for the quality design of medium to high density development. 2. Improve all street level ground floor spaces - The relationship of building design and uses to the adjacent public domain is vital to ensure attractive, interesting, pedestrian friendly outcomes; 3. Design which encourages active participation by the public - The built form should have a positive influence on improving public health by improving walkability and interest for pedestrians. 4. Reinforce and continue traditional design and character of established streetscapes - Materials and scale which fits within its context. 5. Encourage active built form - Design buildings for a human scale, minimising blank walls and the detrimental impacts of services, utilities and car parking structures. Encourage direct street level pedestrian access wherever possible. 6. Design for change – New development should be flexible to respond to future changes in use, lifestyle and demography. 7. Provide natural amenity and landscaping – New development should provide areas of deep soil which support healthy plant and tree growth and contribute to the City's tree canopy, reducing urban heat islands, and providing natural beauty and amenity to residents and visitors. 8. Development which is sustainable – Design buildings with suitable building orientation to maximise passive heating and cooling and minimise energy use and emissions. 9. Ensure buildings are designed with privacy in mind at the early stages, avoiding the need to retrofit excessive screening.
11.5	<p>Section 5 – Residential</p> <p>The Built Form Policy contains five built form areas. Each area contains specific Design Principles and Local Housing Objectives which guide development. However, there are no overall objectives for each built form area that explain the intended development outcomes for each area. It is important to guide the overall style of development, as well as providing advice for applicants and the determining authority when using the policy and making design principle assessments.</p>	<p>Include the following objectives in Part 2, Section 5 of the Policy:</p> <p>Section 5 – Objectives</p> <ol style="list-style-type: none"> 1. Residential development - built form which facilitates the high quality design of low, medium and high density development. 2. Design that encourages interaction with the street and public spaces - The built form should have a positive influence on improving public health by improving walkability and interest for pedestrians. 3. Reinforce and maintains character of established streetscapes – Architecture and materials which fits within its context. 4. Encourage active built form - Design buildings for a human scale, minimising blank walls and the detrimental impacts of services, utilities and car parking structures. Encourage direct street level pedestrian access wherever possible. 5. Provide natural amenity and landscaping – New development should provide areas of deep soil which support healthy plant and tree growth and contribute to the City's tree canopy, reducing urban heat islands, and providing natural beauty and amenity to residents and visitors. 6. Development which is sustainable – Design buildings with suitable building orientation to maximise passive heating and cooling and minimise energy use and emissions. 7. Ensure buildings are designed with privacy in mind at the early stages, avoiding the need to retrofit excessive screening.

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	Issue	Recommended Modification
12	Building Design, Materials & Finishes	
12.1	<p>Design Principles P1.6.1, P1.6.2 and P1.6.3 in the current Built Form Policy contain guidance on building design and architectural elements for developments. In addition, Clauses 1.3, 1.4 and 1.5 provide guidance on development on corner sites, ground floor design and development that includes awnings, verandahs and colonades. These requirements require certain building design elements to be included in a proposed development.</p> <p>The City, on advice of the Design Review Panel, identified that these requirements do not clearly articulate the outcome the City is seeking to achieve as they do not require the development to respond to its unique local context.</p> <p>To resolve this issue, it is considered appropriate to require that certain information and detail be provided with an application for development approval. This additional information would consist of an Urban Design Study that identifies characteristics of existing development and recommends the incorporation of those characteristics by using a variety of materials, finishes and architectural elements to reduce its impact on adjoining properties and appropriately complement the local area. This method enables the City to conduct a more informed assessment of the building design, rather than simply assessing compliance with Deemed to Comply criteria. It also places a greater onus on applicants to provide sufficient information and to justify the quality of building design, which is considered likely to deliver improved built form outcomes.</p> <p>This is intended to ensure that development complements the local characteristics of an area through appropriate use of materials, finishes and architectural elements to reduce its impact on adjoining properties.</p> <p>It is also recommended to consolidate the various building design requirements into one section of the Policy on Building Design and apply these design elements to all Built Form Areas.</p> <p>In accordance with Clause 7.3.1 (b) of the R Codes, the proposed Clauses augment the R Codes by providing a local housing objective for an aspect of development that is not provided for in the R Codes.</p>	<p>Consolidate the various requirements of Clauses 1.3, 1.4, 1.5 and 1.6 into a new Clause 1.3 dealing with Building Design.</p> <p>Include a new Clause C1.3.7 as follows: <u>"Development shall identify key design elements in the local area and streetscape through an urban design study and integrate and acknowledge these design elements where possible whilst avoiding the use of faux materials."</u></p> <p>Amend Clause 4.8.1 as follows: "Part 2, Section 1, Clause 1.3 applies to all development Where Part 5 of the R Codes applies no provisions apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.2.4 of the R Codes apply."</p> <p>Add new Clause 5.12 and 5.12.1: <u>"5.12 Building Appearance"</u> <u>5.12.1 Part 2, Section 1, Clause 1.3 applies to all development."</u></p>
12.2	<p>Definitions do not include any definition about streetscape design elements and faux materials, which are incorporated in the proposed amended Section 1.3.</p> <p>The City will now require an Urban Design study be provided as accompanying material with the development application. This is to include a review of the design elements of the streetscape. An applicant is to satisfy the design principle by integrating these elements into the design or by providing justification that they have not been incorporated into the design.</p>	<p>Add new definition for 'Streetscape design elements' as follows: <u>Streetscape design elements</u> <u>Features of the street including, colour palette, texture, scale, materials and roof pitch.</u></p> <p>Add clarity in new Clause P1.3.1 as follows: Appropriate use of a variety of materials and finishes that complement elements of the existing local character whilst avoiding the use of faux <u>(made as an imitation, fake or false)</u> materials.</p>
13	Commercial Ground Floor	
13.1	<p>Clause C1.4.1 requires a façade depth of 300mm to allow space for entries for development in Town Centres, Activity Corridors and Mixed Use areas.</p> <p>The City identified that, as per the Health Regulations, exit doors of public buildings are to open in the direction of egress. The Policy provisions do not allow enough space for this to happen due to nil street setbacks.</p> <p>With the proposed new Clause C1.4.2, C1.4.1 no longer needs to refer to entries.</p>	<p>Add new Clause C1.3.9 as follows: <u>Doorway articulation depth shall be between 500mm and 1.5m to clearly articulate entrances to buildings and tenancies.</u></p> <p>Modify new Clause C1.3.10 as follows: <u>Ground floor Façade depth of 300mm to allow space for window openings, seating ledges, the articulation of entries, openings, windows, sills, stall risers and other detailing.</u></p>
13.2	<p>Clause C1.4.13 requires ground floor spaces to be between 7.5m – 9m wide for development in Town Centres, Activity Corridors and Mixed Use areas.</p> <p>The City, on advice from the Design Review Panel, identified that the minimum of 7.5m does not allow for traditional shop front widths and does not allow a variety in widths.</p> <p>The City will now require a maximum shop front width of 9m, removing the minimum of 7.5m to allow traditional shopfronts and smaller innovative tenancies.</p>	<p>Modify new Clause C1.3.5 as follows: Commercial Ground floor spaces shall have a maximum width of 9m and a finished floor level to finished ceiling level height of a minimum of 3.5m.</p>
13.3	<p>Clause C1.5.1 requires awnings to be a minimum height of 3.5m from finished floor level for development in Town Centres, Activity Corridors and Mixed Use areas.</p> <p>The City, on advice from the Design Review Panel, identified that there is no maximum height for awnings and this may result in awnings that do not provide weather protection.</p> <p>The City will now require a maximum awning height of 4m.</p>	<p>Modify new Clause C1.3.15 as follows: Where provided, awnings shall be: (a) A minimum height of 3.5m and maximum height of 4m from finished floor level to the underside of the awning to accommodate under awning signage.</p>

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	Issue	Recommended Modification
13.4	<p>Clause C1.4.15 requires visually permeable ground floor glazing to provide unobscured visibility.</p> <p>The City identified that this outcome is not always reached as there is no requirement for a window to be transparent so windows are generally tinted.</p> <p>The definition of visually permeable in the Built Form Policy refers to the definition in the R Codes. The R Codes definition relates to walls, gates, doors and fences but does not relate to windows or glazing. The definition outlines that 'gaps' are to be provided in the surface to reduce the obstruction of view. Gaps would not be appropriate in a window or glazing surface.</p> <p>The City determined that there needs to be reference to visible light transmission in the provisions relating to glazing so there can be a suitable requirement provided for transparency of windows for ground floor spaces.</p>	<p>Modify new Clause C1.3.12:</p> <p>Ground floor glazing and/or tinting shall have a minimum of 70% visually-permeable <u>visible light transmission</u> to provide unobscured visibility.</p>
13.5	<p>Section 5.10 Street Walls and Fences currently states requirements for street walls and fences, including materials, size, visual permeability and location.</p> <p>Since there is a separate City policy regarding visual truncations, it is important to reference Policy 2.2.6 within the Built Form Policy.</p>	<p>Add a note in C5.10:</p> <p><u>Note: Development with a visual truncation area shall give due regard to the City's Policy 2.2.6 – Truncations.</u></p>
14	Environmentally Sustainable Design	
14.1	<p>Clause 1.8 provides Design Principles and Local Housing Objectives requiring development to demonstrate that the proposed development is capable of achieving a number of sustainable design outcomes, however, the current provision does not require the development to actually deliver the recommended sustainable design measures. It is recommended that the City strengthen the current policy provisions to require developments to deliver the relevant sustainable design measures.</p>	<p>Modify Clause 1.8 (now 1.5) to include the relevant design principles and local housing objectives as deemed to comply requirements, and include corresponding design principles and local housing objectives for these requirements.</p>
14.2	<p>Local Housing Objective P1.8.1 guides passive solar heating, cooling, natural ventilation and light penetration to reduce energy consumption.</p> <p>In accordance with Clause 7.3.1 (b) of the R Codes, the proposed Clause augments the R Codes by providing a local housing objective for an aspect of development that is not provided for in the R Codes.</p> <p>There are no requirements in the environmentally sustainable design provisions which seek to reduce the urban heat island effect through building design. Further to this, there are no requirements for the colour of flat roof structures which can reduce the urban heat island effect as well as energy consumption within homes. White roof structures are scientifically proven to have the highest heat and light reflecting properties so perform best from an environmental impact. However, white roof structures may not always be suitable from an amenity perspective. It is recommended that where a roof is flat and not visible from the street or adjacent properties, it is required to be white. Where a roof is pitched and/or visible from the street and/or adjoining properties it is required to be light coloured.</p>	<p>Add new Clauses 1.5.2 and 1.5.3 as follows:</p> <p>Flat roof structures that are not visible from the street or adjacent properties shall be white.</p> <p>Pitched roof structures or roof structures that are visible from the street or adjacent properties shall have a maximum solar absorptance rating of 0.6, unless an alternative is identified in the Urban Design Study.</p>
14.3	<p>Clauses 4.23.1 and 5.30.1 require the Environmentally Sustainable Design provisions of Clause 1.8 to apply to all development in the Transit Corridor and Residential Built Form Areas, except single houses or grouped dwellings.</p> <p>It is considered appropriate for these provisions to apply to single houses and grouped dwellings. The review provides landowners with information on how their development may be improved to reduce energy consumption, which is relevant for all new buildings of any scale.</p>	<p>Modify Clause 4.23.1 as follows:</p> <p><u>Clause 1.8 of this Policy applies to development in the Transit Corridor Built Form Area, All-Design Principles and Local Housing Objectives of clause 1.8 of Part 2 Section 1 of this Policy apply to all development with the exception of the erection or extension of single houses or grouped dwellings.</u></p> <p>Modify Clause 5.30.1 as follows:</p> <p><u>Clause 1.8 of this Policy applies to development in the Transit Corridor Built Form Area, All-Design Principles and deemed to comply criteria of clause 1.8 of Part 2 Section 1 of this Policy apply to all development with the exception of the erection or extension of single houses or grouped dwellings.</u></p>
15	Not Accepted Criteria	
15.1	<p>The Policy contains provisions that stipulate what development is considered unacceptable. This is not suitable as the design principles offer an alternative pathway to approval. Where a development proposal meets the design principal the City would not be able to refuse it on the basis of the "not accepted" criteria. Further to this, the deemed to comply criteria provides minimum standards for development. It is considered most suitable to delete the "not accepted" criteria and capture their intent within the design principles, local housing objectives and deemed to comply criteria.</p>	<p>Delete Part 1, Clause 2.2 and renumber the remaining clauses.</p>
15.2	<p>Clause N1.4.3 refuses to allow any proposal for a street wall or fence in a Town Centre, Activity Corridor or Mixed Use Area.</p> <p>The City identified that, in some circumstances, street walls and fences may be necessary. This includes changes in level from the street to a property or provision of a secure space for a utility. On this basis it is considered more appropriate to ensure that the Design Principles provide adequate guidance in these situations. It is recommended that the 'not accepted' criteria be removed.</p>	<p>Delete Clause N1.4.3.</p>

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	Issue	Recommended Modification
15.3	<p>Clause N1.2.1 and N4.3.1 contain not accepted criteria in relation to lot boundary setbacks.</p> <p>The Policy provides deemed to comply minimum lot boundary setbacks. In practice, the City would not approve development that seeks to vary the deemed to comply requirements without sufficient justification and demonstrated that the development meets the relevant Design Principles.</p> <p>It is considered more appropriate to ensure that the Design Principles provide adequate guidance in these situations. It is recommended that the 'not accepted' criteria be removed.</p>	Delete Clause N1.2.1 and N4.3.1.
15.4	<p>Clauses N1.3.1 and N1.3.2 contain not accepted criteria for corner site developments.</p> <p>The City would assess the development of any structures within the visual truncation area of a corner site and determine whether these are suitable. The assessment of fire egress stairs and building entries would be subject to health and building requirements.</p> <p>On this basis it is considered more appropriate to ensure that the Design Principles provide adequate guidance in these situations. It is recommended that the 'not accepted' criteria be removed.</p>	Delete Clause N1.3.1.
15.5	<p>Clauses N1.4.1, N1.4.2, N1.4.3, N1.4.4, N1.4.5, N1.4.6, N1.6.1, N1.6.2, N1.10.1, N4.6.1, N4.21.1, N5.7.1, N5.10.1 and N5.25.1 contain not accepted criteria for design elements of new developments. In these situations, the City would not approve development that seeks to vary the deemed to comply requirements without sufficient justification and demonstrated that the development meets the relevant Design Principles.</p> <p>On this basis it is considered more appropriate to ensure that the Design Principles provide adequate guidance in these situations. It is recommended that the 'not accepted' criteria be removed.</p>	Delete Clause N1.4.1, N1.4.2, N1.4.3, N1.4.4, N1.4.5, N1.4.6, N1.6.1, N1.6.2, N1.10.1, N4.6.1, N4.21.1, N5.7.1, N5.10.1 and N5.25.1.
15.6	<p>Clause C4.6.1 and C5.10.1 require street walls, fences and gates to be of a style and materials compatible with the surrounding area.</p> <p>The City identified that, because the proposed Policy amendment removes the not accepted criteria N4.6.1 and N5.10.1, those requirements should be replaced within C4.6.1 and C5.10.1, respectively. These will specifically prohibit fibre cement fencing in Transit Corridors and will prohibit fibre cement and metal sheeting in Residential Areas.</p>	<p>Modify Clause C4.6.1 as follows:</p> <p>Street walls, fences and gates are to be of a style and materials compatible with those of the development on site and/or walls, fences and gates of the immediate surrounding area <u>excluding fibre cement</u>.</p> <p>Modify Clause C5.10.1 as follows:</p> <p>Street walls, fences and gates are to be of a style and materials compatible with those of the development on site and/or walls, fences and gates of the immediate surrounding area <u>excluding fibre cement and metal sheeting</u>.</p>
16	Maps	
16.1	<p>The City has a suite of Design Guidelines that outline specific, location-based requirements for development in nine separate planning cells. Where there is an inconsistency between the Design Guidelines and the Policy, the 'Relationship to Other Documents' section states that the Design Guidelines prevail. This means that the building heights stated within the Design Guidelines are deemed to comply in these areas and override the building heights stated in the Policy.</p> <p>Of the nine Design Guidelines, there are two where the heights are inconsistent with the Policy; William Street and Perth. In the remaining seven, the building heights are consistent.</p> <p>The building height requirement in the William Street Design Guidelines is four storeys and the building height requirement in the Policy is a maximum of six storeys. There is also an inconsistency within the Policy itself between Figure 2 (the building heights map), which refers back to the Design Guidelines being four storeys, and Table 1 (the table describing the building heights), which prescribes a maximum height of six storeys for development along the Fitzgerald Street Activity Corridor and Mixed Use Area.</p> <p>The building height requirement in the Perth Design Guidelines is three storeys (six storeys where a site has dual frontage) and the building height requirement in the Policy is a maximum of six storeys. There is also an inconsistency within the Policy itself between Figure 2 (the building heights map), which refers to the Design Guidelines, and Table 1 (the table describing the building heights), which prescribes a maximum height of six storeys for development along the Fitzgerald Street Activity Corridor and Mixed Use Area.</p> <p>The City's Local Planning Scheme No. 2 came into effect in May 2018, rezoning a number of properties within the two Design Guidelines areas. The William Street area was rezoned from Commercial to District Centre and the Perth area was rezoned from Residential/Commercial R80 to Mixed Use R160. Due to the inconsistencies between the Policy and the Design Guidelines, and the rezoning, it is considered suitable to review the heights in these areas to align with the Built Form Policy maximum height. It is also recommended to modify the guidance in the Design Guidelines which indicates that development at three storeys is suitable. Instead it is proposed to encourage development up to four storeys to ensure that there is continuity with the design guideline area and development in the immediately surrounding properties which is permitted to a maximum of four storeys.</p>	<p>Modify figure 2 to clearly outline the heights within the adopted design guidelines.</p> <p>Modify figure 2 to reflect the proposed concurrent changes to the William Street Design Guidelines, as follows:</p> <p>Newcastle Street to Brisbane Street</p> <p>The wide reserve of William Street, the area's direct link to the Central Business District and the accommodating topography allowing vistas to Perth, support building height rising to a maximum of 43 storeys adjacent to the primary streets and up to 64 storeys within the site. It is considered appropriate for the fourth storey of all developments to be setback a minimum of 5 metres from the primary street. A minimum height of two storeys to the primary street is considered appropriate. This maximises opportunities for redevelopment of undercapitalised and underdeveloped properties within the area. The staggering of storeys of development is encouraged at all times to ensure that there is no undue impact on adjacent properties.'</p> <p>Brisbane Street to Bulwer Street</p> <p>Due to the unique topography and the vista along William Street towards Perth CBD there is an opportunity for higher density development. A building height to a maximum of 43 storeys to Bulwer and William Streets and up to 64 storeys within the site is encouraged. The opportunity to extract maximum impact from corner locations will be encouraged and promoted, and greater heights may be considered by the Council provided acceptable levels of amenity can be maintained at adjoining lots.'</p> <p>Modify figure 2 to reflect the proposed concurrent changes for the Perth Design Guidelines, as follows:</p> <p>Height and Massing - The wide reserve of Fitzgerald Street, the openness of Robertson Park and the adjacent Mallings development support building height to a maximum of 43 storeys adjacent to</p>

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	Issue	Recommended Modification
	For the remaining seven Design Guideline areas, it is proposed to remove reference to 'Design Guideline Areas' in Figure 2 and prescribe the same building heights as contained within the Design Guidelines. This will consolidate all building heights for the City of Vincent within the Policy. It should be noted that the above recommended modifications are not a result of a comprehensive review of the guidelines. Administration have undertaken a brief review and consider that the Guidelines satisfactorily respond to the local context, remain relevant and do not require immediate review, as part of this current project. Administration will consider further, more detailed, review of the existing Guidelines as part of the preparation of the 2019/20 Corporate Business Plan.	the primary streets. A minimum height of two storeys to the primary streets is considered appropriate. The Council may consider greater development heights up to a maximum of six storeys, particularly on those lots with frontage to both Fitzgerald Street and Pandal Lane provided the greater height is positioned towards the centre of the lot, to ensure consistency with building forms in the immediate surrounding area, and acceptable levels of amenity can be maintained at adjoining lots. It is considered appropriate for those developments that extend above 3 storeys for the fourth storey to be setback a minimum of 10 metres from Fitzgerald Street, and any building height above 4 storeys a minimum of 30 metres from Fitzgerald Street.
16.2	Figure 1 does not clearly identify and separate reserves from the Built Form Areas. The reserves are not subject to the provisions of the Policy and should be separated from the Built Form Areas.	Amend Figure 1 to include reserves in the legend as per Part 1, Clause 1.6 of this Policy.
16.3	Figure 1 shows Built Form Areas that do not align with the lot boundaries. The Built Form Areas should align with lot boundaries to allow consistent development rather than varying sets of provisions applying to one lot.	Amend Figure 1 to align the Built Form Areas with the lot boundaries.
16.4	Figure 2 shows building heights applying to reserves. The building height limits should not apply to reserves so the map should be amended as appropriate. In addition, the colours of the map should be amended to align with the City's corporate colour scheme to improve legibility.	Amend Figure 2 to remove the height limit of two storeys for reserves and change the colours of the heights.
16.5	Figure 1 and Figure 2 show No. 34 Cheriton Street, Perth as Residential Built Form Area with a height limit of 2 storeys. The property was within the EPRA Scheme area and has been zoned Commercial under LPS2. The Built form Policy is inconsistent with the adjacent properties in the Street that are within the Mixed Use zone and Built Form Area with a height limit of 12 storeys. The City determined that No. 34 Cheriton Street should also be contained within the Mixed Use Built Form Area with a 12-storey height limit for consistency along the street.	Modify Figure 1 and Figure 2 to reflect a Mixed Use Built Form Area and height limit of 12 storeys for No. 34 Cheriton Street, Perth.
16.6	Figure 2 shows No. 291-293 Stirling Street, Perth as a 2-storey height limit. The building height is inconsistent with its Commercial zoning and the adjacent properties, which have 3, 4 and 5 storey height limits. The City determined that this property should have a height limit of 3 storeys, consistent with the northern side of Stirling Street.	Modify Figure 2 to reflect height limit of 3 storeys for 291-293 Stirling Street, Perth.
17	Administrative Changes	
17.1	The current Built Form Policy is set out with the provisions in a list format. For ease of use it is recommended that the Policy be reformatted into a table.	Reformat policy provisions into a table.
17.2	Definitions 'Average natural ground level' should be consistent with the R Codes.	Remove 'Average Natural Ground Level' definition.
17.3	The definitions of the R Codes should include reference to the current R Codes.	Modify the definition of 'R Codes' as follows: Refers to State Planning Policy 3.1: Residential Design Codes <u>(as amended)</u> .
17.4	The definition of 'soft landscaping' should apply to the planting itself rather than an area.	Modify the definition of 'Soft Landscaping' as follows: Any landscaped area with a minimum soil depth of 300mm that contains in-ground planting, and is exclusive of removable planter boxes/pots, artificial turf, green walls and porous paving areas.
17.5	The definition of 'verandah' should refer to the R Codes.	Modify the definition of 'Verandah' as follows: As per the R Codes. A roofed platform partly enclosed or unenclosed extending across the front and sides of a building.
17.6	Clause P1.8.1 includes the words "Or equivalent" at the end of the table. The words are not necessary as they are already included at the end of Clause 1.8.1(e).	Remove the words "Or equivalent" at the end of the table in Clause P1.8.1.
17.7	Figure 3 and Figure 4 are represented in the R Codes.	Remove Figure 3 and Figure 4.

Schedule of Modifications Local Planning Policy No. 7.1.1 – Built Form

	Issue	Recommended Modification
17.8	Figure C1.2.1, Figure C1.2.3, Figure C1.2.5, Figure C1.2.6, Figure C1.3, Figure C1.4.9 and Figure C1.6.1 do not encompass the new provisions regarding setbacks. The new provisions have sufficient guidance to not require replacement figures.	Remove Figure C1.2.1, Figure C1.2.3, Figure C1.2.5, Figure C1.2.6, Figure C1.3, Figure C1.4.9, Figure C1.6.1.
17.9	Figure C1.5 shows under awning signage within 2.75m of the ground. The City of Vincent Local Planning Policy 7.5.2 Signs and Advertising requires under awning signage to have a minimum clearance of 2.75m from the finished ground level to the lowest part of the sign. The Figure should be modified to show this.	Modify Figure C1.5 to show under awning signage at a minimum of 2.75m from the finished ground level.
17.10	Clause 1.2 should reference the appropriate R Codes clause relating to single houses and grouped dwellings within Part 5.	Modify the preamble to Clause 1.2 as follows: 'Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.1.3 and 6.1.4 C4.2 of the R Codes.'
17.11	Clause 4.4.1 does not specify the need to comply with the communal open space requirements of the R Codes. Clause 5.1.5 of the R Codes, regarding communal open space, applies to residential development in Transit Corridors and this should be made clear in the Policy.	Modify the wording of Clause 4.4.1 as follows: Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.1.4 and 5.1.5 of the R Codes apply.
17.12	Clause 5.2 should only replace subclauses (i) and (ii) of Clause 5.1.2 C2.1.	Modify the preamble to Clause 5.2: 'Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.1.2 C2.1 i, 5.1.2 C2.1 ii and 6.1.3 of the R Codes'
17.13	Clause C5.3.1 should be reworded to remove duplication between the Policy and the R Codes.	Remove existing Clause C5.3.1 and replace with the following: <u>For all development subject to Part 5 of the R Codes Clause 5.1.3 C3.2 of the R Codes applies to walls and is acceptable up to two side boundaries. For all development subject to Part 6 of the R Codes Clause 6.1.4 C.4.3 applies to walls and is acceptable up to two side boundaries.</u>
17.14	The preamble for Deemed to Comply 5.25 should not replace the entire 5.4.4 of the R Codes. Only clause 5.4.4 C4.3 and C4.4 should be replaced. This amendment is suitable as R Codes Clause 5.4.4 C4.1 and C4.2 allows solar collectors, television aerials and downpipes as of right.	Insert the following wording to correct the reference to the R Codes: Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.4.4 <u>C4.3, C4.4</u> , 6.4.5 C5.3 and 6.4.5 C5.4 of the R Codes.
17.15	Various Clauses and Pages. There are spelling, wording and numbering errors. It is recommended that these be corrected to ensure clear application of the Policy provisions.	
17.16	Clause 1.1 wording correction.	Remove the word 'Sections' in the deemed to comply preamble note.
17.17	Table 1 administrative corrections.	Spelling and wording changes.
17.18	Clause C1.10.2 administrative corrections.	Spelling.
17.19	Clause C1.10.9 administrative corrections.	Spelling.
17.20	Clause 4.6 administrative corrections.	Insert wording as follows: 'Design Principles & Local Housing Objectives'.
17.21	Clause 4.7 and 4.9 administrative corrections.	Spelling.
17.22	Clause 4.10 administrative corrections.	Insert wording as follows: 'Design Principles & Local Housing Objectives'.
17.23	Clause C4.10.2 administrative corrections.	Insert 'shall'.
17.24	Clause 5.2 administrative corrections.	Insert wording as follows: 'Design Principles & Local Housing Objectives'.
17.25	Clause 5.3 administrative corrections.	Insert wording as follows: 'Design Principles & Local Housing Objectives'.
17.26	Clause 5.3 note administrative corrections.	Remove reference to street setbacks as this clause only replaces the lot boundary setback provisions of the R Codes.

Schedule of Modifications Local Planning Policy No. 7.1.1 – Built Form

	Issue	Recommended Modification
17.27	Clause 5.3 Deemed to Comply note administrative corrections.	Remove reference to lot boundary setback Clauses of the R Codes as this clause only replaces the boundary wall provisions of the R Codes.
17.28	Clause 5.3 deemed to comply note administrative corrections.	Remove reference to boundary wall provisions of the R Codes as the subsequent clauses relate to lot boundary setbacks.
17.29	Clause 5.7 administrative corrections.	Spelling correction.
17.30	Clause 5.9 administrative corrections.	Remove reference to 'Local Housing Objectives' as there are none provided in this Clause.
17.31	Clause 5.10 administrative corrections.	Insert reference to 'Local Housing Objectives'.
17.32	Clause 5.11.1 administrative corrections.	Insert correct numbering of R Codes Clause.
17.33	Clause 5.14 administrative corrections.	Insert reference to 'Local Housing Objectives'.
17.34	Clause 5.25 administrative corrections.	Insert reference to 'Local Housing Objectives'. And correct the reference to the R Codes 6.4.5 instead of 6.4.6.
17.35	Clause 5.31 administrative corrections.	Insert reference to 'Local Housing Objectives'.

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BUILT FORM

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PART 1 – PRELIMINARY

POLICY DEVELOPMENT

This Policy has been prepared under the provisions of Schedule 2, Part 2, Clause 4 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

PURPOSE & APPLICATION

The purpose of this Policy is to provide guidance on development in the City of Vincent. This Policy applies to all development applications in the City of Vincent.

POLICY OBJECTIVES

Context

1. Development which integrates land use, public space and the form of the built environment.
2. Ensure development is respectful of local and historic context.
3. Preserve and reinterpret established built form and social character.
4. Facilitate redevelopment while maintaining and enhancing amenity.

Design

5. To facilitate good quality and well-designed development, including both buildings and landscaping.
6. Development which facilitates activity and vibrancy.
7. Contribute to and bridges between planning and design specialties.
8. Encourage development that incorporates the principles of Crime Prevention through Environmental Design.
9. To facilitate orderly and proper planning by providing Deemed to Comply requirements as a straight-forward pathway to approval and Design Principles and Local Housing Objectives for innovative solutions resulting in positive development outcomes.

Sustainability

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10. High quality urban places that are efficient, functional and attractive, and can respond to the changing needs of the community, environment and the economy over time.
11. Resource, energy and water efficiency throughout lifecycle including construction, maintenance and ongoing upkeep. Encourage building design that incorporates sustainable and energy efficient design that befits the local climate and provides comfortable living conditions.

Movement

12. Maximise the opportunities provided by the City of Vincent's proximity to the Perth central business district, major public transport routes, and cycling networks.

Housing

13. To provide a range of development types and encourage a range of housing typologies to address the demographic and needs of the community.
14. A focus on the retention and adaptive re-use of the City's building stock and the provision of affordable housing.

RELATIONSHIP TO OTHER DOCUMENTS

This Local Planning Policy forms part of the City of Vincent local planning policy framework. Where this Policy is inconsistent with the City's local planning scheme, the local planning scheme prevails. Where this Policy is inconsistent with an adopted Local Development Plan, Activity Centre Plan or Structure Plan, the adopted Local Development Plan, Activity Centre Plan or Structure Plan prevails.

Where this Policy is inconsistent with the provisions of a specific Policy or Guidelines applying to a particular site or area ([e.g.](#) Character Retention Area Guidelines), the provisions of that specific Policy or Guidelines shall prevail.

DEFINITIONS

Active Frontage	A ground floor space where there is visual engagement between those in the street and those on the ground floors of buildings.
Articulation	Architectural composition in which elements and parts of the building are expressed logically, distinctly, and consistently, with clear joints. For the purposes of this Policy articulation refers to points within a dwelling that clearly distinguish one part of the dwelling from another, such as setback between the ground and upper floors and indentations or 'breaks' within building walls.
Average Natural Ground Level	The average natural ground level is calculated as the average of the sum of the natural ground level points directly below the outermost

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	corner points of the footprint of each level of the dwelling (see Figures 4 and 5).
Awning	A roof like structure attached to a building to provide shelter.
Building Height	As per the R Codes.
Canopy Coverage	Land area covered by tree crowns (branches, leaves, and reproductive structures extending from the trunk or main stems) <u>from trees located within the subject site, excluding any area that falls within an adjoining privately owned lot.</u>
Climate Moderation Devices	A structure or element which provides suitable control of internal temperature and air conditions, but does not include air conditioners.
Colonnade	A sequence of columns, covered or open, free-standing or part of a building.
Dedicated Road	A road which has been committed to public use in accordance with the <i>Land Administration Act 1997</i> .
Deep Soil <u>Zone Area</u>	Areas of soil within a development which provide a minimum space of 1 metre that allows for and supports mature plant and tree growth excluding areas covered with impervious surfaces. <u>Soft landscape area on lot with no impeding building structure or feature above or below, which supports growth of medium to large canopy trees and meets a stated minimum dimension. Deep soil areas exclude basement car parks, services, swimming pools, tennis courts and impervious surfaces including car parks, driveways and roof areas.</u>
External Fixtures	As per the R Codes.
Landscaping	As per the R Codes with additional clarification on "any other such area approved of by the decision-maker as landscaped area" to be defined as: Landscaped areas which are available for the use and enjoyment of the occupants, can include common and/or private open areas and recreational areas but does not include covered portions of driveways, hard paved driveways and parking areas, open air porous parking areas and driveways, or green walls.
Natural Ground Level	As per the R Codes.
Permanent Structure	Building or development which is not temporary and cannot be easily removed, this includes but is not limited to development with footings.

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Planting Area	<u>An area with a minimum soil depth of 1m that supports growth of medium to large canopy trees.</u>
Primary Street	As per the R Codes.
R Codes	Refers to State Planning Policy 3.1: Residential Design Codes <u>(as amended)</u> .
Secondary Street	As per the R Codes.
Skillion Roof	A mono-pitch roof form.
Soft Landscaping	Any <u>landscaped</u> area with a minimum soil depth of 300mm that contains in-ground planting, and is exclusive of removable planter boxes/pots, artificial turf, green walls and porous paving areas.
Stall Riser	The part of a shop front below a window.
Streetscape dDesign eElements	<u>Features of the street including, colour palette, texture, scale, materials and roof pitch.</u>
Streetscape	The visual elements of a street including the road, adjoining buildings, foot paths, street furniture, trees and open spaces that combine to form the street's character.
Verandah	<u>As per the R Codes. A roofed platform partly enclosed or unenclosed extending across the front and sides of a building.</u>
Visible Light Transmission	Light passing directly through glass.
Visually permeable	As per the R Codes.

APPLICATION OF POLICY & DEVELOPMENT STANDARDS

1. Application

- 1.1. Part 2, Section 1 of this Policy applies to applications for development in the areas identified as town centre areas on Figure 1, pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.
- 1.2. Part 2, Section 2 of this Policy applies to applications for development in the areas identified as activity corridor areas on Figure 1 pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.
- 1.3. Part 2, Section 3 of this Policy applies to applications for development in the areas identified as mixed use areas on Figure 1 pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

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1.4. Part 2, Section 4 of this Policy applies to applications for development in the areas identified as transit corridor areas on Figure 1 pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

1.5. Part 2, Section 5 of this Policy applies to applications for development in the areas identified as residential areas on Figure 1 pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

1.6. Development in the areas identified as reserves on Figure 1 are not subject to the provisions of this Policy.

1.7. Development on sites zoned Regional Centre, District Centre, Local Centre and Commercial are to be guided by the R-AC3 provisions of the R Codes for multiple dwelling or commercial development and R80 for the development of single houses or grouped dwellings or commercial premises in the residential built form area.

2. Development Standards

2.1. Applications for development that comply with the relevant Deemed to Comply policy provisions are considered to be acceptable and will therefore be approved.

~~2.2. Applications for development that propose any of the Not-Accepted policy provisions specified will be refused.~~

~~2.3.2.2.~~ Applications for development that seek departure from the Deemed to Comply policy provisions may be deemed to be acceptable where the following occurs:

2.23.1 The applicant applies for assessment against the relevant Design Principles, Local Housing Objectives, Policy Objectives and Objectives of the local planning scheme;

2.23.2 The applicant provides adequate justification against those Design Principles, Local Housing Objectives, Policy Objectives and Objectives of the local planning scheme;

2.23.3 Where required by the City's Policy 4.2.13 – Design Advisory Committee (DAC), the applicant presents the development to the DAC to review and provide comment to the City regarding whether the application meets the relevant Design Principles contained within the Policy and Appendix 1 and Local Housing Objectives; and

2.23.4 The City will assess and determine at its discretion that the outcome will achieve the relevant Design Principles, Local Housing Objectives, Policy Objectives and Objectives of the local planning scheme.

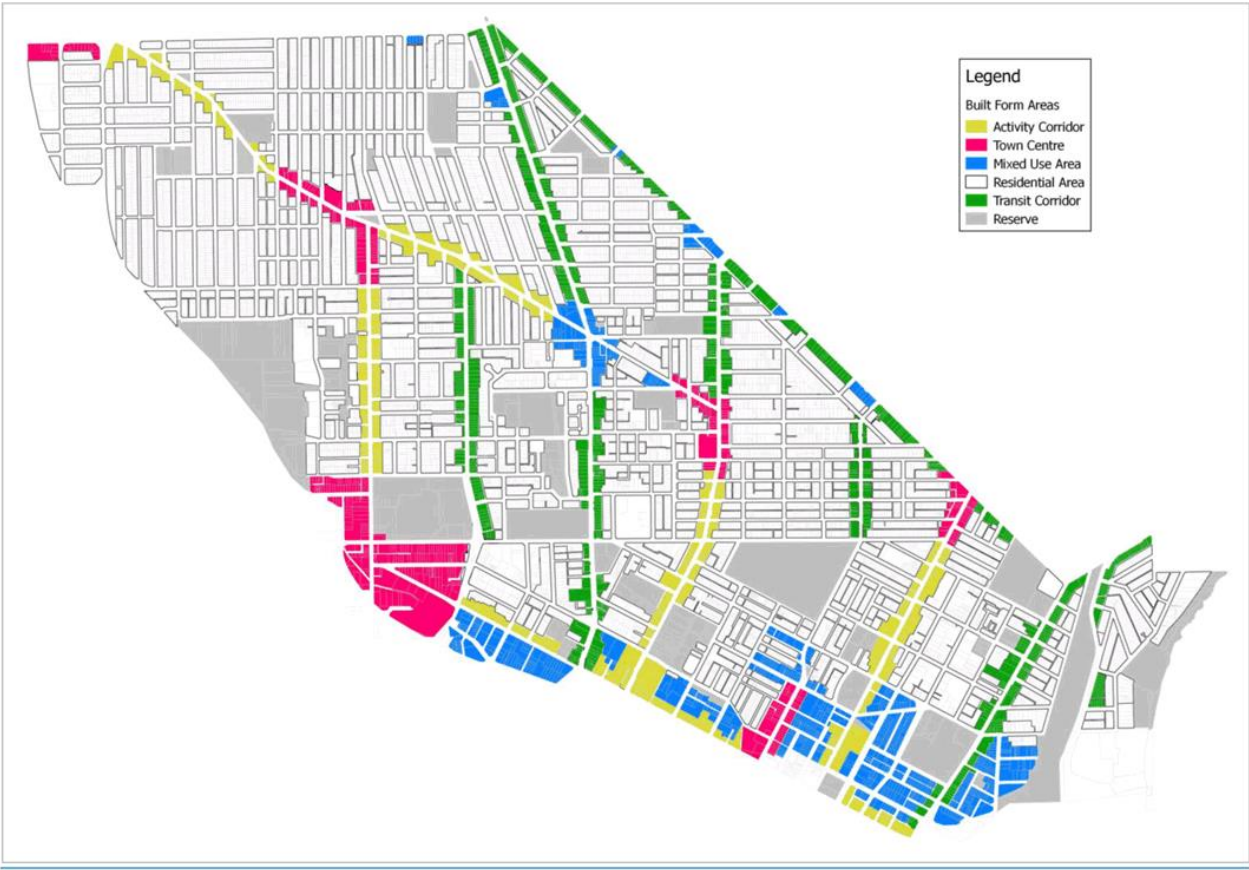




FIGURE 1 – BUILT FORM AREAS

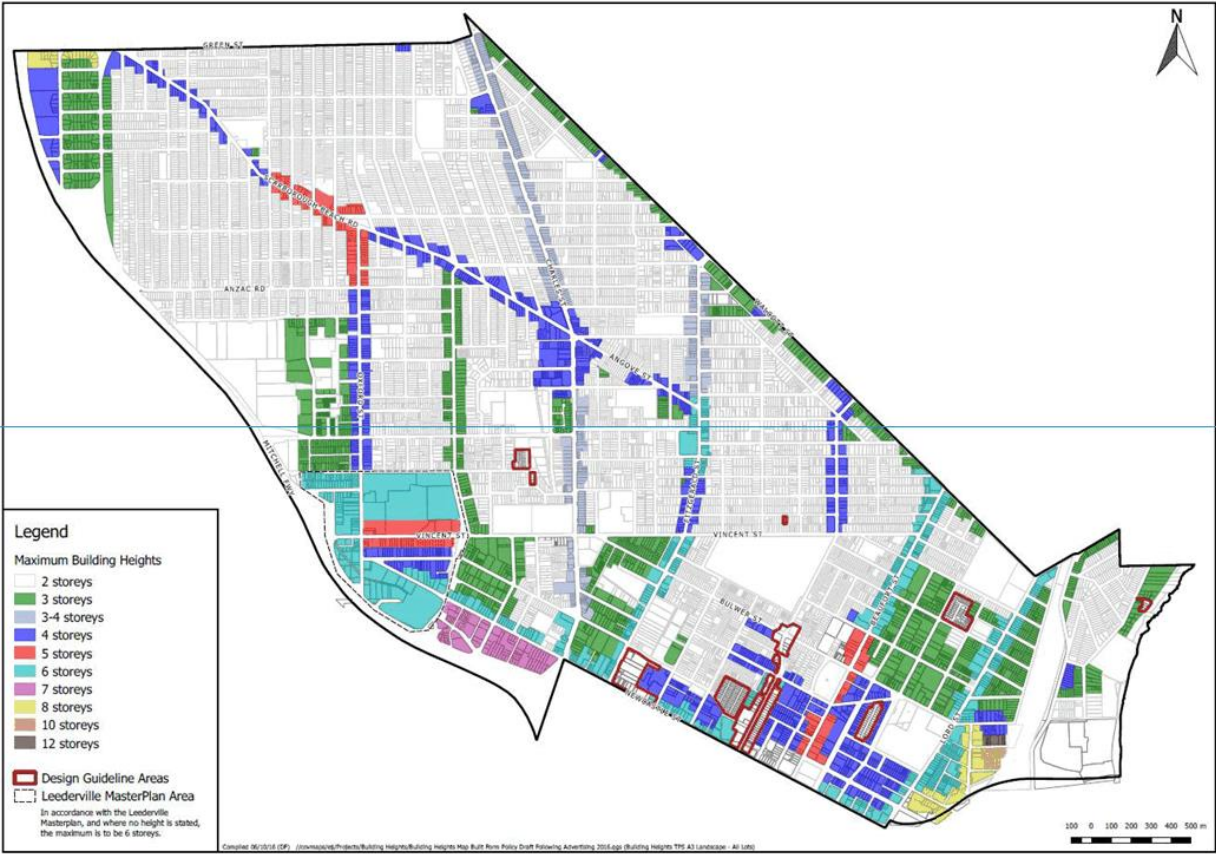




FIGURE 2 – BUILDING HEIGHTS

PART 2 - POLICY PROVISIONS

Section 1 – Town Centres

Part 2, Section 1 of this Policy applies to Town Centres as shown in Figure 1 – Built Form Areas.

Section 1 – Objectives

1. Improve all street level ground floor spaces - The relationship of building design and uses to the adjacent public domain is vital to ensure attractive, interesting, pedestrian friendly outcomes.
2. Ensure that buildings contribute to public spaces through design and maximise street level interest, articulation, materiality, openness, and interaction between inside and outside.
3. Design which encourages active participation by the public - The built form should have a positive influence on improving public health by improving walkability and interest for pedestrians.
4. Establish well-connected, weather protected spaces - Protect pedestrians under awnings and increase activation along both north-south and east-west directions.
5. Reinforce and continue traditional design and character of established streetscapes - Materials, scale, awnings and appropriately designed outdoor alfresco areas.
6. Encourage active built form - Design buildings for a human scale, minimising blank walls and the detrimental impacts of services, utilities and car parking structures. Encourage direct street level pedestrian access wherever possible.
7. Design for change – New development should be flexible to respond to future changes in use, lifestyle and demography.
8. Provide natural amenity and landscaping – New development should provide areas of deep soil which support healthy plant and tree growth and contribute to the City's tree canopy, reducing urban heat islands, and providing natural beauty and amenity to residents and visitors.
9. Development which is sustainable – Design buildings to maximise passive heating and cooling and minimise energy use and emissions.
10. Ensure buildings are designed with privacy in mind at the early stages, avoiding the need to retrofit excessive screening.

Section 1 – Town Centres

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1.1 Building Height

Design Principles & Local Housing Objectives	Deemed to Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses Sections 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
P1.1.1 Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.	C1.1.1 Development that is consistent with the building heights provided in Table 1 and Figure 2.
P1.1.2 Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.	C1.1.2 External fixtures may extend beyond the maximum height in Table 1 and Figure 2 where they are not visible from the street or neighbouring properties.
P1.1.3 Development that considers and responds to the natural features of the site and requires minimal excavation/fill.	C1.1.3 The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this policy.
P1.1.4 Design which minimises overlooking and overshadowing where it impacts residential development.	
P1.1.5 The City may approve development which exceeds the maximum height stated in Table 1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P1.1.1 – P1.1.4.	

TABLE 1: Building Height – Town Centres

Location	Maximum No. of Storeys Building Height	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top Highest point of skillion roof	Top of pitched roof
Leederville	In accordance with the Leederville Masterplan, and where no height is stated the maximum is to be 6 storeys, with the exception of the below requirements.: Vincent Street – 5 storeys Carr Place – 4 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
	Vincent Street – 5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
	Carr Place – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
North Perth	Fitzgerald Street – 6 storeys Angove Street – 4 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
	Angove Street – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m

Section 1 – Town Centres

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Location	Maximum No. of Storeys Building Height	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top Highest point of skillion roof	Top of pitched roof
Perth	6 sStoreys	19.5m	20.5m	19.5m	20.5m	22.5m
Mount Lawley / Highgate	6 sStoreys	19.5m	20.5m	19.5m	20.5m	22.5m
Mount Hawthorn	5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
Glendalough	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m

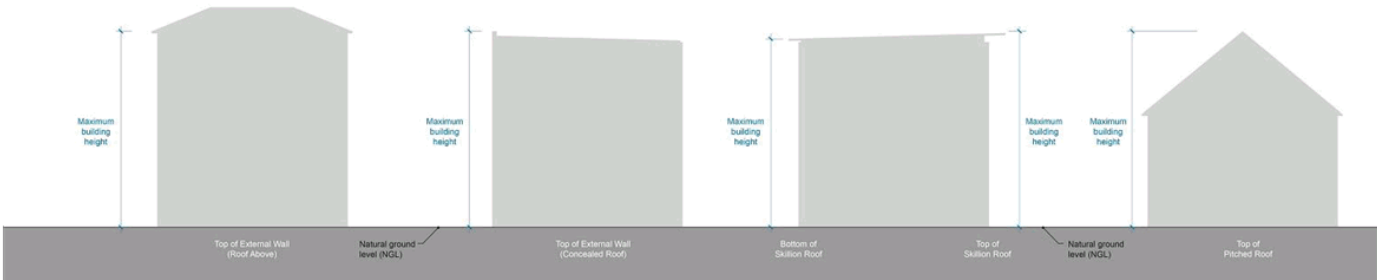


Figure C1.1.1 – Building Height Measurement

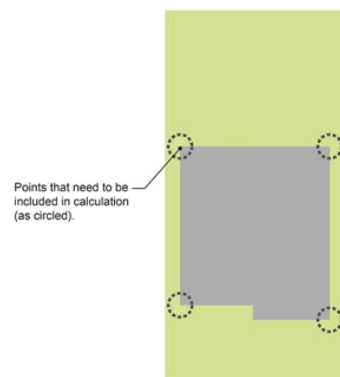


Figure 3—Average Natural Ground Level Calculation

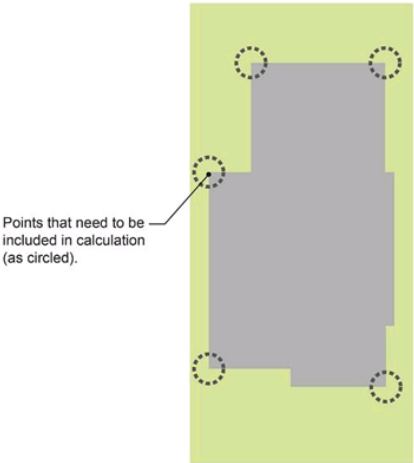


Figure 4—Average Natural Ground Level Calculation

1.2 Setbacks

Design Principles & Local Housing Objectives	Deemed to Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.2, 5.1.3, 6.1.3 and 6.1.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.1.2 and 6.1.3 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
P1.2.1 Development which incorporates design elements that reduce the impact of building bulk.	C1.2.1 Primary and secondary street setback for the first three storeys is nil.
P1.2.2 Development which maximises natural light access, natural ventilation and, internal and external privacy.	<u>Lot Boundary Setbacks Adjoining Non-Residential Built Form Areas</u>
P1.2.3 Setbacks that facilitate the provision of landscaping.	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses <u>5.1.3 and 6.1.4</u> C4.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
P1.2.4 Development which activates and addresses rights of way.	C1.2.2 Minimum side boundary setbacks for the first two storeys is nil.
P1.2.5 Street setbacks that facilitate the provision of useable open space, alfresco dining opportunities and landscaping which contributes to canopy coverage.	C1.2.3 Side boundary setbacks for development three storeys and above and rear boundary setbacks are to be in accordance with Table 5 of the R Codes unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.
	<u>Lot Boundary Setbacks Adjoining Residential Built Form Areas</u>

C1.2.4 Lot boundary setbacks adjoining properties coded R60 and above are:
 Ground floor, second and third storey is 4.5m; and
 fourth storey and above 6.5m;
 unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

C1.2.5 Lot boundary setbacks adjoining properties coded R50 and below are:
 Ground floor, second and third storey is 6.5m; and
 fourth storey and above 12.5m;
 unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent **C1.2.4** Lot boundary setbacks in accordance with the following tables:

		Subject Property									
		R20	R30	R40	R50	R60	R80	R100+	R – AC3	No R-Code	
Neighbouring Property	Residential Built Form	R20	A	B	B	C	C	C	C	C	C
		R30	A	A	B	B	C	C	C	C	C
		R40	A	A	A	B	B	C	C	C	C

R50	A	A	A	A	B	B	C	C	C
	A	A	A	A	A	B	B	B	B
	A	A	A	A	A	D	D	D	D
	A	A	A	A	A	D	D	D	D
	A	A	A	A	A	D	D	D	D
	A	A	A	A	A	D	D	D	D
Non-Residential Built Form Area	A	A	A	A	A	D	D	D	D
					Setback for ground floor, second storey and third storey	Setback for the fourth storey and above			
A	R Codes table 2a and 2b;					R Codes table 2a and 2b;			
B	4.5m					6.5m			
C	6.5m					12.5			

Section 1 – Town Centres

	D	R Codes Table 5	R Codes Table 5
	C1.2.5 Balconies are to be setback a minimum of 7.5 metres.		
	<i>Development Adjoining Rights of Way</i>		
	C1.2.66 Where development adjoins a right of way the setback shall be measured from the midpoint of the right of way.		
	C1.2.77 Development must address adjoining rights of way by providing passive surveillance and openings to the right of way.		

Not Accepted

~~**N1.2.1** Non-compliance with lot boundary setback provisions where the site adjoins land coded R40 and below.~~

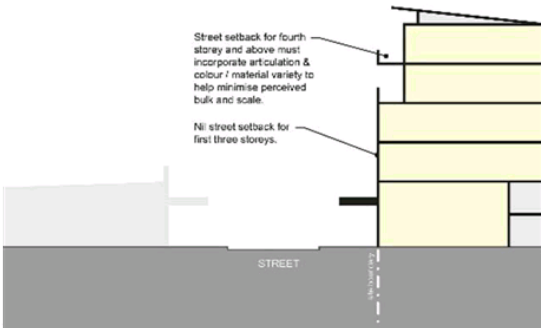


Figure C1.2.1 – Town Centre Street Setback

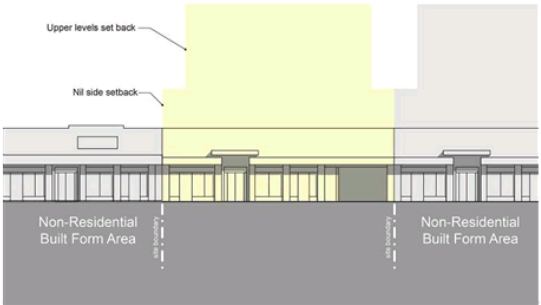


Figure C1.2.3 – Side boundary setbacks adjoining non-residential area

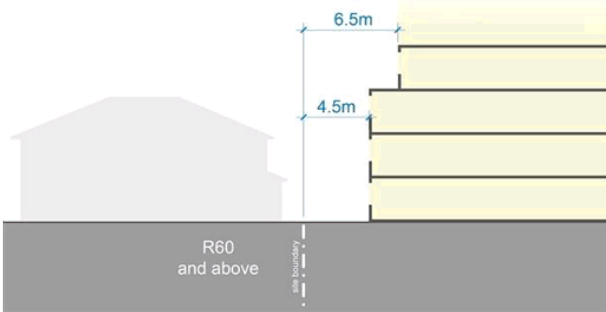


Figure C1.2.5 – Lot boundary setbacks adjoining properties coded R60 and above.

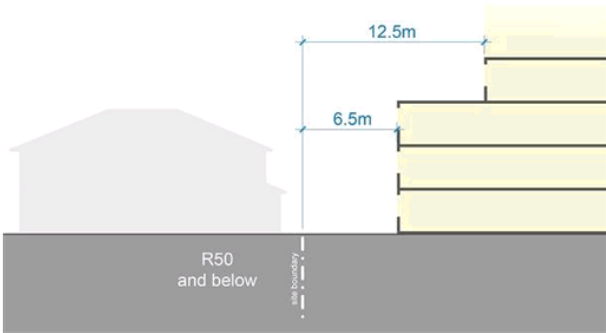


Figure C1.2.6 – Lot boundary setbacks adjoining properties coded R50 and below.

1.3 — Corner Sites

Design Principles & Local Housing Objectives	Deemed to Comply

Not Accepted

N1.3.1 — Service areas or fire egress stairs located on or within 1m of the corner.

N1.3.2 — Building entries that are significantly recessed back from the street corner, creating an undercroft that takes activity away from the footpath.

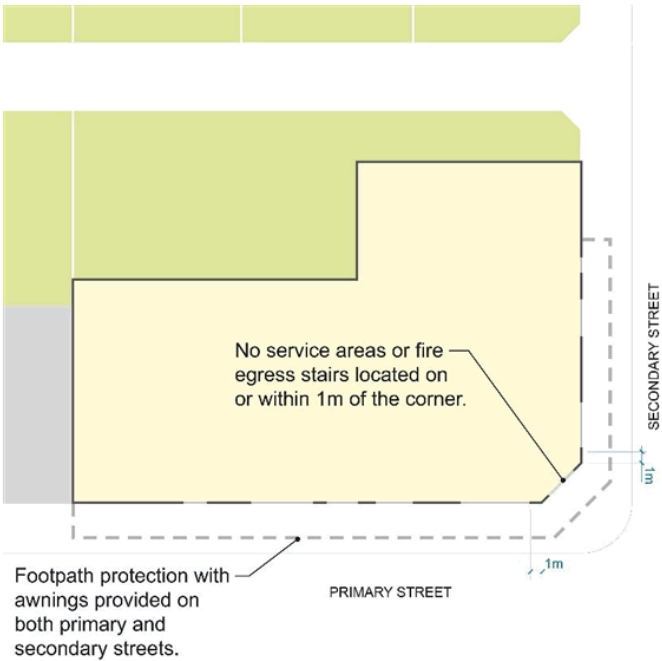


Figure C1.3 – Corner Sites

1.4 — Ground Floor Design

Design Principles & Local Housing Objectives	Deemed to Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 6.2.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions are considered local planning policy provisions for the purpose of clause 6.2.4 C4. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
<u><i>Façade Design</i></u>	<u><i>Façade Design</i></u>
<u><i>Tenancy Size</i></u>	<u><i>Tenancy Size</i></u>
<u><i>Materials</i></u>	<u><i>Materials</i></u>

Not Accepted~~N1.4.1 — Unarticulated monotonous facades to the street.~~~~N1.4.2 — Floor-to-ceiling glazing, excluding doors.~~~~N1.4.3 — Street walls and fences which front the street.~~~~N1.4.4 — Glazing and/or tinting with 50% or lower visual permeability.~~~~N1.4.5 — Blank walls, dead ends and hidden recesses.~~~~N1.4.6 — Features or structures that can be used as natural ladders to gain access to higher levels, windows or doors.~~



Figure C1.4.9—Active Frontages to Link and Arcades

1.5—Awnings, Verandahs and Collonades

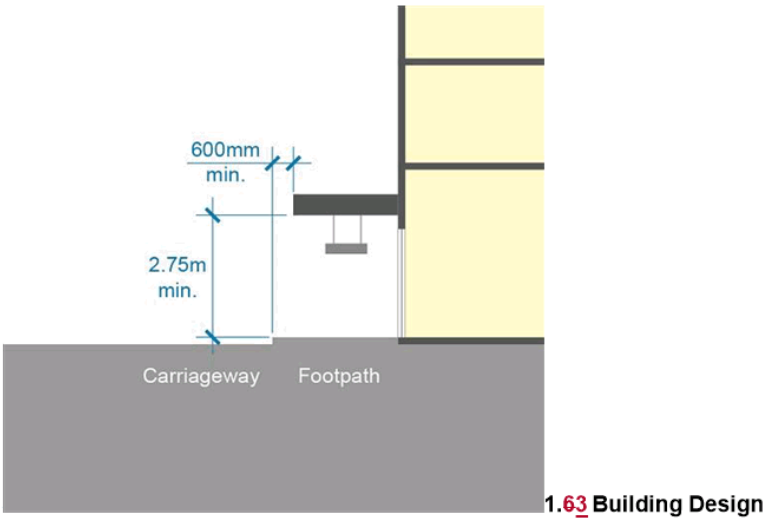
Design Principles & Local Housing Objectives	Deemed to Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 6.2.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions are considered local planning policy provisions for the purpose of clause 6.2.4 C4. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>

Not Accepted

N1.5.1 — Development in town centres that does not provide an awning.

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Design Principles & Local Housing Objectives	Deemed to Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives provide guidance for development subject to Part 5 of the R Codes; and augment the Design Principles in- clause 6.2.4 of the R Codes. For all development that is not subject to the R Codes, the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions are considered local planning policy provisions for the purpose of clause 6.2.4 C4. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
P1.6.1 Quality materials and detail that provide interest at a human-scale.	<u>C1.3.1 Commercial Development which fronts the public realm shall provide active frontages including glazing, openings and operable windows to ensure activity, interaction and surveillance of the street.</u>
P1.63.12 Appropriate use of a variety of materials and finishes that complement elements of the existing local character whilst avoiding the use of faux (made as an imitation, fake or false) materials. Design which incorporates and retains elements of the existing local character and avoids faux materials.	<u>C1.3.2 Commercial Development located on a corner lot shall address and emphasise the corner and provide active frontages on both street frontages.</u>
P1.36.23 Articulation that uses architectural elements in addition to setbacks to reduce its impact on adjoining properties and improves the amenity of adjoining properties and the streetscape. Articulation should be used to reduce scale and bulk.	<u>C1.3.3 Service areas and vehicular access shall be:</u> (a) Taken from the rear laneway or secondary street in the first instances; or (b) Collocated where taken from the primary street to maximise the width of active frontages.
<u>P1.63.3 Fire boosters, mail boxes and external fixtures that are located to minimise the impact on the public realm.</u>	<u>C1.3.4 Fire boosters, mail boxes and external fixtures shall not be located on the ground floor façade.</u>
<u>P1.36.4 Development that achieves visual interaction with the vehicle and pedestrian approaches.</u>	<u>C1.63.15 Commercial Ground floor spaces shall have a maximum width between 7.5m to 9m and a finished floor level to finished ceiling level height of a minimum of 3.5m.</u>
<u>P1.36.5 Development which integrates and/or acknowledges the design elements of the street.</u>	<u>C1.3.6 Commercial Development shall provide a protective awning over the pedestrian footpath.</u>
P1.3.16 Development on corner sites that is designed to express significance and frame the corner to define the built form and give a strong edge to the public realm.	(a) Façade depth shall be a minimum of 300mm to allow space for articulation of windows, and other detailing. (b)

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<p>P1.3.27 Development expressed with strong visual elements that integrate with both street frontages.</p> <p>P1.3.38 Create cohesion of both street frontages and contribute to a comfortable pedestrian environment by addressing each frontage with awnings.</p> <p>P1.3.49 Designed to address developments on the opposing street corner.</p> <p>P1.34.10 Development shall integrate with adjoining public spaces and provide building frontages that contribute to the liveliness, interest, comfort and safety of these public spaces.</p> <p>P1.34.211 Ground floor façade depths which provide robustness and space for detail.</p> <p>P1.34.312 Active frontage allowing uses to be clearly visible from the street.</p> <p>P1.34.413 Emphasise vertical articulation to break up building mass and highlight street level uses and details.</p> <p>P1.34.145 Development which retains traditional commercial facades where possible.</p> <p>P1.34.156 Contemporary active frontages which are designed with the core elements of traditional shopfront design.</p> <p>P1.34.167 Ground floor commercial spaces which increase engagement with the public realm with opening doors, windows and walls.</p>	<p>(c) C1.6.2 Fire boosters, mail boxes and external fixtures, shall be integrated into the building design.</p> <p>C1.63.37 Development shall identify key design elements in the local area and streetscape through an Urban Design Study and integrate and acknowledge these design elements where possible whilst avoiding the use of faux materials.</p> <p>Development which integrates and/or acknowledges the design elements of the street identified in the urban design study.</p> <p>C1.3.1 Buildings which are designed to address and emphasise the corner and provide uninterrupted activation of both street frontages.</p> <p>C1.3.2 Footpath protection with awnings provided on both primary and secondary streets.</p> <p>C1.4.1 Ground floor Façade depth of 300mm to allow space for window openings, seating ledges, the articulation of entries, openings, windows, sills, stall risers and other detailing.</p> <p>C1.34.28 Commercial Building facades visible from the public realm shall:</p> <p>(a) Incorporate a variety of materials, colours, textures and depths;</p> <p>(b) Not present a blank, monotonous, repetitious or dominant building treatment;</p> <p>(c) Incorporate architectural or functional elements integrated into the façade, rather than cosmetic or superficial attachments to the building;</p> <p>(d) Incorporate vertical articulation by using tall and narrow façade treatments;</p>
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<p>P1.34.817 Security measures which do not adversely detract from the streetscape.</p>	<p><u>(e) Incorporate articulation such as doorways, windows, seating ledges, sills, stall risers and other detailing;</u> <u>(f) Minimise use of shallow framings systems and thin wall/glazing systems;</u> <u>(g) Integrate fire boosters, mail boxes and external fixtures into the building design or screen them so they appear as part of the façade; and</u> <u>(h) Integrate signage into the design and articulation on the ground floor.</u> <u>Doorway articulation depth shall be between 500mm and 1m to clearly articulate entrances to buildings and tenancies.</u></p>
<p>P1.43.918 Adhere to the performance criteria of the Western Australian Planning Commissions, Designing Out Crime Planning Guidelines.</p>	<p>C1.34.932 <u>Where provided, doorways shall have a depth between 500mm and 1.5m to clearly articulate entrances to commercial buildings and tenancies.</u> <u>The design shall incorporate vertical articulation by using tall and narrow façade treatments.</u></p>
<p>P1.34.109 Regular entrances with attractive, open and operable shopfronts, which increase the interest and engagement of pedestrians and improve walkability and vibrancy.</p>	<p>C1.34.10 <u>Where provided, windows, seating ledges, sills, stall risers and other detailing shall have 43—a minimum depth of 300mm.</u> <u>Maximise the width of active frontage including glazing, openings and operable windows to ensure activity, interaction and surveillance of the street.</u></p>
<p>P1.34.2014 Spaces which accommodate relevant and desirable uses.</p>	<p>C1.4.54 <u>Co-locate service areas and vehicular access to maximise the width of the active frontage.</u></p>
<p>P1.34.2112 Tenancies which maintain the regular spacing rhythm of the streetscape.</p>	<p>C1.34.1165 <u>Where provided, Sstall risers shall be to a minimum height of 450mm.</u></p>
<p>P1.34.2213 Development designed to be adaptive and cater for changing uses over time.</p>	<p>C1.3.12 <u>Commercial Ground floor glazing and/or tinting shall have a minimum of 70% visible light transmission to provide unobscured visibility.</u></p>
<p>P1.34.2314 All design elements and spaces within the development must have purpose, 'dead' spaces are not supported.</p>	
<p>P1.34.2415 High quality durable materials and textures used at street level which reference the surrounding context where possible.</p>	
<p>P1.34.2516 Detailed and/or sustainably sourced materials which are highly engaging to the pedestrian.</p>	
<p>P1.35.261 Provide a continuous network of pedestrian shelter along building frontages to encourage walking and to provide protection from the elements.</p>	

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<p>P1.35.272 Contribute to the legibility of a building and enhance building façade articulation.</p> <p>P1.35.283 Create a human scale space that encourages window shopping and outdoor trading and dining.</p> <p>P1.53.429 Be considered an integral part of the overall architecture of the development and considers the form of existing awnings.</p> <p>P1.35.305 Designed to allow unobstructed access to public spaces.</p> <p>P1.35.316 Design which is responsive to any existing and/or proposed verge trees.</p> <p>P1.35.327 The City may approve development which does not provide an awning where landscaping, which provides equal or greater coverage than an awning, is proposed.</p>	<p>C1.34.1376 Security measures shall be:</p> <p>(a) Located and installed internally behind the glazing line or recessed between elements in the façade such as columns or doorway recesses;</p> <p>(a)(b) Transparent and visually permeable to allow views inside the building and enable internal light sources to be seen from the street. Location of signage to be integrated into the design and articulation of the ground floor.</p> <p>C1.4.87 Where it is necessary to include fire boosters, mail boxes and external fixtures on the ground floor facade, these are to be screened or made to appear as part of the facade of the ground floor design to maximise the width of the active frontage.</p> <p>C1.4.98 Minimal use of shallow framing systems and thin wall/glazing systems.</p> <p>C1.4.109 Development which fronts a link or arcade must maximise active frontage.</p> <p>C1.4.110 Security measures located and installed internally behind the glazing line or recessed between elements in the façade such as columns or doorway recesses.</p> <p>C1.4.121 Security measures which are transparent and visually permeable to allow views inside the building and enable internal light sources to be seen from the street.</p> <p>C1.4.132 Ground floor spaces are to have a finished floor level to finished ceiling level height of minimum 3.5m.</p> <p>C1.4.143 Ground floor spaces with a width between 7.5m to 9m.</p>
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	<p>C1.34.1454 Ground floor tenancies within new mixed use and commercial buildings shall provide an acoustic report which demonstrates that they are capable of attenuating noise for a range of land uses including high intensity uses such as small bars and restaurants.</p> <p>C1.4.165 Ground floor glazing and/or tinting to be have a minimum of 70% visually permeable visible light transmission to provide unobscured visibility.</p> <p>C1.4.176 Use of contrasting materials. This may be in the form of contrasting texture, colour, pattern or material finish.</p> <p>C1.35.15 Where provided, Awnings shall be:</p> <ul style="list-style-type: none"> (a) verandahs and collonades must be aA minimum height of 3.5m and a maximum height of 4m from finished floor level to the underside of the awning. verandah or collonade to accommodate under awning signage; (b) Be setback a minimum of 600mm from the face of kerb; (b) (c) Respond to any existing and/or proposed verge trees; (d) Respond to the height, depth and form of existing awnings on the subject and adjoining buildings; (e) Respond to the slope of the site; and (f) Integrated with the design of the façade <p>C1.5.2 Provide continuous awnings or an alternative pedestrian protection measure along the full length of the building frontage to the primary and secondary streets.</p> <p>C1.5.3 Be setback a minimum of 600mm from the face of kerb.</p> <p>C1.5.4 Design into the awning, verandah or collonade the location of any existing and/or proposed verge tree/s.</p>
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	<p>C1.5.5 — Integrate the design of the façade with the underside of the awning, verandah or colonnade.</p> <p>C1.5.6 — Awnings and verandahs must be designed to be removable.</p> <p>C1.5.7 — New awnings, verandahs or colonnades shall have regard to the height, depth and form of existing awnings and slope of the site.</p> <p>C1.35.816 Verandahs and colonnades are only permitted where they are constructed wholly within the lot boundaries of development site.</p> <p>Traditional materials found in development in the local area are to be integrated into the design and may include: Red brick; Limestone; and Timber.</p> <p>C1.6.4 — The following contemporary materials may be integrated into the design: Exposed aggregate concrete; Terrazzo Ceramics; and Detailed precast concrete panels.</p>
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Not Accepted

~~N1.6.1~~ — Unarticulated monotonous facades to the street.

~~N1.6.2~~ — Reflective or tinted glass.

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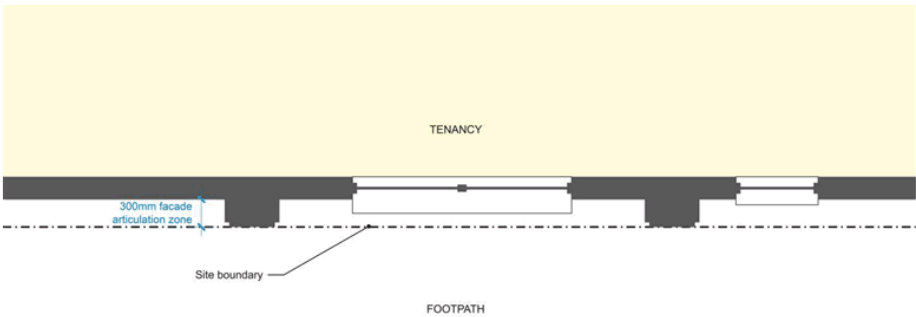
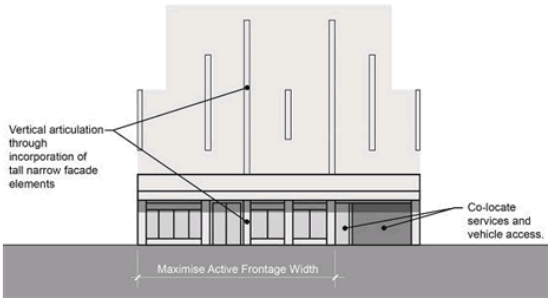


Figure C1.6.1 – Façade depth



Section 1 – Town Centres

C1.3.34-2 & C1.43.48(d) – Town Centre Facades

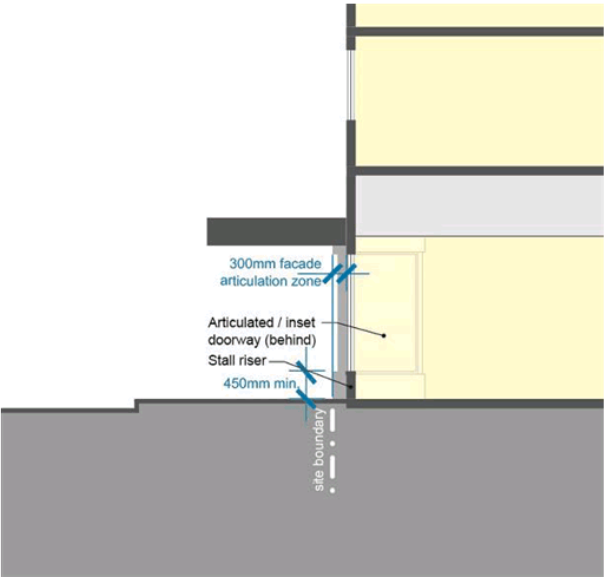


Figure C1.3.8, C1.3.9, C1.3.10 & C1.3.11 – Façade Design

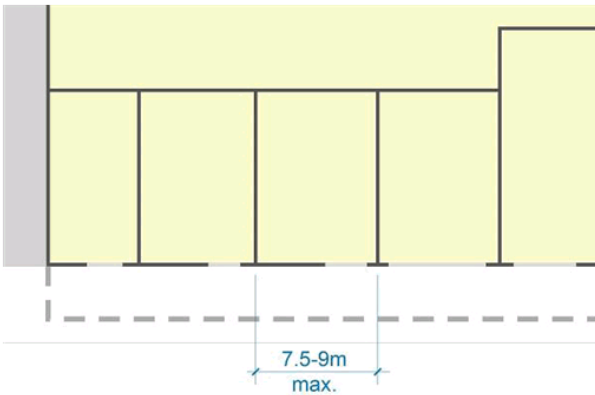


Figure C1.43.5.12 – Tenancy Size

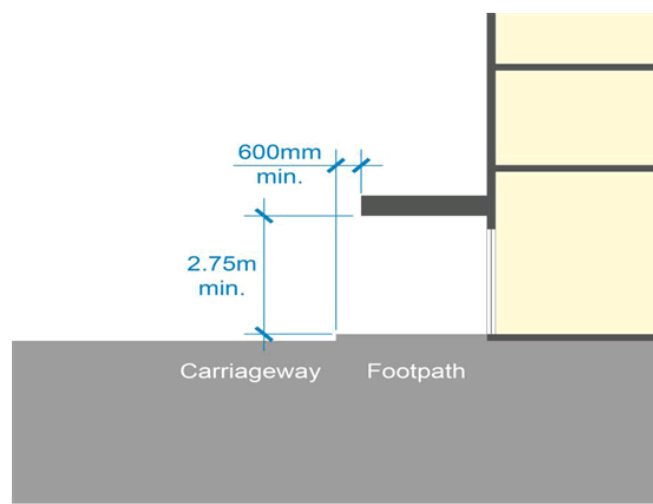


Figure C1.3.155 – Awnings

		Site Area	Minimum Area & Minimum Dimensions	Planting Area (minimum % of site)
		<650m ²	1m ² 1m x 1m	3%
		650m ² – 1,500m ²	1m ² 1m x 1m	3%
		>1,500m ²	1m ² 1m x 1m	3%
		<p>C1.4.43 At least 80%* of the lot boundaryrear-or-side setback area at ground level shall be area is to be provided as canopy coverage at maturity.</p> <p>C1.7.4 A Landscape Plan designed by a registered Landscape Architect is to be submitted to the City in conjunction with the Development Application.</p> <p>C1.7.5 A Landscape Maintenance Schedule setting out the program of activities required to maintain the health and amenity of plantings for the life of the development is to be prepared by the Landscape Architect responsible for the design and submitted to the City in conjunction with the Development Application.</p> <p>C1.4.546 Open air car parks, including access ways, shall are to have a minimum of 8060% canopy coverage at maturity.</p> <p>C1.4.67 All open-air parking areas shall are to be landscaped at a <u>minimum</u> rate of one tree per four car bays.</p> <p>C1.4.78 The perimeter of all open-air parking areas shall are to be landscaped by a planting strip <u>with a minimum dimension</u> of at least 1.5m width.</p>		

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	<p>C1.4.8 Existing trees shall be retained where they are:</p> <ul style="list-style-type: none">(a) Healthy specimens with ongoing viability; and(b) Species not included on an applicable weed register.
<p><u>4</u></p>	

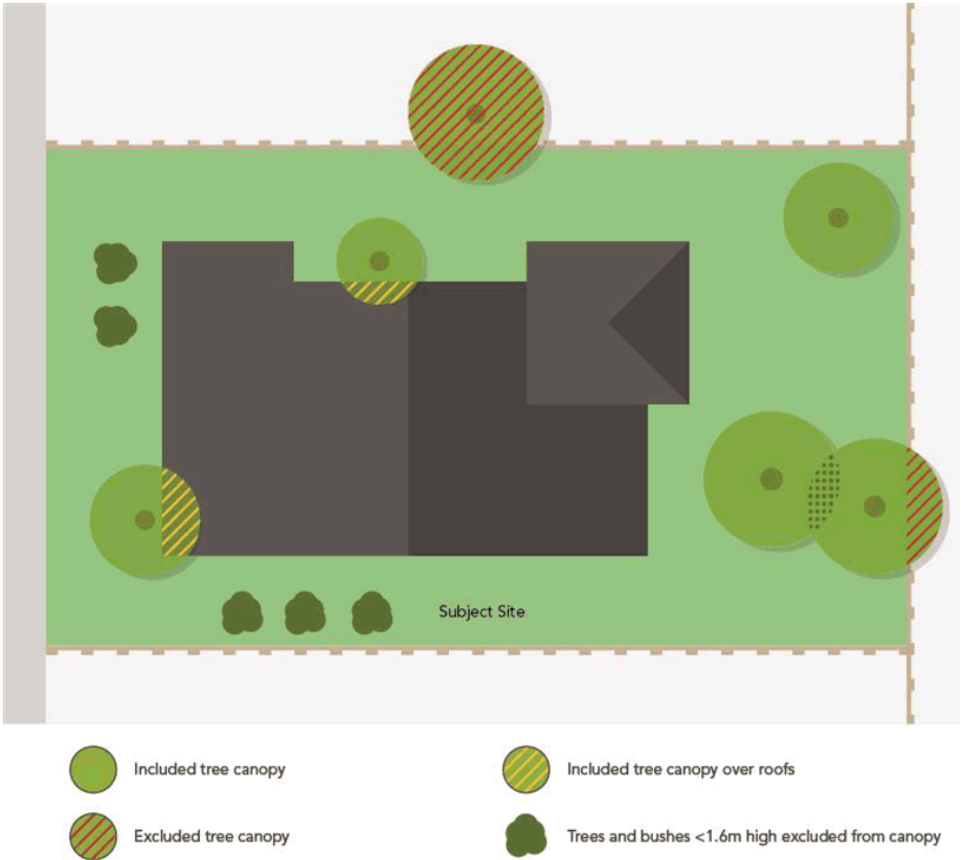


Figure C1.74.4

Section 1 – Town Centres

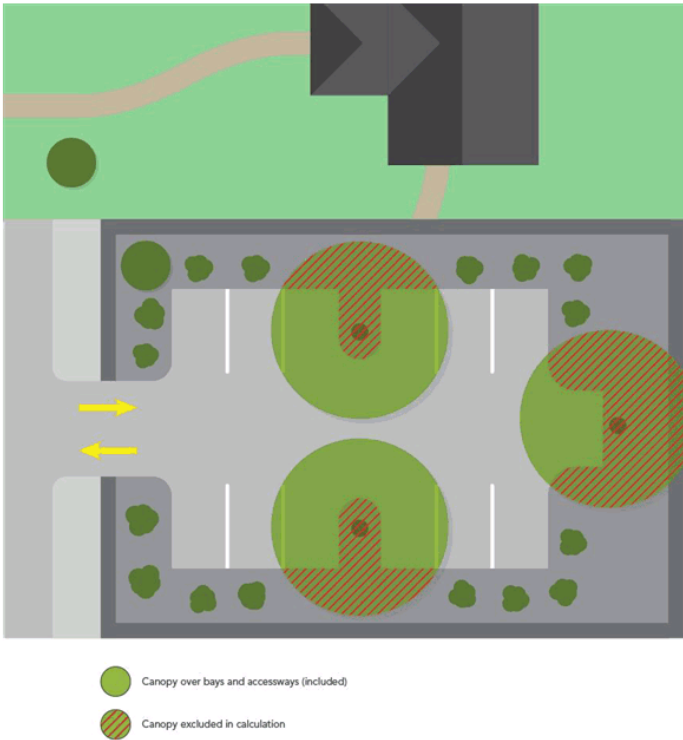


Figure C1.74.4

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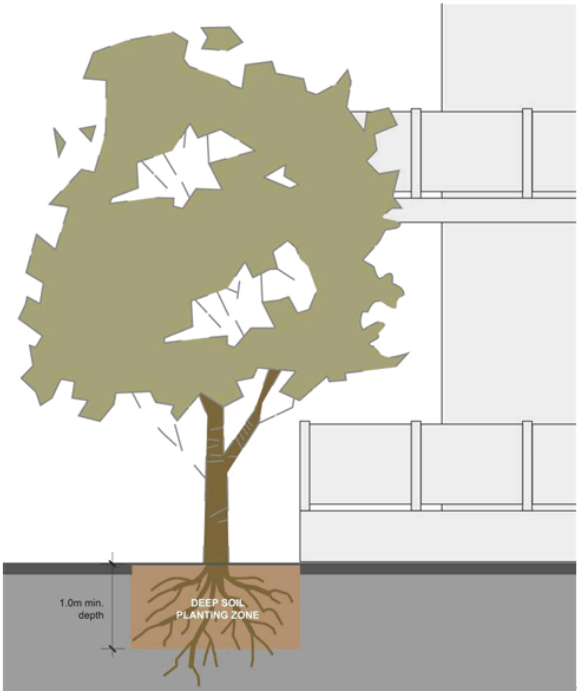


Figure 5 – Deep Soil Planting Zone

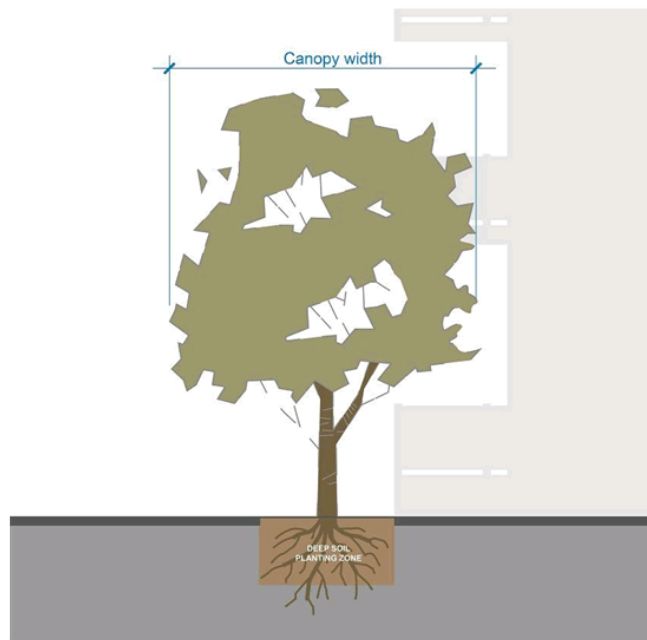


Figure C1.7.1 – Deep soil zones

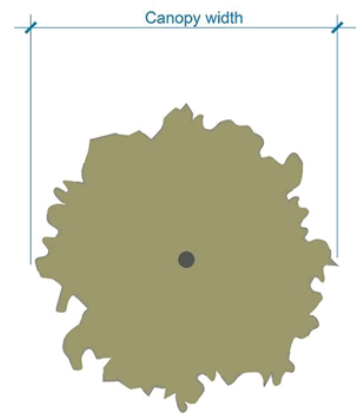


Figure 6 – Canopy Coverage

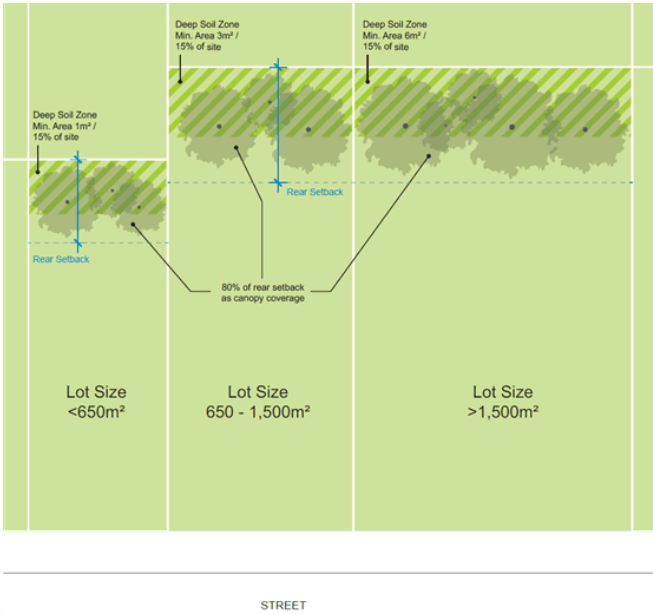


Figure 7 – Town Centre Landscaping

1.85 Environmentally Sustainable Design

Design Principles & Local Housing Objectives	Deemed to Comply
For all development that is not subject to the R Codes the following apply as Design Principles.	For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.
Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.3.2 and 6.3.2 of the R Codes.	The following provisions are subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.
Where the R Codes apply to a development the following provisions augment the R Codes and apply as local housing objectives pursuant to Clause 7.3.1(b) of the R Codes.	Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace amend the Deemed to Comply requirements in clause 5.3.29, 5.4.2, 5.4.4, 6.3.8, and 6.4.3.2 and 6.4.5 of the R Codes.
<p>P1.5.1 Development that considers the whole of life environmental impact of the building and incorporates measures to reduce this impact.</p> <p>P1.5.2 Development that maximises use of light coloured materials to reduce heat retention.</p>	<p>CP1.85.1 Development shall incorporate must demonstrate that:</p> <p>Site planning principles that maximise solar passive design opportunities for both summer and winter</p> <p>(a) a. P1.8.1 It maximises passive solar heating, cooling, natural ventilation and light penetration to reduce energy consumption;</p> <p>(b) Natural ventilation and daylight penetration to reduce energy consumption;</p> <p>(c) Daytime areas with north-facing glazing to allow passive solar heating during winter;</p> <p>(a)(d) Openable windows and/or ceiling fans to habitable rooms or occupied spaces that allow natural and cross ventilation;—</p> <p>(b)—</p> <p>(c)(e) b. P1.8.2 It is capable of recovery and re-use of rainwater, storm water, grey water and/or black water for non-potable water applications; and.</p> <p>(d)—</p> <p>(f) c. P1.8.3 Climate moderation devices can be incorporated to reduce passive solar gain in summer and increase passive solar gain in winter.</p>

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	<p>(e) d. Flat roof structures are white.</p> <p>(f) —</p> <p>(g) e.P1.8.4 That it is capable of achieving one of the environmental performance ratings shown in the below table, or their equivalent*.</p> <p>C1.5.2 12</p> <p>C1.5.32 Flat roof structures that are not visible from the street or adjacent properties shall be white.</p> <p>C1.5.343 Pitched roof structures or roof structures that are visible from the street or adjacent properties shall have a maximum solar absorptance rating of 0.6, unless an alternative is identified in the Urban Design Study be light coloured.</p> <p>C1.5.4546 are to Development shall achieve one of the environmental performance ratings shown in the below table, or their equivalent*.</p>
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Accepted Frameworks	Rating	Specifications / compliance requirements	Minimum requirement to be achieved
Green Building Council of Australia's Green Star rating system		current Design and As-Built rating tool	5 star Green Star rating
or			
Life Cycle Assessment Methodologies		ISO 14044 "Environmental management – Life cycle assessment – Requirements and	Residential component: - Global warming potential of the development over its lifetime to be reduced by 50% or more when compared to the average Australian code-compliant equivalent building built at the same time.

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	Guidelines” and EN15978 “Sustainability of construction works – Assessment of environmental performance of buildings – Calculation method.”	<div>- Water use of the development over its lifetime to be reduced by 25% or more when compared to the average Australian code-compliant equivalent building built at the same time.</div> <div>Commercial component:</div> <div>- Global warming potential of the development over its lifetime to be reduced by 30% or more when compared to the average Australian code-compliant equivalent building built at the same time.</div> <div>- Water use of the development over its lifetime to be reduced by 15% or more when compared to the average Australian code-compliant equivalent building built at the same time.</div>
Or equivalent*		

*The City accepts sustainability assessment frameworks and mechanisms that are nationally or internationally recognised, compliant with applicable Australian/international standards and subject to oversight by a certifying body.

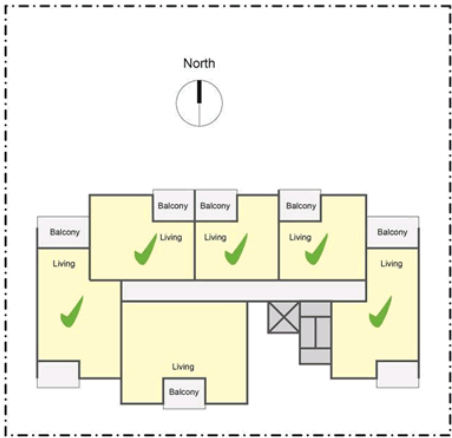


Figure C1.5.18-2 – Solar orientation

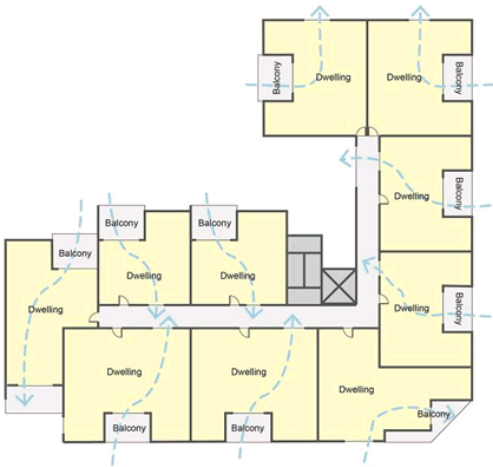


Figure C1.5.18-3 – Cross Ventilation

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1.96 Pedestrian Access

Design Principles & Local Housing Objectives	Deemed to Comply
<p><i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.2.3 and 6.2.1 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i></p>	
P1.96.1 Ground floor levels which allow dignified and equitable accessibility and unobstructed activity to flow between the development and the public realm.	C1.96.1 Pedestrian access which is identifiable from the street and visitor car parking areas and other public areas.
P1.69.2 Pedestrian entrances shall be clearly identified into buildings to provide a well-designed and functional public realm interface for all users.	C1.69.2 Access for pedestrians which directly fronts the primary street.
P1.69.3 Pedestrian entrances need to be welcoming and legible and clearly differentiated for all use types.	C1.69.3 Developments shall distinguish residential entries from retail and other commercial entries.
P1.69.4 Levels which create a direct visual connection between passers-by and the internal occupants or users.	C1.69.4 Internal ground floor level to be at grade.
P1.69.5 Provide new pedestrian links to improve permeability in local areas.	C1.69.5 Design of balustrades to be integrated into the design of the development.
P1.69.6 Public pedestrian links are preferred over private access links.	C1.69.6 Ramps are not to exceed 50% of the active frontage.
P1.69.7 Open air, unenclosed laneways and courtyard/squares are preferred.	

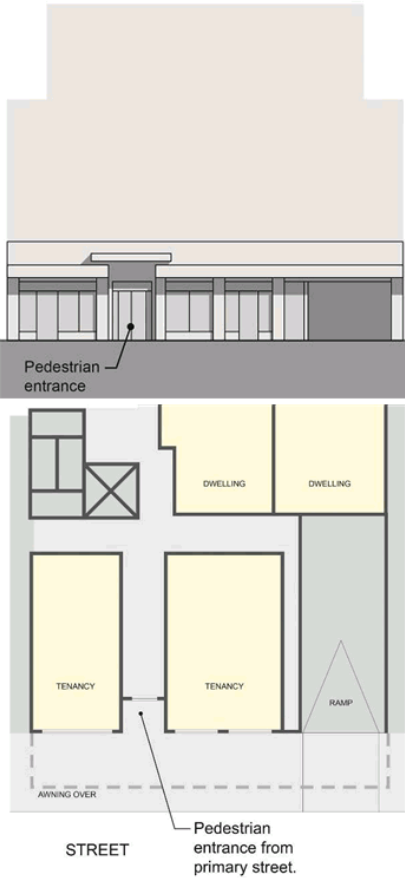


Figure C1.96 - Access

Section 1 – Town Centres

1.107 Vehicle Access & Parking

Design Principles & Local Housing Objectives	Deemed to Comply
<p>Where the R Codes apply to a development the following parking, vehicular access and parking design provisions augment clauses 5.3.3, 5.3.54, 5.3.45, 6.3.3, 6.3.4 and 6.3.5 and apply as local housing objectives pursuant to Clause 7.3.1(b) of the R Codes.</p> <p>For all development that is not subject to the R Codes the following apply as Design Principles.</p> <p>P1.107.1 Vehicle access to and from site is to be safe, manageable and convenient.</p> <p>P1.710.2 Pedestrian priority and safety is to be ensured by minimising the number, location and design of vehicle crossovers.</p> <p>P1.170.3 Minimise breaks in the street wall to maximise active frontages.</p> <p>P1.107.4 Service areas, loading bays and vehicle entrances should gain access from the Secondary Street or right of way where ever possible.</p> <p>P1.107.5 Minimise visual impact of car parking and supporting infrastructure from the primary or secondary streets.</p> <p>P1.107.6 Unobstructed sight lines provided at vehicle access points to ensure safety and visibility along vehicle access ways, streets, rights of way, communal streets, crossovers, and footpaths.</p> <p>P1.710.7 Suitable end of trip facilities should be included in the initial design of the building.</p>	<p>For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</p> <p><u>Vehicle Access</u></p> <p>C1.107.1 Access to on-site car parking spaces to be provided:</p> <ul style="list-style-type: none"> • where available, from a right of way available for lawful use to access the relevant lot and which is adequately paved and drained from the property boundary to a dedicated road; • from a secondary street where no right of way exists; or • from the primary street frontage where no secondary street or right-of way exists. <p>C1.107.2 Access to a right of way is required to be trafficable to the nearest dedicated road. The cost to upgrade a right of way to make it trafficable is to be borne by the applicant.</p> <p>C1.107.3 Where vehicular access is provided from a street, all vehicles are required to enter and exit the site in forward gear.</p> <p>C1.107.4 Roller shutters and screens are to be visually permeable.</p> <p>C1.107.5 Onsite parking for a development shall be located beneath or at the rear of buildings.</p> <p>C1.107.6 In a mixed-use development, car bays should be clearly signposted differentiating between the residential car bays and the commercial car bays.</p>

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<p>P1.107.8 Maximise the retention of existing mature vegetation through the location and design of vehicle access.</p>	<p>C1.107.7 Where on-site parking provided for customer/client use is not directly visible from the adjacent street, adequate signage is to be provided to promote public knowledge of and direction to the car park. This signage is to comply with the requirements of the City's Policy relating to Signs and Advertising.</p>
<p>P1.107.9 Car parking which is clearly differentiated for different use types and identifiable from the street.</p>	<p>C1.107.8 Existing trees must not be removed to provide for vehicle access.</p>
	<p><u>Crossovers</u></p>
	<p>C1.107.9 Each lot is to provide a maximum of <u>4one</u> crossover.</p>
	<p>C1.107.10 The maximum width of a single crossover is 3m. The maximum width of a double crossover is 5m.</p>
	<p>C1.107.11 The location of crossovers should maximize the ability to provide on-street car parking spaces.</p>
	<p>C1.107.12 Where a crossover meets a pedestrian path there must be clear communication of pedestrian priority.</p>
	<p>C1.107.13 Crossovers must be setback a minimum of 0.5m from the lot boundary.</p>

Not Accepted

~~N1.10.1 — Entirely opaque roller doors or screens.~~

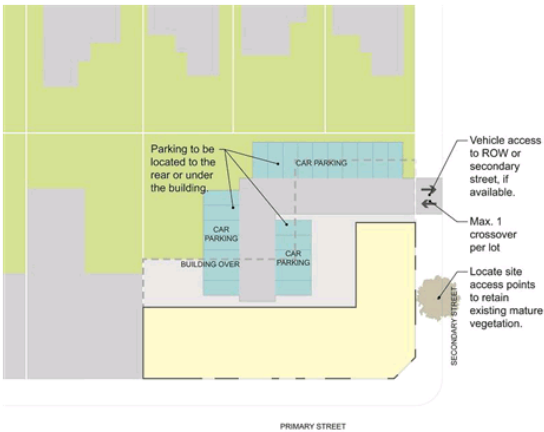


Figure C1.407 – Vehicle Access and Parking

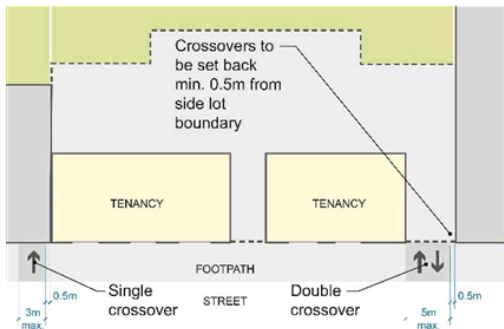


Figure C1.407.9 – C1.407.13 - Crossovers

1.148 Service Areas & External Fixtures

Design Principles & Local Housing Objectives	Deemed to Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.4.4, 5.4.5, 6.4.5 and 6.4.6 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.4.4 C4.3, 5.4.4 C4.4, 6.4.5 C5.3 and 6.4.5 C5.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
P1.148.1 Service areas and external fixtures shall be easily maintained, adequate and attractive and should be incorporated into the overall design of buildings and support renewable energy initiatives.	C1.148.1 Development must comply with Western Power Corporation Easements and Restriction Zones.
P1.148.2 Developments should provide adequate waste storage facilities for each dwelling and/or commercial premises and this should be considered at the early stage of the design process.	C1.148.2 External fixtures are required to be concealed from the street and surrounding properties, located on the roof, basement or at the rear of the development.
P1.148.3 New development should consider the undergrounding of power supply in order to improve the streetscape and provide space for increased landscaping, canopy coverage and development.	C1.148.3 External fixtures are permitted where they are: <ul style="list-style-type: none"> not visible from the street and surrounding properties; or integrated with the design of the building. C1.148.4 If external fixtures cannot be integrated into the design of the building to be concealed from the street and surrounding properties they will be required to be screened as follows: <ul style="list-style-type: none"> continuous vertical or horizontal opaque material more than 50mm in width, occupying a minimum of three quarters of the total surface area in aggregate; or a surface offering equal or more obstruction to view which does not compromise ventilation.
	<i>Where the R Codes apply to a development the following provisions augment clauses 5.4.5 C5.2 and 6.4.6 C6.2 and apply as local housing objectives pursuant to Clause 7.3.1(b) of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>

		C1.118.5 Where there is an increased waste requirement, an area for waste management must be provided in accordance with the City's Waste Requirement Guidelines.
		C1.118.6 For any development a waste management plan must be provided which is to include information relating to the ability to adapt the waste storage spaces for any future increases in waste management requirements.

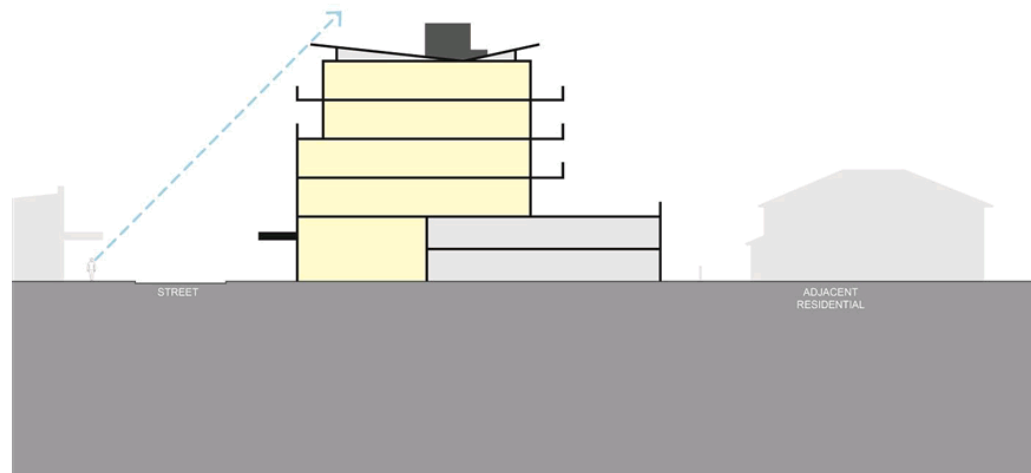


Figure C1.148 – External Fixtures

Section 2 – Activity Corridors

Part 2, Section 2 of this Policy applies to Activity Corridors as shown in Figure 1 – Built Form Areas.

Section 2 – Objectives

1. Improve the built form connection between the City's Town Centres – Design which provides connection between the City's Town Centres.
2. Improve all street level ground floor spaces - The relationship of building design and uses to the adjacent public domain is vital to ensure attractive, interesting, pedestrian friendly outcomes;
3. Ensure that buildings contribute to public spaces through design and maximise street level interest, articulation, materiality, openness, and interaction between inside and outside.
4. Design which encourages active participation by the public - The built form should have a positive influence on improving public health by improving walkability and interest for pedestrians.
5. Establish better connected, weather protected spaces - Protect pedestrians under awnings and increase activation along both north-south and east-west directions.
6. Reinforce and continue traditional design and character of established streetscapes - Materials, scale, awnings and appropriately designed outdoor alfresco areas.
7. Encourage active built form - Design buildings for a human scale, minimising blank walls and the detrimental impacts of services, utilities and car parking structures. Encourage direct street level pedestrian access wherever possible.
8. Design for change – New development should be flexible to respond to future changes in use, lifestyle and demography.
9. Provide natural amenity and landscaping – New development should provide areas of deep soil which support healthy plant and tree growth and contribute to the City's tree canopy, reducing urban heat islands, and providing natural beauty and amenity to residents and visitors.
10. Development which is sustainable – Design buildings with suitable building orientation to maximise passive heating and cooling and minimise energy use and emissions.
11. Ensure buildings are designed with privacy in mind at the early stages, avoiding the need to retrofit excessive screening.

Section 2 – Activity Corridors

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2.1 Building Height

Design Principles & Local Housing Objectives	Deemed to Comply
<p><i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i></p>	<p><i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in Sections 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i></p>
<p>P2.1.1 Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.</p>	<p>C2.1.1 Development that is consistent with the building heights provided in Table 2 and Figure 2.</p>
<p>P2.1.2 Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.</p>	<p>C2.1.2 External fixtures may extend beyond the maximum height in Table 2 and Figure 2 where they are not visible from the street or neighbouring properties.</p>
<p>P2.1.3 Development that considers and responds to the natural features of the site and requires minimal excavation/fill.</p>	<p>C2.1.3 The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this policy.</p>
<p>P2.1.4 Design which minimises overlooking and overshadowing where it impacts residential development.</p>	
<p>P2.1.5 The City may approve development which exceeds the maximum height stated in Table 2 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P2.1.1 – P2.1.4.</p>	

TABLE 2: Building Height – Activity Corridors

Activity Corridors	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Oxford Street	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Scarborough Beach Road	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Fitzgerald Street (Newcastle St to Vincent St)	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Fitzgerald Street (Vincent St to Raglan Road)	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Newcastle Street	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Beaufort Street (Newcastle St to Lincoln St)	5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
Beaufort Street (Lincoln St to Walcott St)	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m

2.2 Activity Corridor Development Requirements

2.2.1 All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1.

Section 3 – Mixed Use

Part 2 Section 3 of this Policy applies to Mixed Use Areas as shown in Figure 1 – Built Form Areas.

Section 3 – Objectives

1. Provide for a variety of Built Form - built form which facilitates positive interaction between a mix of land uses and residential densities.
2. Improve all street level ground floor spaces - The relationship of building design and uses to the adjacent public domain is vital to ensure attractive, interesting, pedestrian friendly outcomes;
3. Ensure that buildings contribute to public spaces through design and maximise street level interest, articulation, materiality, openness, and interaction between inside and outside.
4. Design which encourages active participation by the public - The built form should have a positive influence on improving public health by improving walkability and interest for pedestrians.
5. Establish better connected, weather protected spaces - Protect pedestrians under awnings and increase activation along both north-south and east-west directions.
6. Reinforce and continue traditional design and character of established streetscapes - Materials, scale, awnings and appropriately designed outdoor alfresco areas.
7. Encourage active built form - Design buildings for a human scale, minimising blank walls and the detrimental impacts of services, utilities and car parking structures. Encourage direct street level pedestrian access wherever possible.
8. Design for change – New development should be flexible to respond to future changes in use, lifestyle and demography.
9. Provide natural amenity and landscaping – New development should provide areas of deep soil which support healthy plant and tree growth and contribute to the City's tree canopy, reducing urban heat islands, and providing natural beauty and amenity to residents and visitors.
10. Development which is sustainable – Design buildings with suitable building orientation to maximise passive heating and cooling and minimise energy use and emissions.
11. Ensure buildings are designed with privacy in mind at the early stages, avoiding the need to retrofit excessive screening.

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Section 3 – Mixed Use

3.1 Building Height

Design Principles & Local Housing Objectives	Deemed to Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in Sections 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in Sections 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
P3.1.1 Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.	C3.1.1 Development that is consistent with the building heights provided in Table 3 and Figure 2.
P3.1.2 Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.	C3.1.2 External fixtures may extend beyond the maximum height in Table 3 and Figure 2 where they are not visible from the street or neighbouring properties.
P3.1.3 Development that considers and responds to the natural features of the site and requires minimal excavation/fill.	C3.1.3 The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this policy.
P3.1.4 Design which minimises overlooking and overshadowing where it impacts residential development.	
P3.1.5 The City may approve development which exceeds the maximum height stated in table 3 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P3.1.1 – P3.1.4.	

TABLE 3: Building Height – Mixed Use Areas

Mixed Use Area	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Area bounded by Newcastle St, Loftus St, Mitchell Freeway and Charles St	7 storeys	22.6m	23.6m	22.6m	23.6m	25.6m
Area bounded by Carr St, Charles St, Newcastle St and Fitzgerald St	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Between Fitzgerald St and William St	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Brisbane St						
Bulwer St						
Charles St						
Green St						
Walcott St						
William St						
Between William St and Lord St						

Section 3 – Mixed Use

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North Perth						
Area bounded by Summers St, Lord St, Graham Farmer Freeway and East Parade (Except where defined below)	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Edward St South	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m
Edward St North	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Caversham South	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m
Caversham North	10 storeys	31.9m	32.9m	31.9m	32.9m	34.9m
Cheriton South	10 storeys	31.9m	32.9m	31.9m	32.9m	34.9m
Cheriton North	12 storeys	38.1m	39.1m	38.1m	39.1m	41.1m

3.2 Mixed Use Development Requirements

| [3.2.1](#) All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1.

Section 4 – Transit Corridors

Part 2 Section 4 of this Policy applies to Transit Corridors as shown in Figure 1 – Built Form Areas.

Section 4 – Objectives

1. Provide for medium to high density residential development - built form which facilitates for the quality design of medium to high density development.
2. Improve all street level ground floor spaces - The relationship of building design and uses to the adjacent public domain is vital to ensure attractive, interesting, pedestrian friendly outcomes;
3. Design which encourages active participation by the public - The built form should have a positive influence on improving public health by improving walkability and interest for pedestrians.
4. Reinforce and continue traditional design and character of established streetscapes - Materials and scale which fits within its context.
5. Encourage active built form - Design buildings for a human scale, minimising blank walls and the detrimental impacts of services, utilities and car parking structures. Encourage direct street level pedestrian access wherever possible.
6. Design for change – New development should be flexible to respond to future changes in use, lifestyle and demography.
7. Provide natural amenity and landscaping – New development should provide areas of deep soil which support healthy plant and tree growth and contribute to the City's tree canopy, reducing urban heat islands, and providing natural beauty and amenity to residents and visitors.
8. Development which is sustainable – Design buildings with suitable building orientation to maximise passive heating and cooling and minimise energy use and emissions.
9. Ensure buildings are designed with privacy in mind at the early stages, avoiding the need to retrofit excessive screening.

4.1 Building Size

- 4.1.1** Where Part 5 of the R Codes applies, and for all other development, no provisions apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.1.1 of the R Codes apply.

4.2 Building Height

Design Principles & Local Housing Objectives	Deemed to Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
P4.2.1 Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.	C4.2.1 Development that is consistent with the building heights provided in Table 4 and Figure 2.
P4.2.2 Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.	C4.2.2 External fixtures may extend beyond the maximum height in Table 4 and Figure 2 where they are not visible from the street or neighbouring properties.
P4.2.3 Development that considers and responds to the natural features of the site and requires minimal excavation/fill.	C4.2.3 The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this policy.
P4.2.4 Design which minimises overlooking and overshadowing where it impacts residential development.	
P4.2.5 The City may approve development which exceeds the maximum height stated in table 4 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P4.2.1 – P4.2.4.	

TABLE 4: Building Height – Transit Corridors

Transit Corridors	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Loftus Street	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Charles Street: Between Newcastle St and Carr St						
West side and lots fronting Newcastle	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
East side	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Charles Street (Carr Street to Walcott St)	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R80 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Fitzgerald Street (Angove St to Walcott St)	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Walcott Street	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Lord Street	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
East Parade	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m

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Transit Corridors	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
William Street (Vincent St to Walcott St)	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m

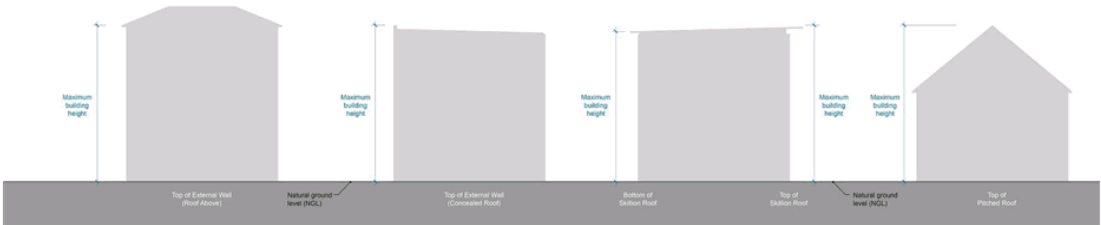


Figure C4.2.1 – Building Height and Measurement

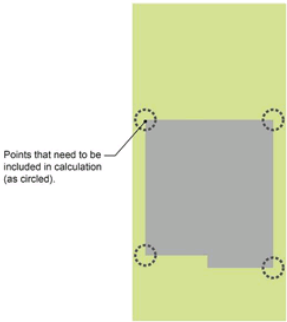


Figure 3—Average Natural Ground Level Calculation

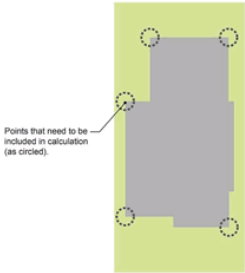


Figure 4—Average Natural Ground Level Calculation

Section 4 – Transit Corridors

4.3 Setbacks

Design Principles & Local Housing Objectives	Deemed to Comply
<p><i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.2, 5.1.3, 6.1.3 and 6.1.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i></p> <p>P4.3.1 Development which incorporates design elements that reduce the impact of building bulk.</p> <p>P4.3.2 Development which maximises natural light access, natural ventilation, internal and external privacy.</p> <p>P4.3.3 Setbacks that facilitate the provision of landscaping.</p> <p>P4.3.4 Development which activates and addresses rights of way.</p>	<p><i>For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i></p> <p>C4.3.1 Where Part 5 of the R Codes applies the primary and secondary street setback is as per Clause C5.2.1.2. Where Part 6 of the R Codes applies, and for all other development, the primary and secondary street setback is as per Clause 6.1.3 in the R Codes.</p> <p><i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions are considered local planning policy provisions for the purpose of clause 6.2.4 C4. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i></p> <p>C4.3.2 Primary and secondary street setback for the third storey and above must incorporate articulation and the use of varying colours and materials which minimise the bulk and scale of the building on the streetscape.</p> <p><i>For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i></p> <p><i>The following setback provisions are subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.</i></p> <p><i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.1.3 C3.1, and 6.1.4 C4.1 and 6.1.4 C4.2 of the R Codes.</i></p> <p>C4.3.3 Lot boundary setbacks are to be in accordance with the following tables:</p> <div style="border: 1px solid black; padding: 5px; text-align: center;"> Subject Property </div>

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		D	R Codes Table 5	R codes Table 5
			C4.3.4	Balconies are to be setback a minimum of 7.5 metres.
			C4.3.5	Clause 5.1.3 C3.2 and 6.1.4 C4.3 of the R Codes apply to the development of walls up to two side boundaries.
			C4.3.76	Where development adjoins a right of way the setback shall be measured from the midpoint of the right of way.
			C4.3.87	Development must address adjoining rights of way by providing passive surveillance and openings to the right of way.

Not Accepted

~~N4.3.1 Non-compliance with lot boundary setback provisions where the site adjoins land coded R40 and below.~~

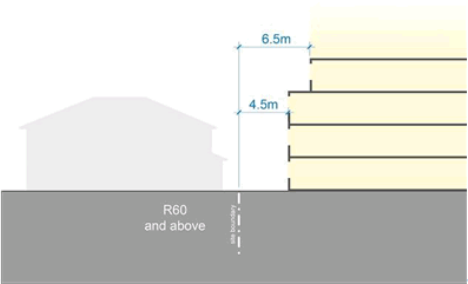


Figure C1.2.5—Lot boundary setbacks adjoining properties coded R60 and above.

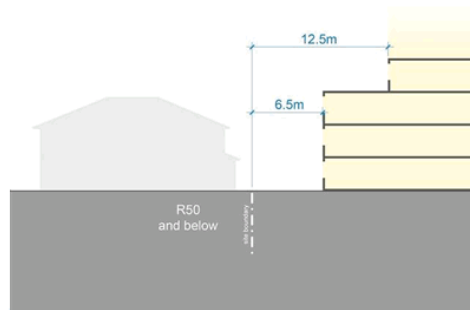


Figure C1.2.6—Lot boundary setbacks adjoining properties coded R50 and below

4.4 Open Space

- 4.4.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.1.4 and 5.1.5 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.1.5 of the R Codes apply.

4.5 Street Surveillance

- 4.5.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.2.3 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.2.1 of the R Codes apply.

4.6 Street Walls and Fences

Design Principles & Local Housing Objectives	Deemed-to-Comply
<p><i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.2.4 and 6.2.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i></p>	<p><i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.2.4 and 6.2.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i></p>
<p>P4.6.1 Front fences and walls which enable surveillance and enhance streetscape.</p>	<p>C4.6.1 Street walls, fences and gates are to be of a style and materials compatible with those of the development on site and/or walls, fences and gates of the immediate surrounding area excluding fibre cement.</p>
<p>P4.6.2 Development which adds interest to the street and minimises blank facades.</p>	<p>C4.6.2 Street walls, fences and gates within the primary street setback area, including along the side boundaries, and front walls and fences to new dwellings fronting a right of way or dedicated road to be as follows:</p> <ul style="list-style-type: none"> (a) Maximum height of 1.8 metres above the natural ground level; (b) Maximum height of piers with decorative capping to be 2 metres above the natural ground level; (c) Maximum height of solid portion of wall to be 1.2 metres above adjacent footpath level and are to be visually permeable above 1.2 metres; (d) Posts and piers are to have a maximum width 400 millimetres and a maximum diameter of 500 millimetres; and (e) The distance between piers should not be less than the height of the piers except where pedestrian gates are proposed. <p>C4.6.3 Street walls, fences and gates to secondary streets, behind the primary street setback line, or walls, fences and gates to the primary streets where those streets are district distributor roads to be as follows:</p>

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	<p>(a) Solid portion of wall may increase to a maximum height of 1.8 metres above adjacent footpath level provided that the wall or fence has at least two significant appropriate design features (to the satisfaction of the City of Vincent) to reduce the visual impact – for example, significant open structures, recesses and/or planters facing the road at regular intervals and varying materials, finishes and/or colours; and</p> <p>(b) Maximum height of piers with decorative capping to be 2 metres above adjacent footpath level.</p> <p>C4.6.4 Exposed boundary walls visible to the street are to incorporate the following design features:</p> <ul style="list-style-type: none"> • Indentations; • Varying heights; • Varying materials, colours and textures; or • Public artwork. <p>C4.6.5 Any proposed vehicular or pedestrian entry gates shall be visually permeable.</p> <p>C4.6.6 Walls and fences on the side boundaries, only within the primary street setback area, constructed from metal sheeting are permitted provided they meet all other requirements relating to height, provide adequate sight lines and are not a side boundary fence facing a secondary street.</p>
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| **Not-Accepted**

| ~~N4.6.1—Street walls, fences and gates constructed from fibre cement are not acceptable.~~

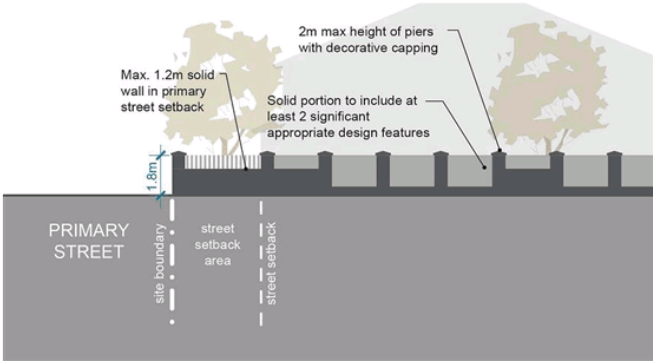


Figure C4.6 – Street walls and fences

4.7 Sight Lines

- 4.7.1** Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.2.5 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.2.3 of the R Codes apply.

4.8 Building Appearance

- 4.8.1** [Part 2, Section 1, Clause 1.63 applies to all development. Where Part 5 of the R Codes applies no provisions apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.2.4 of the R Codes apply.](#)

4.9 Outdoor Living Areas

- 4.9.1** Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.1 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.1 of the R Codes apply.

4.10 Landscaping

Design Principles & Local Housing Objectives	Deemed-To-Comply												
<p>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.3.2 and 6.3.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</p>	<p>For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</p> <p>The following landscaping provisions are subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.</p> <p>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.3.2 and 6.3.2 of the R Codes.</p>												
<p>P4.10.1 Landscaping is to be designed to reduce the impact of development on adjoining residential zones and public spaces.</p>													
<p>P4.10.2 Landscaping should provide increased urban air quality, tree and vegetation coverage and a sense of open space between buildings.</p>													
<p>P4.10.3 The integration of sustainable landscape design with the building creating a greater landscaping amenity for residents and occupants and the community.</p>													
<p>P4.10.4 The provision of landscaping that will make an effective and demonstrated contribution to the City's green canopy to reduce the impact of the urban heat island effect.</p>													
<p>P4.10.5 <u>Development that offsets the impact of removing existing trees. Landscaping design which facilitates the retention of existing vegetation and deep soil zone</u></p>	<p>C4.10.1 <u>Deep Soil zone Areas are to be provided as follows shall be provided in accordance with the following requirements:</u></p> <table><tr><th>Site Area</th><th>Minimum Area & Minimum Dimensions</th><th>Deep Soil Zone Areas (minimum % of site)</th></tr><tr><td><650m²</td><td>1m² 1m x 1m²</td><td>15% 12%</td></tr><tr><td>650m² – 1,500m²</td><td>1m² 1m x 13m²</td><td>15% 12%</td></tr><tr><td>>1,500m²</td><td>1m² 1m x 16m²</td><td>15% 12%</td></tr></table>	Site Area	Minimum Area & Minimum Dimensions	Deep Soil Zone Areas (minimum % of site)	<650m ²	1m ² 1m x 1m ²	15% 12%	650m ² – 1,500m ²	1m ² 1m x 13m ²	15% 12%	>1,500m ²	1m ² 1m x 16m ²	15% 12%
Site Area	Minimum Area & Minimum Dimensions	Deep Soil Zone Areas (minimum % of site)											
<650m ²	1m ² 1m x 1m ²	15% 12%											
650m ² – 1,500m ²	1m ² 1m x 13m ²	15% 12%											
>1,500m ²	1m ² 1m x 16m ²	15% 12%											
<p>P4.10.6 Landscaping at the rear of the property should not negatively impact on the use and activation of a right of way.</p>	<p><u>NOTE: the minimum dimension for the area of deep soil zone area is to be 1m</u></p> <p>C4.10.2 50% of the front setback <u>to shall</u> be provided as soft landscaping.</p>												

P4.10.7 Open air car parks should be appropriately landscaped to provide adequate shading and reduce the impact on adjoining properties.

C4.10.3 Planting Areas shall be provided in accordance with the following requirements:

<u>Site Area</u>	<u>Minimum Area & Minimum Dimensions</u>	<u>Planting Area (minimum % of site)</u>
<u><650m²</u>	<u>1m² 1m x 1m</u>	<u>3%</u>
<u>650m² – 1,500m²</u>	<u>1m² 1m x 1m</u>	<u>3%</u>
<u>>1,500m²</u>	<u>1m² 1m x 1m</u>	<u>3%</u>

C4.10.43 The required ~~dDeep sSoil Area~~zone may be reduced to ~~10~~¹²% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.

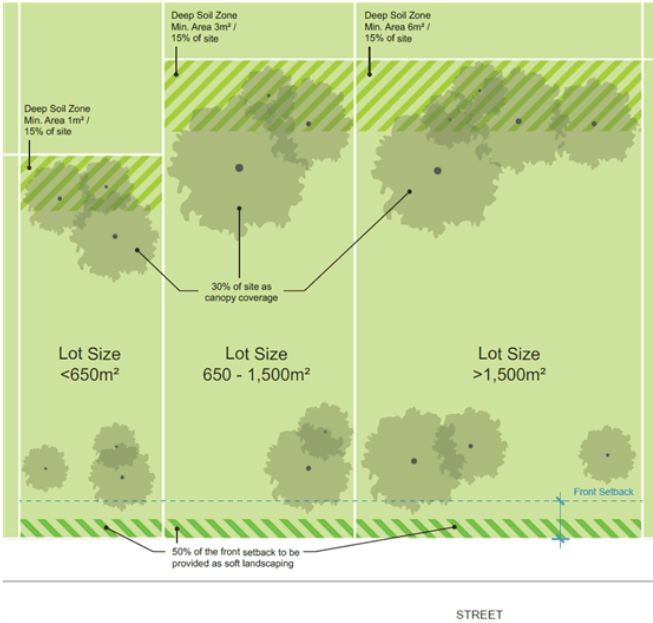
C4.10.45 At least 30%* of the site area is ~~to be~~ provided as canopy coverage ~~within~~ at maturity.

C4.10.5 ~~A Landscape Plan designed by a registered Landscape Architect is to be submitted to the City in conjunction with the Development Application.~~

C4.10.6 ~~A Landscape Maintenance Schedule setting out the program of activities required to maintain the health and amenity of plantings for the life of the development is to be prepared by the Landscape Architect responsible for the design and submitted to the City in conjunction with the Development Application.~~

C4.10.76 Open air car parks, including accessways, ~~are to~~shall have a minimum of ~~80~~⁶⁰% canopy coverage at maturity.

	<p>C4.10.877 All open-air parking areas are toshall be landscaped at a <u>minimum</u> rate of one tree per four car bays.</p> <p>C4.10.988 The perimeter of all open-air parking areas are toshall be landscaped by a planting strip of at leastwith <u>a minimum dimension of 1.5m width</u>.</p> <p>C4.10.99 Existing trees shall be retained where they are: <u>(a) Healthy specimens with ongoing viability; and</u> <u>(b) Species not included on an applicable weed register.</u></p>
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Section 4 – Transit Corridors

Figure 8 – Transit Corridor Landscaping

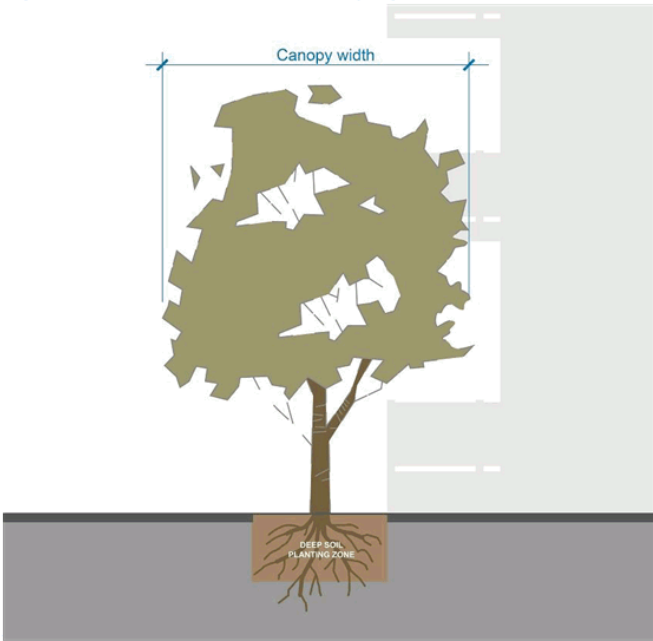
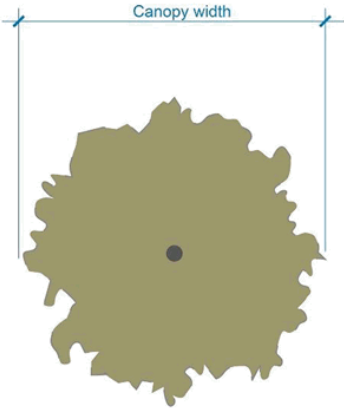


Figure C4.10.1 & C4.10.4 – Deep Soil & Canopy Width

Figure 6 – Canopy Coverage



4.11 Parking

4.11.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.3 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.3 of the R Codes apply.

4.12 Design of Car Parking Spaces

4.12.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.4 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.4 of the R Codes apply.

4.13 Vehicular Access

4.13.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.5 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.5 of the R Codes apply.

4.14 Site Works

4.14.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.7 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.6 of the R Codes apply.

4.15 Retaining Walls

4.15.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.8 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.7 of the R Codes apply.

Section 4 – Transit Corridors

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4.16 Stormwater Management

4.16.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.9 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.8 of the R Codes apply.

4.17 Visual Privacy

4.17.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.4.1 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.4.1 of the R Codes apply.

4.18 Solar Access for adjoining sites

4.18.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.4.2 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.4.2 of the R Codes apply.

4.19 Dwelling Size

4.19.1 Where Part 5 of the R Codes applies no provisions apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.4.3 of the R Codes apply.

4.20 Outbuildings

4.20.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.4.3 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.4.4 of the R Codes apply.

4.21 External Fixtures, [Utilities and Facilities](#)

Design Principles	Deemed-to-Comply
<p>P4.21.1 Where Part 5 of the R Codes applies all Design Principles of clause 5.4.4 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles of clause 6.4.5 of the R Codes apply.</p>	<p><i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.4.4 C4.3, 5.4.4 C4.4, 6.4.5 C5.3 and 6.4.5 C5.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i></p> <p>C4.21.1 External fixtures are permitted where they are:</p> <ul style="list-style-type: none"> not visible from the street and surrounding properties; or integrated with the design of the building. <p>C4.21.2 If external fixtures cannot be integrated into the design of the building to be concealed from the street and surrounding properties they will be required to be screened as follows:</p> <ul style="list-style-type: none"> continuous vertical or horizontal opaque material more than 50mm in width, occupying a minimum of three quarters of the total surface area in aggregate; or a surface offering equal or more obstruction to view which does not compromise ventilation. <p>C4.21.3 For single houses and grouped dwellings, air conditioning fixtures are to be placed at the rear of the ground floor. The highest point of the air conditioning fixture is to be a maximum 1.8 metres above natural ground level or below the existing fence line.</p>

[Not-Accepted](#)

N4.21.1 External fixtures are not permitted to protrude above the roofline.

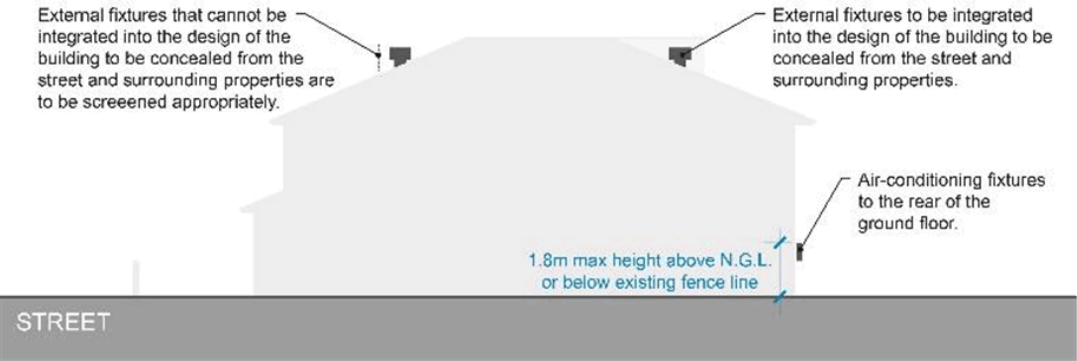


Figure C4.21 – External Fixtures

4.22 Utilities and Facilities

~~4.22.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.4.5 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.4.6 of the R Codes apply.~~

4.23 Environmentally Sustainable Design

~~4.23.1~~ ~~The Design Principles and Local Housing Objectives of Clause 1.85 of this Policy applies~~ to development in the Transit Corridor Built Form Area. All Design Principles and Local Housing Objectives of clause 1.8 of Part 2 Section 1 of this Policy apply to all development with the exception of the erection or extension of single houses or grouped dwellings.

Section 5 - Residential

Part 2 Section 5 of this Policy applies to Residential Areas as shown in Figure 1 – Built Form Areas.

Section 5 - Objectives

1. Residential development - built form which facilitates the high quality design of low, medium and high density development.
2. Design that encourages interaction with the street and public spaces - The built form should have a positive influence on improving public health by improving walkability and interest for pedestrians.
3. Reinforce and maintains character of established streetscapes – Architecture and materials which fits within its context.
4. Encourage active built form - Design buildings for a human scale, minimising blank walls and the detrimental impacts of services, utilities and car parking structures. Encourage direct street level pedestrian access wherever possible.
5. Provide natural amenity and landscaping – New development should provide areas of deep soil which support healthy plant and tree growth and contribute to the City's tree canopy, reducing urban heat islands, and providing natural beauty and amenity to residents and visitors.
6. Development which is sustainable – Design buildings with suitable building orientation to maximise passive heating and cooling and minimise energy use and emissions.
7. Ensure buildings are designed with privacy in mind at the early stages, avoiding the need to retrofit excessive screening.

|

5.1 Site Area

- 5.1.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.1.1 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.

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5.2 Street Setback

Design Principles & Local Housing Objectives	Deemed-to-Comply
<p><i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.2 and 6.1.3 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i></p>	<p><i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.1.2 C2.1 i, 5.1.2 C2.1 ii and 6.1.3 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i></p>
<p>P5.2.1 Development which preserves and enhances the visual character of the existing streetscape by considering building setbacks.</p>	<p><u>Street setback</u></p> <p>C5.2.1 The primary street setback is to be the average of the five <u>properties dwellings</u> adjoining <u>either side lot boundary of</u> the proposed development.</p> <p><u>Dual frontage</u></p> <p>C5.2.2 The above setback distances also apply to development which has an elevation to a road which does not intersect or adjoin the primary or secondary streets.</p>

5.3 Lot Boundary Setback

Design Principles & Local Housing Objectives	Deemed-to-Comply
<p>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.2, 5.1.3, 6.1.3 and 6.1.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</p> <p>P5.3.1 Development which preserves and enhances the visual character of the existing streetscape by considering building setbacks.</p>	<p>For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</p> <p>The following setback provisions are subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.</p> <p>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replaces the Deemed to Comply requirements in clause 5.1.3 C3.2 and 6.1.4 C4.1 and 6.1.4 C4.3 of the R Codes.</p> <p>C5.3.1 For all development subject to Part 5 of the R Codes Clause 5.1.3 C3.2 of the R Codes applies to walls and is acceptable up to two side boundaries. For all development subject to Part 6 of the R Codes Clause 6.1.4 C4.3 applies to walls and is acceptable up to two side boundaries. Walls may be built up to two lot boundaries, where it does not affect two boundaries of the same lot, behind the street setback within the following limits and subject to the overshadowing provisions of Clause 5.23.</p> <ul style="list-style-type: none"> i. where the wall abuts an existing or simultaneously constructed wall of similar or greater dimension; ii. in areas coded R20 and R25, walls not higher than 3.5m with an average of 3m or less, up to a maximum length of the greater of 9m or one-third the length of the balance of the lot boundary behind the front setback; iii. in areas coded R30 and higher, walls not higher than 3.5m with an average of 3m or less, for two-thirds the

length of the balance of the lot boundary behind the front setback; or

iv. ~~where both the subject site and the affected adjoining site are created in a plan of subdivision submitted concurrently with the development application.~~

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.1.3 C3.1, 5.1.3 C3.2, 6.1.4 C4.1 and 6.1.4 C4.2 of the R Codes.

C5.3.2 Lot boundary setbacks are to be in accordance with the following tables:

		<u>Subject Property</u>									
		<u>R20</u>	<u>R30</u>	<u>R40</u>	<u>R50</u>	<u>R60</u>	<u>R80</u>	<u>R100+</u>	<u>R-AC3</u>	<u>No R-Code</u>	
<u>Neighbouring Property</u>	<u>Residential Built Form Area</u>	<u>R20</u>	<u>A</u>	<u>B</u>	<u>B</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>
		<u>R30</u>	<u>A</u>	<u>A</u>	<u>B</u>	<u>B</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>
		<u>R40</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>B</u>	<u>B</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>
		<u>R50</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>B</u>	<u>B</u>	<u>C</u>	<u>C</u>	<u>C</u>
		<u>R60</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>B</u>	<u>B</u>	<u>B</u>	<u>B</u>
		<u>R80</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>D</u>	<u>D</u>	<u>D</u>	<u>D</u>
		<u>R100+</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>D</u>	<u>D</u>	<u>D</u>	<u>D</u>
		<u>No R-Code</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>D</u>	<u>D</u>	<u>D</u>	<u>D</u>

	Non-Residential Built Form Area	A	A	A	A	D	D	D	D	D
		Setback for ground floor, second storey and third storey				Setback for the fourth storey and above				
	A	R Codes table 2a and 2b;				R Codes table 2a and 2b;				
	B	4.5m				6.5m				
	C	6.5m				12.5				
	D	R Codes Table 5				R codes Table 5				

C5.3.3 Balconies are to be setback a minimum of 7.5 metres.

C5.3.2 Rear boundary setbacks for development adjoining R60 and above are:

- Ground floor, second and third storey is 4.5m; and
- fourth storey and above 6.5m;

unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

C5.3.3 Rear boundary setbacks for development adjoining R50 and below are:

- Ground floor, second and third storey is 6.5m; and
- fourth storey and above 12.5m;

unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

	C5.3.44 Where development adjoins a right of way the setback shall be measured from the midpoint of the right of way.
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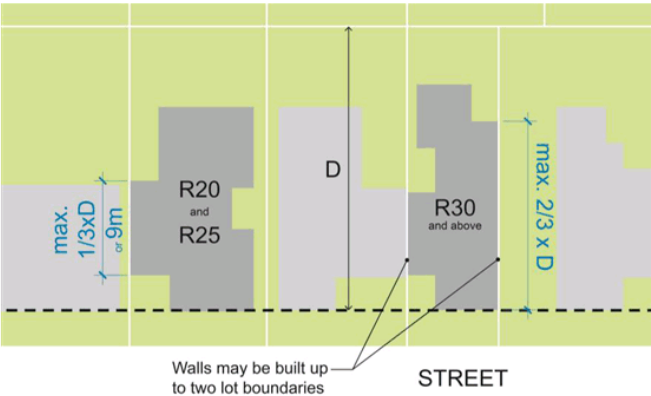


Figure 5.3 – Residential lot boundary setbacks

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5.4 Open Space

- 5.4.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.1.4 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of Clause 6.1.5 of the R Codes apply.

5.5 Communal Open Space

- 5.5.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.1.5 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.

5.6 Building Height

Design Principles & Local Housing Objectives	Deemed-to-Comply
<p><i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i></p>	<p><i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i></p>
<p>P5.6.1 Buildings which respond and contribute to neighbourhood context and streetscape character, and do not overwhelm or dominate existing development.</p>	<p>C5.6.1 Development that is consistent with the building heights provided in Table 5 and Figure 2.</p>
<p>P5.6.2 Design which is complimentary to existing developments.</p>	
<p>P5.6.3 Development that considers and responds to the natural features of the site and requires minimal excavation/fill.</p>	
<p>P5.6.4 Design which minimises overlooking and overshadowing.</p>	
<p>P5.6.5 Development which preserves and enhances the visual character of the existing streetscape by considering building bulk and scale.</p>	
<p>P5.6.6 The City may approve development which exceeds the maximum height stated in table 5 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P5.6.1 – P5.6.5.</p>	

TABLE 5: Building Height – Residential Area

Maximum No. of Storeys as per Figure 2	Maximum Building Height				
	Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
1 storey*	3m	4m	3m	4m	6m
2 storeys	6m	7m	6m	7m	9m
3 storeys	9m	10m	9m	10m	12m
4 storeys	12m	13m	12m	13m	15m
5 storeys	16m	17m	16m	17m	18m

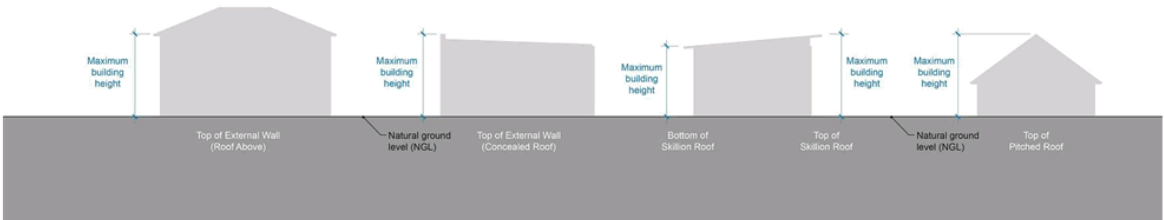


Figure C5.6.1 – Residential Building Heights

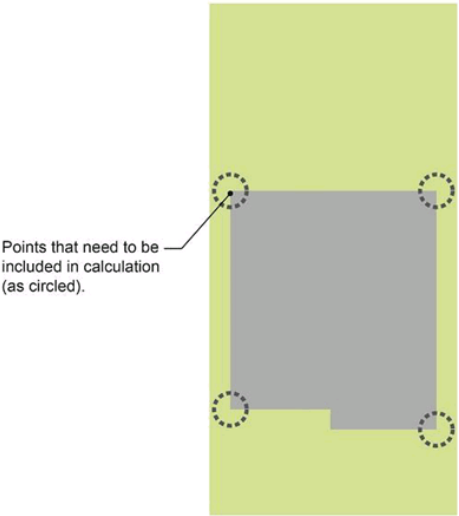


Figure 3—Average Natural Ground Level Calculation

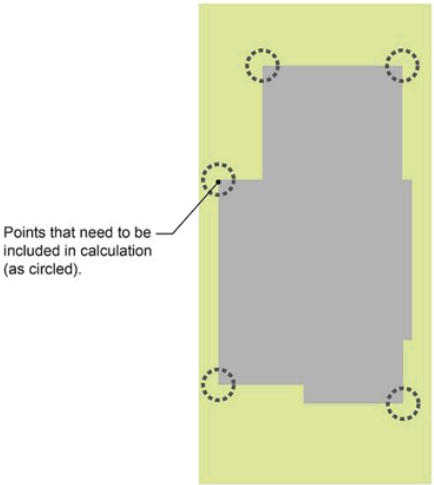


Figure 4—Average Natural Ground Level Calculation

5.7 Setback of Garages and Carports

Design Principles & Local Housing Objectives Objectives	Deemed-to-Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.2.1 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in Clause 5.2.1 C1.1, 5.2.1 C1.2 and 5.2.1 C1.5 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
P5.7.1 The setting back of carports and garages to maintain clear sight lines along the street and not to detract from the streetscape or appearance of dwellings; or obstruct views of dwellings from the street and vice versa.	C5.7.1 Vehicular access to car parking, carports and garages from the street are subject to compliance with clause 5.3.5 of the R Codes.
P5.7.2 Development which preserves and enhances the visual character of the existing streetscape by considering building bulk, scale, setbacks and design.	C5.7.2 Garages are to be setback a minimum of 500mm behind the building line of the dwelling.
	C5.7.3 Carports shall be setback in accordance with Clause C5.2.1 of this Policy . This setback may be reduced in accordance with 5.2.1 C1.2 Clause 5.1.2 C2.1 iii of the R Codes.
	C5.7.4 Garages and carports must match the existing dwellings predominant colour, scale and materials and must be complementary and subservient to the dwelling.
	C5.7.5 Carports must provide an unobstructed view to major openings of the dwelling from the street. Gates or doors to carports are required to be visually permeable.
	C5.7.6 Carports shall allow light and ventilation to the major openings of the dwelling.
	C5.7.7 The total width of any carport within the street setback area is not to exceed 50 per cent of the frontage

	(including strata lots) of the lot or six metres whichever is the lesser.
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Not Accepted

~~N5.7.1 — Roller doors and/or gates on any carports located within the street setback area which are not visually permeable.~~

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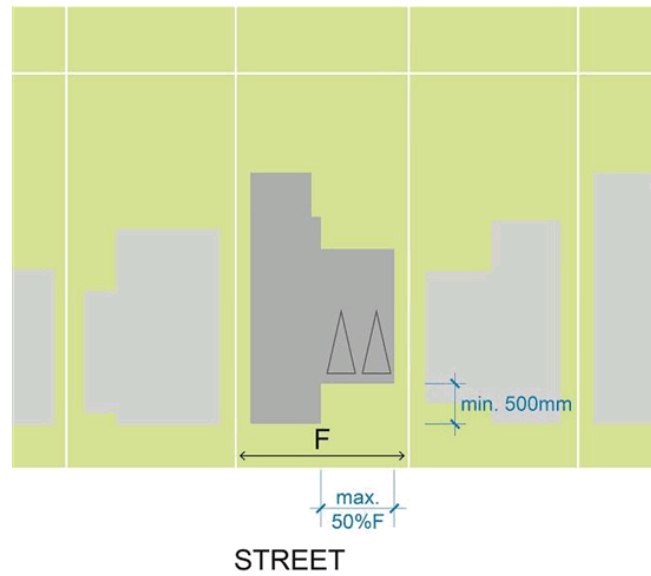


Figure C5.7.3 – Garage Street Setback

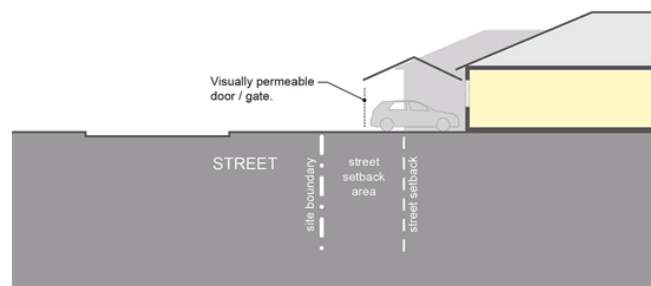


Figure C5.7.4 – Carports within Street Setback

5.8 **Garage Width**

- 5.8.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.2.2 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.



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5.9 Street Surveillance

Design Principles & Local Housing Objectives	Deemed-to-Comply
P5.9.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles of clause 5.2.3 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles of clause 6.2.1 of the R Codes apply.	<p><i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.2.3 C3.2 and 6.2.1 C1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i></p> <p>C5.9.1 The primary street elevation of the dwelling is to address the street and shall include the main entry (front door) to the dwelling.</p> <p>Sites which abut a right-of-way and do not designate another primary street shall address the right-of-way as though it were its primary street for the purposes of this clause.</p>

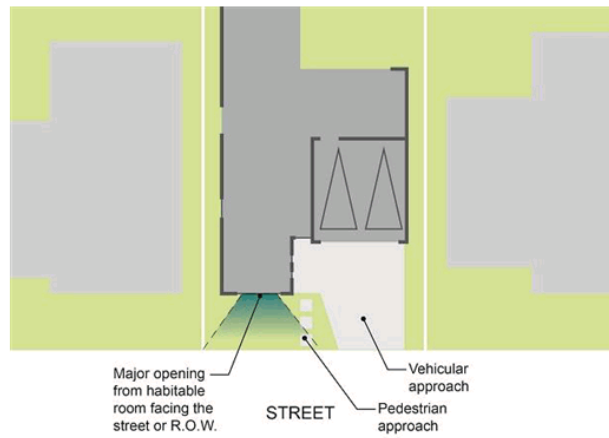


Figure C5.9.1 – Street Surveillance

5.10 Street Walls and Fences

Design Principles & Local Housing Objectives	Deemed-to-Comply
<p><i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.2.4 and 6.2.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i></p> <p>P5.10.2 Development which preserves and enhances the visual character of the existing streetscape by considering bulk, scale, setbacks, design, relationship between the private and public domain, and fencing styles.</p>	<p><i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.2.4 and 6.2.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i></p> <p>C5.10.1 Street walls, fences and gates are to be of a style and materials compatible with those of the dwelling on site and/or walls, fences and gates of the immediate surrounding area <u>excluding fibre cement and metal sheeting</u>.</p> <p>C5.10.2 Street walls, fences and gates within the primary street setback area, including along the side boundaries, and front walls and fences to new dwellings fronting a right of way or dedicated road to be as follows:</p> <ul style="list-style-type: none"> (a) Maximum height of 1.8 metres above the natural ground level; (b) Maximum height of piers with decorative capping to be 2 metres above the natural ground level; (c) Maximum height of solid portion of wall to be 1.2 metres above adjacent footpath level and are to be visually permeable above 1.2 metres; (d) Posts and piers are to have a maximum width 400 millimetres and a maximum diameter of 500 millimetres; and (e) The distance between piers should not be less than the height of the piers except where pedestrian gates are proposed. <p>C5.10.3 Street walls, fences and gates to secondary streets, behind the primary street setback line, or walls, fences</p>

	<p>and gates to the primary streets where those streets are district distributor roads to be as follows:</p> <ul style="list-style-type: none"> (a) Solid portion of wall may increase to a maximum height of 1.8 metres above adjacent footpath level provided that the wall or fence has at least two significant appropriate design features (to the satisfaction of the City of Vincent) to reduce the visual impact – for example, significant open structures, recesses and/or planters facing the road at regular intervals and varying materials, finishes and/or colours; and (b) Maximum height of piers with decorative capping to be 2 metres above adjacent footpath level. <p>Note: The measurement of street walls, fences and gates is to include any retaining walls and is to be measured from the natural ground level immediately below the base of the wall to the top of the wall above, within the development site. In the case of primary street frontage the measurement of street walls, fences and gates is to be measured from the natural ground level of the footpath immediately below the base of the wall to the top of the wall above.</p> <p>C5.10.4 Walls, fences and gates on the side boundaries within the primary street setback area, constructed from metal sheeting are permitted provided they meet all other requirements relating to height, provide adequate sight lines and are not a side boundary fence facing a secondary street.</p> <p><u>Note: Development with a visual truncation area shall give due regard to the City's Policy 2.2.6 – Truncations.</u></p>
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Not Accepted

~~N5.10.1 Street walls, fences and gates constructed from fibre cement are not acceptable in the primary street setback area.~~

~~N5.10.1 Street walls, fences and gates made of metal sheeting.~~

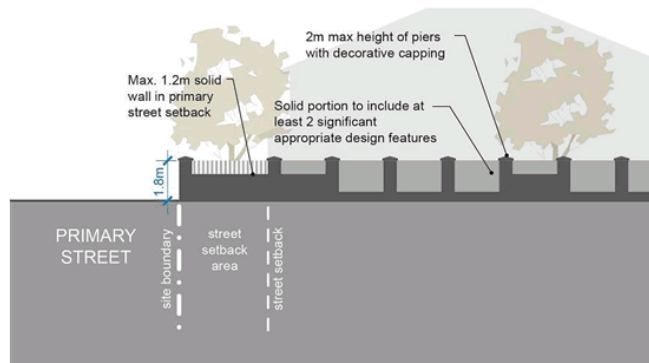


Figure C5.10 – Street Walls and Fences

5.11 Sight Lines

- 5.11.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.2.5 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of Clause 6.2.23 of the R Codes apply.

5.12 Building Appearance

- 5.12.1** [Part 2, Section 1, Clause 1.63 applies to all development.](#)

5.132 Appearance of Retained Dwelling

- 5.132.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.2.6 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.

5.143 Outdoor Living Areas

- 5.143.1** Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.3.1 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of Clause 6.3.1 of the R Codes apply.

5.154 Landscaping

Design Principles & Local Housing Objectives	Deemed-To-Comply												
<p>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.3.2 and 6.3.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</p>	<p>For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</p> <p>The following landscaping provisions are subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.</p> <p>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.3.2 and 6.3.2 of the R Codes.</p>												
<p>P5.154.1 Landscaping is to be designed to reduce the impact of development on adjoining residential zones and public spaces.</p>	<p>New Dwellings</p>												
<p>P5.154.2 Landscaping should provide increased urban air quality, tree and vegetation coverage and a sense of open space between buildings.</p>	<p>C5.154.1 Deep Soil zone Areas are to be provided as follows shall be provided in accordance with the following requirements:</p>												
<p>P5.154.3 The integration of sustainable landscape design with the building creating a greater landscaping amenity for residents and occupants and the community.</p>	<table><tr><th>Site Area</th><th>Minimum Area & Minimum Dimensions</th><th>Deep Soil Zone Areas (% of site)</th></tr><tr><td><650m²</td><td>1m² 1m x 1m²</td><td>1512%</td></tr><tr><td>650m² – 1,500m²</td><td>1m² 1m x 13m²</td><td>1512%</td></tr><tr><td>>1,500m²</td><td>1m² 1m x 16m²</td><td>1512%</td></tr></table>	Site Area	Minimum Area & Minimum Dimensions	Deep Soil Zone Areas (% of site)	<650m ²	1m ² 1m x 1m ²	1512%	650m ² – 1,500m ²	1m ² 1m x 13m ²	1512%	>1,500m ²	1m ² 1m x 16m ²	1512%
Site Area	Minimum Area & Minimum Dimensions	Deep Soil Zone Areas (% of site)											
<650m ²	1m ² 1m x 1m ²	1512%											
650m ² – 1,500m ²	1m ² 1m x 13m ²	1512%											
>1,500m ²	1m ² 1m x 16m ²	1512%											
<p>P5.154.4 The provision of landscaping that will make an effective and demonstrated contribution to the City's green canopy to reduce the impact of the urban heat island effect.</p>	<p>NOTE: the minimum dimension for the area of deep soil zone area is to be 1m</p>												
<p>P5.154.5 Development that offsets the impact of removing existing trees.</p>													
<p>P5.154.6 Landscaping at the rear of the property should not negatively impact on the use and activation of a right of way.</p>													
<p>P5.154.7 Open air car parks should be appropriately landscaped to provide adequate shading and reduce the impact on adjoining properties.</p>													

P5.15.8 Design which retains existing mature trees on site.

C5.154.2 Planting Areas shall be provided in accordance with the following requirements:

Site Area	Minimum Area & Minimum Dimensions	Planting Area (minimum % of site)
<650m ²	1m ² 1m x 1m	3%
650m ² – 1,500m ²	1m ² 1m x 1m	3%
>1,500m ²	1m ² 1m x 1m	3%

C5.154.32 The required ~~Deep Soil Area~~ zone may be reduced to ~~10~~2% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.

C5.15.443 At least 30%* of the site area is ~~to be~~ provided as canopy coverage at maturity.

Multiple Dwellings

~~C5.15.~~In addition to Clauses C5.14.1 – C5.14.3 the following Clauses C5.14.5 – C5.14.9 also apply to the development of Multiple Dwellings.

~~C5.14.5~~ A Landscape Plan designed by a registered Landscape Architect is to be submitted to the City in conjunction with the Development Application.

~~C5.14.6~~ A Landscape Maintenance Schedule setting out the program of activities required to maintain the health and amenity of plantings for the life of the development is to

	<p>be prepared by the Landscape Architect responsible for the design and submitted to the City in conjunction with the Development Application.</p> <p><u>C5.154.754</u> Open air car parks, including access ways, are to shall have a minimum of 80<u>60</u>% canopy coverage at maturity.</p> <p><u>C5.154.658</u> All open-air parking areas for Multiple and Grouped Dwelling developments are to shall be landscaped at a rate of one tree per four car bays.</p> <p><u>C5.154.769</u> The perimeter of all open-air parking areas shall be landscaped by a planting strip with a minimum dimension of 1.5m. The perimeter of all open-air parking areas are to be landscaped by a planting strip of at least 1.5m width.</p> <p><u>C5.154.87</u> Existing trees shall be retained where they are: (a) Healthy specimens with ongoing viability; and (a) (b) Species not included on an applicable weed register. (b)</p> <p><u>C5.15.9</u> The above landscaping provisions apply to additions and alterations that affect an existing Deep Soil Area, canopy cover or tree on the subject lot.</p> <p>Additions and Alterations to all buildings</p> <p><u>C5.14.108</u> Where any additions or alterations to a building is proposed, 30% of the front setback area is to be provided as canopy coverage within 5 years of development approval, unless an</p>
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	existing mature tree with equivalent coverage is retained anywhere on the site.

DRAFT

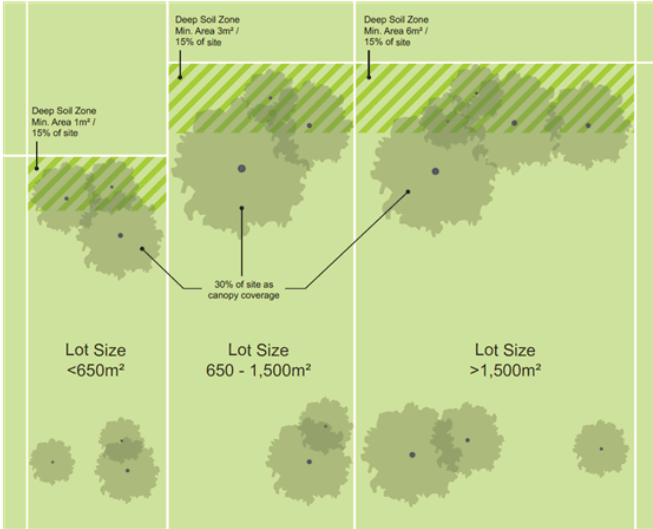
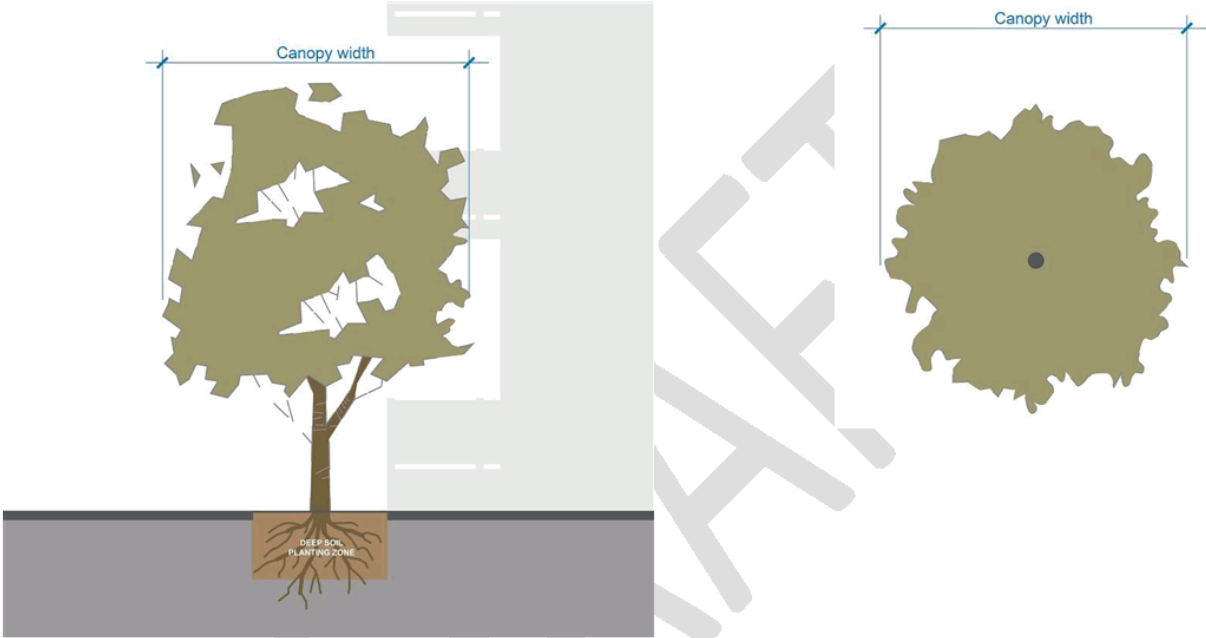


Figure 9 – Residential Landscaping



C5.14.1 & C5.14.3 – Deep Soil & Canopy Width

Figure 6 – Canopy Coverage

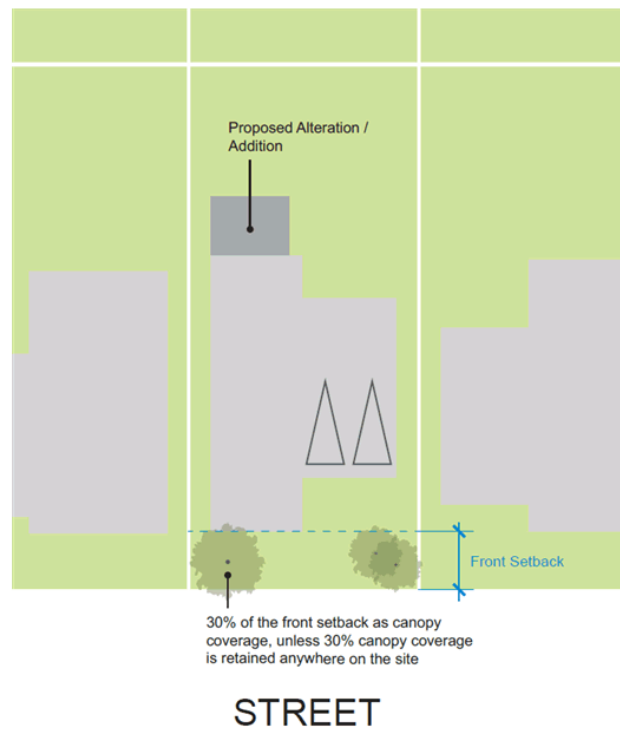


Figure C5.154.910 – Additions and Alterations

5.165 Parking

5.165.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.3 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.3 of the R Codes apply.

5.176 Design of Car Parking Spaces

5.176.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.4 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.4 of the R Codes apply.

5.187 Vehicular Access

5.187.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.5 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.5 of the R Codes apply.

5.198 Pedestrian Access

5.198.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.3.6 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.

5.2019 Site Works

5.20.119 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.7 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.6 of the R Codes apply.

5.210 Retaining Walls

Section 5 – Residential Areas

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5.210.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.8 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.7 of the R Codes apply.

5.221 **Stormwater Management**

5.221.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.9 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.8 of the R Codes apply.

5.232 **Visual Privacy**

5.232.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.4.1 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.4.1 of the R Codes apply.

5.243 **Solar Access for Adjoining Sites**

5.243.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.4.2 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.4.2 of the R Codes apply.

5.254 **Outbuildings**

5.254.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.4.3 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.4.4 of the R Codes apply.

5.2⁶⁵ External Fixtures, [Utilities and Facilities](#)

Design Principles & Local Housing Objectives	Deemed-to-Comply
<p><i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.4.4 and 6.4.6⁵ of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i></p> <p>P5.2⁶⁵.1 Development which preserves and enhances the visual character of the existing streetscape by considering building bulk, scale and design.</p>	<p><i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.4.4 C4.3, C4.4, 6.4.5 C5.3 and 6.4.5 C5.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i></p> <p>C5.2⁶⁵.1 External fixtures are permitted where they are:</p> <ul style="list-style-type: none"> not visible from the street and surrounding properties; or integrated with the design of the building. <p>C5.2⁶⁵.2 If external fixtures cannot be integrated into the design of the building to be concealed from the street and surrounding properties they will be required to be screened as follows:</p> <ul style="list-style-type: none"> continuous vertical or horizontal opaque material more than 50mm in width, occupying a minimum of three quarters of the total surface area in aggregate; or a surface offering equal or more obstruction to view which does not compromise ventilation. <p>C5.2⁶⁵.3 For single houses and grouped dwellings, air conditioning fixtures are to be placed at the rear of the ground floor. The highest point of the air conditioning fixture is to be a maximum 1.8 metres above natural ground level or below the existing fence line.</p>

Not Accepted

N5.25.1 External fixtures are not permitted to protrude above the roofline.

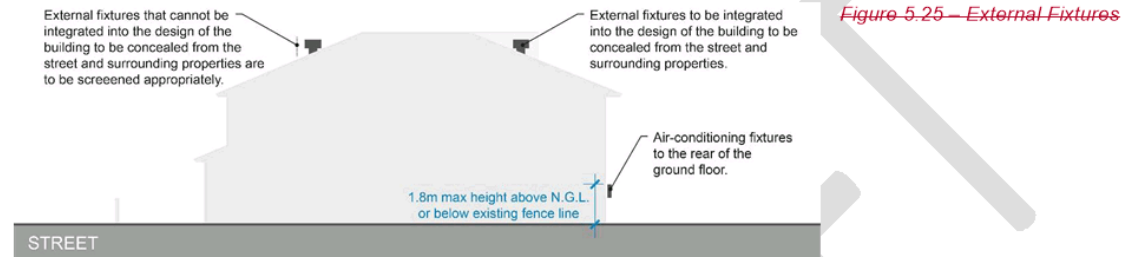


Figure 5.25 – External Fixtures

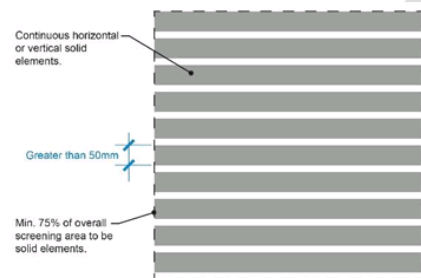


Figure C5.25.2 – Screening of External Fixtures

5.26 Utilities and Facilities

~~5.26.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.4.5 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.4.6 of the R Codes apply.~~

5.27 Ancillary Dwellings

5.27.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.5.1 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.

5.28 Aged or Dependent Persons' Dwellings

In accordance with the City's Local Planning Policy No. 7.4.2 - Aged or Dependent Persons' Dwellings.

5.29 Single Bedroom Dwellings

5.29.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.5.3 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.

5.30 Environmentally Sustainable Design

~~5.30.1 The All Design Principles and Local Housing Objectives deemed to comply criteria of PClause 1.5 clause 1.8.1 of Part 2 Section 4 of this Policy applies to development in the Residential Built Form Area to all development with the exception of the erection or extension of single houses or grouped dwellings.~~

5.31 Development on Rights of Way

Design Principles & Local Housing Objectives	Deemed-to-Comply
<p>P5.31.1 Design Development which appropriately addresses rights of way to facilitate spaces which are welcoming and safe for residents and visitors.</p> <p>P5.31.2 Development which provides appropriate pedestrian access to a dedicated road with suitable space for service areas and waste management.</p> <p>P5.31.3 <u>Development which provides suitable space for safe vehicle movement in the right of way.</u></p>	<p>P5.31.1 Development on rights of ways is to be in accordance with the Western Australian Planning Commission's Planning Bulletin 33 Rights of Way or Laneways in Established Areas – Guidelines.</p> <p><u>Orientation</u></p> <p>C5.31.2 Where a dwellings' primary street frontage is a right of way, or where no primary street or secondary street frontage exists, it is to be oriented to address the right of way using clearly defined entry points and major openings as if it were a primary street.</p> <p><u>Setbacks</u></p> <p><i>The following setback provision is subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.</i></p> <p>C5.31.3 Development must be setback 1 metre from a right of way. If the site is subject to right of way widening, the setback is measured from the new lot boundary after the widening is applied.</p> <p><u>Access</u></p> <p>C5.31.4 Each lot that does not have direct frontage to a dedicated road is to be provided with a pedestrian access way to a dedicated road. The width of the pedestrian access way is to <u>shall</u> be 1.5 metres.</p>

	C5.31.5 Access to a right of way is required to be trafficable to the nearest dedicated road. The cost to upgrade a right of way to make it trafficable is to be borne by the applicant.
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Figure 5.31 – Corner development on rights of way

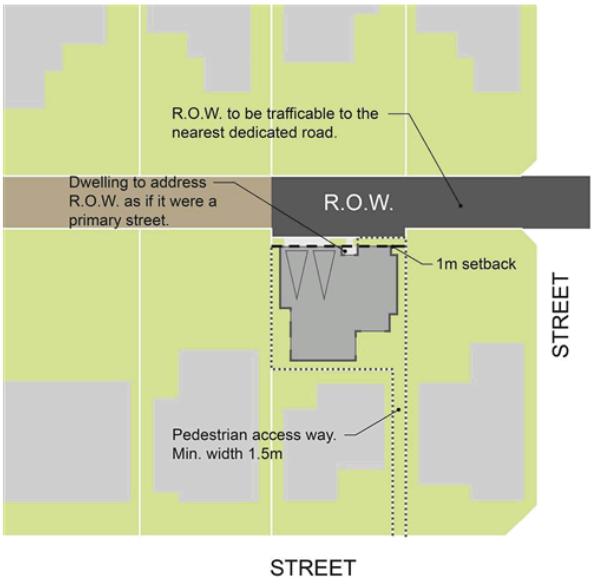


Figure 5.31 – Development on rights of way

Appendix 1 – DESIGN PRINCIPLES

1. Context and character

Good design responds to and enhances the distinctive characteristics of a local area, contributing to a sense of place.

The distinctive characteristics of a local area include its prominent natural and built features, the overall qualities of its built environment, significant heritage elements, as well as social, economic and environmental conditions.

Good design responds intelligently and sensitively to these factors, interpreting rather than replicating existing features and enhancing the identity of the area, including the adjacent sites, streetscape and neighbourhood.

Good design also responds positively to the intended future character of an area. It delivers appropriate densities that are consistent with projected population growth, and are able to be sustained by existing or proposed transport, green networks and social infrastructure.

Consideration of local context is particularly important for sites in established areas that are undergoing change or identified for change.

2. Landscape quality

Good design recognises that together landscape and buildings operate as an integrated and sustainable system, within a broader ecological context.

Good landscape design protects existing environmental features and ecosystems, enhances the local environmental context and regenerates lost or damaged ecosystem functionality, where possible. It balances consideration of environmental factors such as water and soil management, ground conditions, solar access, microclimate, tree canopy, habitat creation and preservation of green infrastructure with social, cultural and economic conditions.

Good landscape design employs hard and soft landscape and urban design elements to create external environments that interact in a considered manner with built form, resulting in well-integrated, engaging places that contribute to local identity and streetscape character.

Good landscape design provides optimal levels of external amenity, functionality and weather protection while ensuring social inclusion, equitable access and respect for the public and neighbours. Well-designed landscape environments ensure effective establishment and facilitate ease of long term management and maintenance.

3. Built form and scale

Good design provides development with massing and height that is appropriate to its setting and successfully negotiates between existing built form and the intended future character of the local area.

Good design achieves an appropriate built form by responding to its site, as well as surrounding built fabric, in a considered manner, mitigating negative impacts on the amenity of neighbouring properties and public realm.

Good design considers the orientation, proportion, composition, and articulation of built form elements, to deliver an outcome that is suited to the building's purpose, defines the public domain, respects important views, contributes to the character of adjacent streetscapes and parks, and provides a good pedestrian environment at ground level.

4. Functionality and build quality

Good design meets the needs of users efficiently and effectively, balancing functional requirements to deliver optimum benefit and performing well over the full life-cycle.

Designing functional environments involves ensuring that spaces are suited to their intended purpose and arranged to facilitate ease of use and good relationships to other spaces. Good design provides flexible and adaptable spaces, to maximise utilisation and accommodate appropriate future requirements without the need for major modifications.

Good build quality is achieved by using good quality and robust materials, finishes, elements and systems. Projects should be well-detailed, resilient to the wear and tear expected from its intended use, and easy to upgrade and maintain.

Good design accommodates required services in an integrated manner, without detriment to the overall design outcome.

5. Sustainability

Good design optimises the sustainability of the built environment, delivering positive environmental, social and economic outcomes.

Sustainable buildings utilise passive environmental design measures that respond to local climate and site conditions by providing optimal orientation, shading, thermal performance and natural ventilation. Reducing reliance on technology for heating and cooling minimises energy use, resource consumption and operating costs over the whole life-cycle of the project.

Other sustainable design measures include the use of sustainable construction materials, recycling, material re-use, harnessing of renewable energy sources, appropriate water management. Good design considers the ease with which sustainability initiatives can be maintained and managed.

Sustainable landscape and urban design adheres to established principles of water-sensitive urban design, and minimises negative impacts on existing natural features and ecological processes, as well as facilitating green infrastructure at all project scales.

6. Amenity

Good design optimises internal and external amenity for occupants, visitors and neighbours, contributing to living and working environments that are comfortable and productive.

Good design provides internal rooms and spaces that are adequately sized, comfortable and easy to use and furnish, with good levels of daylight, natural ventilation and outlook. Delivering good levels of internal amenity also includes the provision of appropriate levels of acoustic protection and visual privacy, adequate storage space, and ease of access for all.

Well-designed external spaces provide welcoming, comfortable environments that are universally accessible, with effective shade as well as protection from unwanted wind, rain, traffic and noise. Good design mitigates negative impacts on surrounding buildings and places, including overshadowing, overlooking, glare, reflection and noise.

7. Legibility

Good design results in buildings and places that are legible, with clear connections and memorable elements to help people find their way around.

Good urban design makes places easy to navigate, with recognisable routes, intersections and landmarks while being well-connected to existing movement networks. Sightlines are well-considered, with built form responding to important vantage points.

Within buildings, legibility is served by a clear hierarchy of spaces with identifiable entries and clear wayfinding. Externally, buildings and spaces should allow their purpose to be easily understood, and provide clear distinction between public and private spaces.

Good design provides environments that are logical and intuitive, at the scale of building, site and precinct.

8. Safety

Good design optimises safety and security, minimising the risk of personal harm and supporting safe behaviour and use.

Safety and security is promoted by maximising opportunities for passive surveillance of public and communal areas and providing clearly defined, well-lit, secure access points that are easily maintained and appropriate to the purpose of the development.

Good design provides a positive, clearly defined relationship between public and private spaces and addresses the need to provide optimal safety and security both within a development and to adjacent public realm.

Designing for safety also involves mitigating any potential occupational safety and health hazards that might result from a development during its construction, maintenance and operation.

9. Community

Good design responds to local community needs as well as the wider social context, providing buildings and spaces that support a diverse range of people and facilitate social interaction.

Good design encourages social engagement and physical activity in an inclusive manner, enabling stronger communities and improved public health outcomes.

In residential developments, good design achieves a mix of dwelling types, providing housing choice for different demographics, living needs and household budgets, and facilitating ageing-in-place.

10. Aesthetics

Good design is the product of a skilled, judicious design process that results in attractive and inviting buildings and places that engage the senses.

Good design resolves the many competing challenges of a project into an elegant and coherent outcome. A well-conceived design concept informs all scales, from the articulation of building form through to materiality and detail, enabling sophisticated, integrated responses to the complexities of local built form and landscape character.

In assessing design quality, consideration of aesthetics should not be limited to style and appearance; it should also account for design integrity, creativity, conceptual coherence and cultural relevance in a proposal.

Amendment 1 to Local Planning Policy No. 7.1.1 – Built Form: Summary of Submissions

	Issue/Comment	Submitter	Administration Response	Recommended Modification
1	Cost of implementation			
1.1	Cost of a landscape architect may be too much, resulting in less money spent on trees and landscaping. City should prepare a template than owners can fill out.	14	The City has prepared a landscape plan template that will be available on the website.	No modification.
1.2	Intent of landscaping provisions not supported. Unachievable, adds costs to the retention of homes and too prescriptive.	1, 2, 11, 13	Administration has tested these provisions and, when appropriately designed, developments will be able to comply with these provisions.	No modification.
1.3	The urban design study is too much for the average homeowner. Doesn't allow any freedom.	1, 11, 14	Administration will prepare a template that will be publicly accessible online. The template will provide the minimum considerations to be given when undertaking an Urban Design Study. This will allow for landowners to undertake the Urban Design Study when smaller scale developments are proposed. The aim of the Urban Design Study is not to impose any design or create homogenous neighbourhoods. Rather, it is to ensure that designs at least acknowledge the existing streetscape to help build on the existing character.	No modification.
1.4	The intent of the environmentally sustainable design (ESD) provisions are good however the additional costs imposed are concerning.	11, 14	<p>The <i>Planning and Development Act 2005</i> states that if there is an inconsistency between a local planning scheme and a regulation of the Building Act the regulation prevails. The City cannot impose ESD requirements which are inconsistent with the requirements of the Building Act.</p> <p>It is noted that the requirement may add costs to development and that the requirements could not be imposed within the current legislation.</p>	<p>Modify amendment 2 draft Built Form Policy to:</p> <ul style="list-style-type: none"> require single house and grouped dwelling development to demonstrate that the development is capable of achieving ESD through a report. This is consistent with the current Built Form Policy and is recommended as the City is not permitted to impose requirements over and above the requirements of the Building Code of Australia; and require Multiple Dwellings, Mixed Use and Commercial development to achieve the recommendations of the ESD reports. It is noted that an Acceptable Outcome is not applied in the same way as a Deemed to Comply standard so this is permitted as it is not a requirement greater than the Building Code of Australia.
1.5	The provision of an Urban Design Study should be undertaken by Council. This change will adversely affect the cost of housing.	2	The City is progressing projects related to Character Retention and design, but it is the responsibility of a landowner to justify how a proposed development is in keeping with its context and does not adversely impact on the character of the locality. The Urban Design Study is the format within which this justification must be provided.	No modification.
1.6	Certification takes a long time and a lot of money. The cost would be better spent on better sustainability features. Does the City have expertise to scrutinise reports?	14	<p>The cost of certification is typically a small fraction of the cost of the resulting sustainability features.</p> <p>In the absence of these ESD provisions, developers could choose to omit sustainability features altogether.</p> <p>The City's officers are experienced in assessing ESD reports.</p>	No modification.
2	Lot constraints			
2.1	The proposed canopy cover is unachievable, reduces development yield and restricts multiple dwellings.	2, 11	Administration has tested the proposed provisions against a number of scenarios and if designed appropriately, the required canopy is capable of being achieved.	No modification.

1

Amendment 1 to Local Planning Policy No. 7.1.1 – Built Form: Summary of Submissions

	Issue/Comment	Submitter	Administration Response	Recommended Modification
2.2	Some flexibility should be considered in the canopy coverage for different types of developments like terraced housing or for potential micro-lots under 100m ² . Consider providing or paying for canopy off-site instead of planting trees.	12	Should a landowner/applicant propose a departure from the deemed-to-comply requirements of the Built Form Policy in relation to canopy cover, an objective based assessment will be undertaken by Administration using the relevant local housing objectives and design principles. The landowner/applicant will be required to justify the departure and Administration will assess each application on its merit.	No modification.
2.3	Some flexibility should be considered for different types of developments like terraced housing or for potential micro-lots under 100m ² and odd-shaped lots.	12	Noted. Refer to 2.2 above.	No modification.
2.4	The Policy should allow for flexible and innovative approaches in lieu of deep soil planting requirements, where deep soil is not able to be achieved entirely on ground level due to site constraints.	22	The purpose of the Planting Area is to allow for this flexibility. Also refer to 2.2 above.	No modification.
3	Compliance			
3.1	Consider greater building height on smaller lots, in particular, to permit landscape and trees.	4	Maximum building heights have been applied by considering the locality and the proximity of the site to arterial routes, public transport and town centres. Smaller lots are capable of achieving the required canopy by appropriately designing the development to prioritise landscaping.	No modification.
3.2	The requirements are unenforceable. The deep soil area is sufficient and gives individuals a choice.	13	Each development application will need to be accompanied by a landscaping plan and a landscape maintenance schedule. All landscaping plans will need to clearly identify species that will be used to achieve the required canopy cover. If the works undertaken are not in accordance with the landscaping plan that has been approved, Administration is able to undertake a compliance investigation and action accordingly.	No modification.
3.3	How will the City enforce compliance?	14	Refer to 3.2 above.	No modification.
3.4	Who decides what a healthy tree is and what is ongoing viability? There are many trees not included on a weed register that are inappropriate for planting in an inner urban environment. How will an offset requirement be administered? Will it be on the same site or will payment in lieu be accepted to plant in a Council reserve.	10, 16	Should an application seek a departure to the deemed-to-comply provisions of the Built Form Policy, Administration will undertake an assessment against the design principles and the local housing objectives of the Residential Design Codes and Built Form Policy respectively. The City does not accept cash in lieu payment for trees.	No modification.
3.5	Retention will only happen with significant incentives. Developers would simply remove inconvenient trees before applying for a development application. A small incentive for retention will probably be ignored.	13	Rather than provide incentives for good outcomes, the advertised policy requires those outcomes from all developments. If trees are not retained on-site, then new trees must be planted to offset that canopy loss. Retaining mature trees is a more preferable outcome and the City is investigating options to do this outside of this policy amendment.	No modification.
4	Environmentally Sustainable Design			
4.1	Supported.	1, 4, 5, 7, 8, 9, 11, 12, 15, 16, 18 Total: 11	Noted.	No modification.
4.2	Not supported.	2, 10, 14 Total: 3	Noted.	No modification.

Amendment 1 to Local Planning Policy No. 7.1.1 – Built Form: Summary of Submissions

	Issue/Comment	Submitter	Administration Response	Recommended Modification
4.3	No objection.	3, 6, 13, 17	Noted.	No modification.
		Total: 4		
4.4	This should apply to new buildings and should not apply to existing buildings or small alterations.	1	These requirements do not apply to existing buildings unless they are being altered. The requirements do apply to all additions.	No modification.
4.5	It seems like the proposed change doesn't actually make a material difference.	6	The main difference is that, under the existing policy, the development must only demonstrate that at some point in the future it could be adapted to meet the ESD requirements; whereas, under the advertised policy, the development must be built with features of ESD which meet the requirements.	No modification.
4.6	The effectiveness of calculations at the design stage need to be proven with actual measurements of built form in a wide range of cases to determine which of the current range of methods are actually accurate. A national standard for calculation should be adopted before it is written into legislation by local authorities.	10	An assessment will be undertaken for each development. In the absence of a national standard being adopted, the City is being proactive in including provisions relating to environmental sustainable design.	No modification.
4.7	P1.5.2 of Amendment 1 advertised draft reads as a deemed to comply provision as opposed to a design principle. It is suggested that a design principle would state 'design which minimises heat retention' and a deemed to comply provision would include light coloured materials or shade devices.	21	Agree, the mechanism to achieve heat retention does not need to be stated in the Local Housing Objective.	Reword P1.8.2 of Amendment 2 draft Built Form Policy: P1.8.2 Development that <u>maximises use of light coloured materials to reduce heat retention through design elements and material selection.</u>
4.8	C1.5.2 uses the term 'solar absorptance rating' without it being defined	21	Solar absorptance is the proportion of the solar radiation that is absorbed by roofing material (the remainder is reflected).	Include definition of solar absorptance as follows: The proportion of solar radiation that is absorbed by roofing materials.
4.9	C1.5.4 refers to frameworks that are subject to oversight by a certifying body. It is important that the tool that is used is certified rather than the framework. With Life Cycle Assessment a lot of developers are using a particular tool which may not have been independently assessed. The idea of Life Cycle Assessment may be okay but the tool may not be. In any case, the lifecycle assessment is too easy to get.	21	Life cycle assessment methodologies are accepted by the City if they comply with the relevant international standards. The tool used to deliver life cycle assessment reports is a software platform that applies those methodologies. The City works with the software providers to ensure the tools are providing the relevant and correct information.	No modification.
4.10	Public land canopy cover			
4.11	City should focus on undergrounding power and improving canopy on public land. Appears the City is not progressing undergrounding of power.	6	Undergrounding power is not being considered as part of this amendment to the Built Form Policy.	No modification.
4.12	Council should assume the primary responsibility for greening Vincent by planting native vegetation in road reserves and parks in lieu of passing the onus onto developers.	10	The City has adopted its Greening Plan and is actively planting trees in road reserves and verges. The Greening Plan identifies a target of 20% canopy cover on all land within the City. Public land is already at 21% and increasing each year, whereas private land has only 7% canopy and is decreasing each year. To achieve the target, the City must improve canopy cover on private land.	No modification.
4.13	Private trees are private property and Council should not be able to regulate their retention. The City should be focussing on providing canopy cover on public land.	6	The City's Greening Plan identifies a target of 20% canopy cover on all land within the City. Public land is already at 21% and increasing each year, whereas private land has only 7% canopy and is decreasing each year. To achieve the target, the City must improve canopy cover on private land.	No modification.
5	Canopy cover			

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Amendment 1 to Local Planning Policy No. 7.1.1 – Built Form: Summary of Submissions

	Issue/Comment	Submitter	Administration Response	Recommended Modification
5.1	Supported. Canopy cover could reduce overdevelopment, reduce urban heat island effect, reduce reliance on air-con and improve amenity.	1, 4, 5, 7, 8, 9, 11, 12, 15, 17, 18, 22 Total: 12	Noted.	No modification.
5.2	Not supported.	2, 6, 10, 14, 16 Total: 5	Noted.	No modification.
5.3	No objection.	3, 13 Total: 2	Noted.	No modification.
5.4	Landscape plans should be prepared by a registered Landscape Architect to avoid poor outcomes.	7	Schedule 2, Part 8, Clause 63 (c) of the <i>Planning and Development (Local Planning Schemes) Regulations 2015</i> outlines that the local government may require specialist studies be prepared relating to environmental studies. The City will seek this accompanying information as part of the application process.	Refer to 1.1 above. <i>No modification to the Built Form Policy. Administration will modify the development application checklist to include a landscaping plan and a landscape maintenance schedule as accompanying materials to a development application.</i>
5.5	Canopy coverage in the Transit Corridor areas should be 50% minimum using allergy friendly trees. Existing trees with heritage potential should be preserved.	16	50% of the site area would be too onerous and often not be met. The current target of 30% is sufficient. The species of tree will be assessed through the submission of a landscaping plan with consideration for allergens and biodiversity at that stage. The City is currently investigating protecting trees of significance, but this is being undertaken separately to the Built Form Policy.	No modification.
5.6	Established trees along a Transit Corridor like Guildford Road will help the area to offset two roads, an intersection, a car yard, a train overpass and a short commercial strip.	18	The City is attempting to retain established trees through the proposed provisions in the advertised Built Form Policy.	No modification.
6 Deep soil & Planting areas				
6.1	Supported.	2, 4, 5, 7, 9, 13, 14, 16, 18, 22 Total: 10	Noted.	No modification.
6.2	Not supported.	1, 6, 11 Total: 3	Noted.	No modification.
6.3	No objection.	3, 8, 10, 12, 15, 17 Total: 6	Noted.	No modification.
6.4	Unsure how the numbers were created. 3% planting may be too low.	1, 8	The total area is 15% including deep soil and planting areas. The required 12% of Deep Soil Area was derived from the draft Design WA policy as advised by the WAPC. The 12% deep soil area requires that no structures are above or below which optimises infiltration of rainwater. To improve flexibility of the provision, an additional 3% Planting Area will be considered which may have a minimum depth of 1m. The requirement to provide canopy coverage is separate and calculated independent of the Planting Area and Deep Soil Area.	No modification.
6.5	Concerns with rigorous root systems on existing gas pipelines and below ground infrastructure.	3	The City will modify the development application checklist to ensure that all development applications are accompanied	No modification.

Amendment 1 to Local Planning Policy No. 7.1.1 – Built Form: Summary of Submissions

	Issue/Comment	Submitter	Administration Response	Recommended Modification
			by a landscaping plan and a landscaping maintenance schedule. The landscaping plan will include the species of trees being proposed. This will allow for Administration to assess the appropriateness of the selected species and will ensure that root systems are not invasive.	
6.6	Open space for the infiltration of rainwater is essential to ensure growth of mature trees. Suggest increasing to 5 percent planting area to help further greening in our town.	5	The total area is 15% including deep soil and planting areas. The required 12% of Deep Soil Area was derived from the draft Design WA policy as advised by the WAPC. This will allow for sufficient canopy to be planted. Greening will still be required independently through the Canopy Coverage provisions.	No modification.
6.7	Suggest to include under driveways and paved areas as deep soil areas; tree roots are free to grow there, and the trees can provide important shade cover over the driveways and paving.	6	Spaces under driveways are not appropriate to be included in the deep soil and planting area calculations as they do not allow for ground water infiltration and cannot be used to plant trees in.	No modification.
6.8	The revised Deep Soil Areas table still includes a 1mx1mx1m requirement which conflicts with the deep soil requirement.	7	The reference in the table provides a minimum surface area of 1m ² to avoid narrow sections of deep soil. The reference does not provide for a minimum depth or volume.	No modification.
6.9	What is the difference between 12% of each site as deep soil area and 3% of each site provided as planting area? Is it proposed to have 15% overall with 3% of this in natural ground. How do Deep Soil Areas and Planting Areas relate to each other, can they overlap?	10, 21	The total area is 15% including deep soil and planting areas. The required 12% of Deep Soil Area must be provided in the ground with no structures above or below. To improve flexibility of the provision, an additional 3% Planting Areas will be considered which may have a minimum depth of 1m, this can be in planter boxes or on or below structures. The requirement to provide canopy coverage is separate and calculated independent of the Planting Area and Deep Soil Area. To achieve the canopy coverage, tree planting should occur in the Deep Soil Area and the Planting Areas.	No modification.
7	Tree retention			
7.1	Supported.	3, 4, 5, 7, 8, 9, 12, 14, 15, 17, 18 Total: 11	Noted.	No modification.
7.2	Not supported.	1, 6, 11 Total: 3	Noted.	No modification.
7.3	No objection.	2, 10, 13, 16 Total: 4		
7.4	Some healthy existing trees are dangerous and are a threat to houses and infrastructure and are not native. How would the removal of trees be adequately offset and who would judge this.	1	Should an applicant/landowner wish to remove a tree as it is believed that the tree is unsafe, an arborist report will need to accompany the development application.	No modification.
7.5	Trees should be encouraged through incentives such as a plot ratio bonus.	2	Rather than provide incentives for good outcomes, the advertised policy requires those outcomes from all developments. Incentives are more appropriate in circumstances where it is not critical that a certain outcome be achieved.	No modification.
7.6	Removal of existing trees inside private property can impact on the road reserves if the tree's root system has already impacted below ground infrastructure outside of the property.	3	Noted.	No modification.

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Amendment 1 to Local Planning Policy No. 7.1.1 – Built Form: Summary of Submissions

	Issue/Comment	Submitter	Administration Response	Recommended Modification
	ATCO requires assessment by their engineering team to ensure that the network is not damaged during any tree removal in particular around the high pressure network.			
7.7	Existing trees tend to be mature and add character, attractiveness and reduce the 'heat sink' effect. Proposed developments should work around a tree. Any 'offset' should be planting of a mature tree (not a sapling), preferably of equivalent canopy.	4	Should a development application not meet the deemed-to-comply requirements of the Built Form Policy relating to landscaping, then the landowner/applicant must demonstrate how the proposal satisfies the design principles and the local housing objectives of the Residential Design Codes and the Built Form Policy respectively.	No modification.
	What criteria is there for non-complying proposals?			
7.8	The proposed requirement to maintain trees on a site is critical, not only for canopy coverage but also for preserving historic heritage trees. The nearly 100 year old eucalyptus tree on Colvin Lane – this laneway now under the City of Vincent's control, has already been submitted to the City for inclusion on the heritage tree register, but so far no action has been taken.	5	Noted, the provisions seek to maintain trees and if this is not possible, offset their removal. The City has contacted the landowner, the Department of Training and Workforce Development, who have not proceeded with the nomination at this time.	No modification.
7.9	Important to ensure any approved offset is delivered and that approval to remove the existing tree is justified. Only trees of a decent size should be required to be retained.	12	Noted. The City's planning compliance process will seek to ensure trees are delivered as approved.	No modification.
8	Landscaping additions and alterations			
8.1	Supported.	4, 5, 7, 8, 9, 12, 14, 15, 16, 17, 18 Total: 11	Noted.	No modification.
8.2	Not supported. Unachievable, adds costs to the retention of homes and too prescriptive.	1, 2, 11, 13 Total: 4	Administration has tested these provisions and, when appropriately designed, developments will be able to comply with these provisions.	No modification.
8.3	No objection.	3, 6, 10 Total: 3	Noted.	
8.4	Depending on the species, rigorous root systems can be invasive.	3	A landscaping plan is required to be submitted upon lodgement of a development application. This will allow the City to assess the suitability of the tree species.	No modification.
8.5	Unclear as to what all the landscaping requirements are.	6	The landscaping requirements of each built form area are included in the Built Form Policy. Currently, the canopy cover requirements are unique for additions and alterations. The proposal is to apply all requirements where landscaping is removed due to new alterations and additions.	No modification.
8.6	Not aware of the change.	13	The proposed modification is shown in tracked changes in C5.15.9 in the advertised policy.	No modification.
9	Lot boundary setbacks			
9.1	Supported.	1, 4, 5, 6, 7, 8, 9, 11, 12, 14, 15 Total: 11	Noted.	No modification.
9.2	Not supported.	10 Total: 1	Noted.	

Amendment 1 to Local Planning Policy No. 7.1.1 – Built Form: Summary of Submissions

	Issue/Comment	Submitter	Administration Response	Recommended Modification
9.3	No objection.	2, 3, 13, 16, 17, 18 Total: 6	Noted.	No modification.
9.4	Acceptable if the increased setback is offset by a height or plot ratio bonus.	2	Lot boundary setbacks are required to ensure that there is adequate separation to the adjoining landowner and to mitigate bulk and scale of a development. A height and plot ratio bonus will contribute to the bulk and scale of a development and increase the impact on the adjoining landowners.	No modification.
9.5	It is important to be site specific rather than a blanket rule for all proposed development. Should be consideration of overshadowing, overlooking as per the Residential Design Codes provisions.	4	The lot boundary setback provisions are dependent on the density code of the subject site and the neighbouring property. Overlooking and overshadowing provisions are not proposed to be replaced in the Built Form Policy and will be as per the Residential Design Codes where applicable.	No modification.
9.6	Currently there are many streetscapes that have uneven setback distances between small scale low density dwellings and the bulk of larger developments protruding forward. New provisions relating to the bulk, height and length of proposed developments should be introduced.	5	The proposed setback provisions are intended to: ensure a more consistent outcome; and ensure the perception of bulk and scale from neighbouring properties is appropriate. In some instances the setback will be based on the height and length of the development proposed.	No modification.
9.7	Higher densities should be encouraged. It must be expected that lots with zonings that allow higher density will be developed to those densities. To restrict boundary setbacks relative to existing lower scale development is illogical.	10	The Built Form Policy does not prevent higher density development. Density and setback are determined independently from each other. The proposed increased setbacks only apply where the subject property is immediately abutting a lower density site. If the subject property is abutting the same or higher density site, then the setback distance is reduced.	No modification.
9.8	The proposed setbacks encourage an efficient use of space and help to make the deep soil, landscaping and open space requirements practical.	12	Noted.	No modification.
9.9	Also should consider privacy, building bulk, visual impact and design, and access to existing garages.	16	The requirement for lot boundary setbacks is to mitigate these listed issues.	No modification.
9.10	Do not support the removal of diagram C1.2.1 and the failure to address street setbacks above three storeys in town centres. The existing policy has a mistake whereby it only specified a nil setback for the first three storeys and was silent for storeys four and above (in the text) and was not consistent with diagram C1.2.1. The remedy should be to include wording to support the diagram. The concept of diagram C1.2.1 was aimed at retaining a human scale within town centre streets. These are local centres with relatively narrow streets. Human scale can be achieved by stepping back upper floors a small but significant amount.	21	The amendment to the Built Form Policy proposes a nil setback to the street in the Town Centre built form area for all storeys. Diagram C1.2.1 shows a requirement for a setback for the third floor and above. Given the proposed text is clear in its requirement and inconsistent with the diagram, the diagram is proposed to be removed.	No modification.
9.11	In C1.2.5, can balconies extend closer than 12.5 metres for development governed by code C.	21	No, as the development would then not be compliant with code C requirement of 12.5m. Agree that this is not clear in the advertised policy. It is unreasonable and impractical to require a 7.5m lot boundary setback as most properties have a 10-20m width. The privacy requirements in the R Codes provide sufficient control for residential dwellings.	Delete clauses C1.2.5, C4.3.4 and C5.3.3.

Amendment 1 to Local Planning Policy No. 7.1.1 – Built Form: Summary of Submissions

	Issue/Comment	Submitter	Administration Response	Recommended Modification
10	Street setbacks			
10.1	Clause C5.2.1 is onerous and with property widths of approximately 12 metres it could lead to a house over 50 metres away impacting on the setback requirement. The provision should either be a weighted average, or the number of dwellings used to achieve the average reduced.	21	The setback requirements are based on an average of the five properties adjoining either side of the subject site. The five properties on either side of the subject site contribute to the prevailing streetscape and it is important to ensure that all new developments are in keeping with this context. Although some of the adjoining properties may be a significant distance away, they will still contribute to the streetscape and should be considered.	No modification.
11	Building design			
11.1	Supported.	3, 4, 5, 7, 8, 9, 12, 15, 16, 17, 18 Total: 11	Noted.	No modification.
11.2	Not supported.	1, 2, 10, 11, 14 Total: 5	Noted.	No modification.
11.3	No objection.	6, 13 Total: 2	Noted.	No modification.
11.4	As noted above, Vincent is an inner urban area that must develop overtime. Context is historical in developing areas. The preferred future context should be more important than the past. The R50 coding in the form Cleaver Street precinct is illogical given that it is within 2 kilometres of the central business district.	10	The existing context is important to draw upon and interpret into new designs. The City is not wanting to replicate the existing context but to ensure that it is reinterpreted into new developments. The density code of the Cleaver Street precinct has been designated under the City's Local Planning Scheme No. 2. This amendment is for the Built Form Policy only and is not reviewing any density codes.	No modification.
11.5	Submitter did not see the change.	13	As part of the community consultation undertaken a track changed version of the policy was uploaded to the Imagine Vincent website which showed all proposed changes.	No modification.
11.6	Developers should be encouraged to incorporate existing heritage buildings or elements in new projects.	16	This consideration should be incorporated into an Urban Design Study submitted with a Development Application.	No modification.
11.7	Clause C1.3.6 of the Amendment 1 advertised draft should be combined with C1.3.15 as they both relate to awnings.	21	Agree.	Reword Clause A1.8.11 Amendment 2 draft Built Form Policy: <u>Commercial development shall provide a protective awning over the pedestrian footpath, which Where provided, awnings shall be:</u> (a) Be a minimum height of 3.5m and a maximum height of 4m from finished floor level to the underside of the awning to accommodate under awning signage; (b) Be setback a minimum of 600mm from the face of kerb; (c) Respond to any existing and/or proposed verge trees; (d) Respond to the height, depth and form of existing awnings on the subject and adjoining buildings; (e) Respond to the slope of the site; and (f) Integrated with the design of the façade. Remove Clause A1.8.3, renumber remaining.
12	Building height			

Amendment 1 to Local Planning Policy No. 7.1.1 – Built Form: Summary of Submissions

	Issue/Comment	Submitter	Administration Response	Recommended Modification
12.1	Whilst the "Max Storeys" column refers to the storeys allocated in the Leederville master plan, the "Max Building Heights" figures would not accommodate the 24 storey landmark tower that is permitted on the Water Corporation site under the Masterplan (or the 26 storey tower approved under DA5.2010.524.1). The provision of a landmark tower in this location would be a key component of any redevelopment of the Water Corp site, and this corner location is particularly suitable for the landmark building permitted under the master plan. As such, the relationship between the Max Storeys and Max Building Heights columns (in relation to the landmark tower) should be clarified to avoid confusion.	19	The Leederville Activity Centre Plan is currently being prepared and would be the best place to determine more specific guidance for individual sites. The Activity Centre Plan will prevail over the Built Form Policy once it is approved. If the Water Corporation site is to be developed before the Activity Centre Plan is approved, the City will likely require a Local Development Plan be prepared.	No modification.
12.2	Object to six storeys along Beaufort Street in Mt Lawley and Highgate, should be five storeys.	21	Noted. Beaufort Street is one of the City's Town Centres and is identified as an area for higher density through the City's Local Planning Scheme No. 2. Six storeys is appropriate to achieve the City's housing targets.	No modification.
12.3	P1.1.5 is a deemed to comply provision rather than a design principle as it provides a way to meet the height design principles.	21	Agreed.	Move P1.1.5 to the Deemed to Comply column and renumber to C1.1.4.
12.4	<p>Supports the modification to Lot 3 Stirling Street to allow a maximum of three storeys. This is consistent with Lots 2 and 4 Stirling Street. It is noted that the future intent for these lots is to development all three sites and amalgamate the lots.</p> <p>Given the development intentions and noting the previous approval for multiple dwellings on Lots 2 and 4 (by Qube Development, approved by the Metro West JDAP on 17 April 2014) at four stories, it is considered that there is scope to increase building heights in order for the policy to accurately reflect the proposed development intentions and previous JDAP decisions.</p> <p>While it is appreciated that the site has historically been included in the Residential Built Form area historically due to previous uses, there is strong merit in now including the site in the Mixed Use area instead given the Commercial zoning of Lot 3 and the intent to develop the site for mixed use.</p> <p>In reviewing the Mixed Use provisions within the Policy, these appear to be far more suited to the development intentions of Woolworths and the previous Qube approval in relation to building height and built form at the site. It will also ensure consistency with the Mixed Use Built Form area south of Bulwer Street.</p> <p>On this basis, a modification to include the site (all three lots) within the Mixed Use Built Form area is requested. Should this be not supported and the site is retained in the Residential Built Form area, it is respectfully requested that the maximum building height requirement is increased to four stories (with variation to increase if certain criteria is met).</p>	22	The sites referred to by the submitter about Residential zoned land and Residential built form areas. Should the applicant wish to apply for additional height above what is permitted in the Built Form Policy, Administration will undertake an objective based assessment against the relevant design principles and local housing objectives. Alternatively a local development plan can be prepared over the site to ensure an appropriate built form outcome.	No modification.
13	Vehicle Access and Parking			

Amendment 1 to Local Planning Policy No. 7.1.1 – Built Form: Summary of Submissions

	Issue/Comment	Submitter	Administration Response	Recommended Modification
13.1	In relation to proposed Clause C1.7.9 - There should be provision for multiple crossovers on larger sites, if proven they can operate safely.	19	Should a development application propose more than one crossover an objective based assessment will be undertaken in accordance with the design principles and Local Housing Objectives which consider safe vehicle manoeuvring. The reduction of crossovers is not only for safe access and egress from sites, it also affects the flow of pedestrian and vehicle traffic, having minimal crossovers improves pedestrian and vehicle traffic movement and flow.	No modification.
14	Application of Policy			
14.1	Relationship to other documents – the word “master plan” should be added to the list of relevant documents to avoid any confusion.	19	Agreed. While the City only has the Leederville Activity Centre Master Plan, it would be appropriate to reference master plans generally in the text.	Modify wording of ‘Relationship to Other Documents’ as follows: “Where this Policy is inconsistent with the provisions of a specific Policy, <u>Master Plan</u> or Guidelines applying to a particular site or area (e.g. Character Retention Area Guidelines), the provisions of that specific Policy, <u>Master Plan</u> or Guidelines shall prevail.” Modify wording of P1.1.5 as follows: “...Activity Centre Plan, <u>Master Plan</u> or...”
14.2	Clause 1.7 is unclear. Does the Built Form Policy or the R-Codes apply where there are conflicts?	19, 21, 22	All requirements of the Built Form Policy will apply in lieu of the R-Codes where it is stated before the relevant provision. For all other provisions, the R-Codes will apply at the relevant R-Code designated through LPS 2 or the Built Form Policy. The notes before each clause in the Built Form Policy inform the reader how the clause relates to the R-Codes.	No modification.
15	Swan Canning Development Control Area			
15.1	The easternmost portion of the land subject to the policy should be notated that it is subject to the Department of Biodiversity, Conservation and Attractions’ Corporate Policy Statement No. 48 - Planning for Development Setback Requirements Affecting the Swan Canning Development Control Area.	20	All development applications abutting the Sawn Canning Development Control Area are referred to the relevant State authority as part of the assessment. Should there be a need to setback a development further than proposed, then the City’s officers will ensure that this is done at the development application stage.	No modification.
16	Gas infrastructure			
16.1	Concerns with rigorous root systems on existing gas pipelines and below ground infrastructure.	3	Refer to 6.5 above.	No modification to the Built Form Policy. Administration will modify the development application checklist to include a landscaping plan and a landscape maintenance schedule as accompanying materials to a development application.
16.2	In instances where the height of development protrudes into the airspace above the road reserve, the proposed design needs assessment by ATCO’s engineering team to ensure gas ventilation is not compromised.	3	All development is required to be within the lot boundary of each land parcel. Protrusion of buildings into the air space of the road reserve is not generally supported by the City, with the exception of awnings.	No modification.
16.3	ATCO is in the market of gas distribution. ATCO also recognises that energy performance is necessary for the future of development.	3	Noted.	No modification.

Amendment 2 to Local Planning Policy No. 7.1.1 – Built Form: Proposed Modifications

Recommended Modifications Resulting from Submissions

	Clause	Issue/Comment	Administration Response	Recommended Modification
1	Lot Boundary Setbacks			
1.1	C1.2.5, C4.3.4, C5.3.3 <i>Balconies are to be setback a minimum of 7.5 metres.</i>	In C1.2.5, 'C' requires a setback of 12.5 metres, can balconies extend closer than 12.5 metres?	No, as the development would then not be compliant with code C requirement of 12.5m. Agree that this is not clear in the advertised policy. It is unreasonable and impractical to require a 7.5m lot boundary setback as most properties have a 10-20m width. The privacy requirements in the R Codes provide sufficient privacy control for residential dwellings.	Delete clauses C1.2.5, 4.3.4 and 5.3.3 of the Amendment 1 advertised draft.
2	Building Design			
2.1	C1.3.6 <i>Commercial Development shall provide a protective awning over the pedestrian footpath.</i>	Clause C1.3.6 should be combined with C1.3.15 as they both relate to awnings.	Agree.	Reword Clause C1.3.15 of the Amendment 1 advertised draft: <u>Commercial development shall provide a protective awning over the pedestrian footpath, which Where provided, awnings shall be:</u> (a) Be a minimum height of 3.5m and a maximum height of 4m from finished floor level to the underside of the awning to accommodate under awning signage; (b) Be setback a minimum of 600mm from the face of kerb; (c) Respond to any existing and/or proposed verge trees; (d) Respond to the height, depth and form of existing awnings on the subject and adjoining buildings; (e) Respond to the slope of the site; and (f) Integrated with the design of the façade. Remove Clause C1.3.6, renumber remaining.
3	Environmentally Sustainable Design			
3.1	P1.5.2 <i>Development that maximises use of light coloured materials to reduce heat retention.</i>	P1.8.2 reads as a deemed to comply provision as opposed to a design principle. It is suggested that a design principle would state 'design which minimises heat retention' and a deemed to	Agree, the mechanism to achieve heat retention does not need to be stated in the Local Housing Objective.	Reword P1.5.2 of the Amendment 1 advertised draft: P1.5.2 Development that maximises use of light coloured materials to reduce <u>minimises heat retention</u> .

1

Amendment 2 to Local Planning Policy No. 7.1.1 – Built Form: Proposed Modifications

	Clause	Issue/Comment	Administration Response	Recommended Modification
		comply provision would include light coloured materials or shade devices.		
3.2	Definitions	C1.5.2 uses the term 'solar absorptance rating' without it being defined.	<p>Solar absorptance is the proportion of the solar radiation that is absorbed by roofing material (the remainder is reflected).</p> <p>Amendment 1 to the Built Form Policy proposed increased landscaping requirements, required that development achieve Environmentally Sustainable Design (ESD) requirements, and required that development applications complete an urban design study that would demonstrate how the design elements of the locality have been interpreted in the proposed development.</p> <p>Submitters raised that these draft provisions would increase the cost of preparing a development application and felt that these requirements would be overly onerous and costly to implement.</p>	<p>Include definition of solar absorptance as follows:</p> <p>The proportion of solar radiation that is absorbed by roofing materials.</p>

Amendment 2 to Local Planning Policy No. 7.1.1 – Built Form: Proposed Modifications

Clause	Issue/Comment	Administration Response	Recommended Modification
		<p>Administration understands that these requirements would put additional onus on developers, however, it is considered that landscaping and urban design requirements are critical in ensuring high amenity development. It is recommended that these requirements be retained in Amendment 2.</p> <p>With regards to the ESD requirements, Administration agrees that requiring single house development to achieve the required standards is overly onerous on land owners, and is in conflict with the Building Code of Australia. On this basis it is recommended that the requirement be changed to require developers to provide a report demonstrating that the development is capable of achieving the ESD standards.</p>	

3

Amendment 2 to Local Planning Policy No. 7.1.1 – Built Form: Proposed Modifications

	Clause	Issue/Comment	Administration Response	Recommended Modification
4	Building Height			
4.1	P1.1.5 <i>The City may approve development which exceeds the maximum height stated in Table 1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P1.1.1 – P1.1.4.</i>	P1.1.5 is a deemed to comply provision rather than a design principle as it provides a way to meet the height design principles.	Agreed.	Move P1.1.5 of the Amendment 1 advertised draft to the Deemed to Comply column and renumber to C1.1.4.
5	Application of Policy			
5.1	Relationship to other documents	Relationship to other documents – the word “master plan” should be added to the list of relevant documents to avoid any confusion.	Agreed. While the City only has the Leederville Activity Centre Master Plan, it would be appropriate to reference master plans generally in the text.	<p>Modify wording of ‘Relationship to Other Documents’ as follows: “Where this Policy is inconsistent with the provisions of a specific Policy, <u>Master Plan</u> or Guidelines applying to a particular site or area (e.g. Character Retention Area Guidelines), the provisions of that specific Policy, <u>Master Plan</u> or Guidelines shall prevail.”</p> <p>Modify wording of P1.1.5 as follows: “...Activity Centre Plan, <u>Master Plan</u> or...”</p>

Administration Recommended Modifications

Amendment 2 to Local Planning Policy No. 7.1.1 – Built Form: Proposed Modifications

No	Clause	Advertised Provision	City Comment	Proposed Modification
1.	Definition of Building Height	Building Height As per the R Codes.	It is unclear if basements and rooftop spaces are considered as a storey when assessing heights and setbacks.	Add definition for 'Storey' as follows: <u>That portion of a building which is situated between the top of any floor and the top of the floor next above it and, if there is no floor above it, that portion between the top of the floor and the ceiling above it but excludes any portion of a building used solely for car parking that is at least 50% below ground level.</u>
2.	Volume 1 C1.2.1, C4.2.2, C5.2.2 Volume 2 A1.3.1 Volume 3 A1.2.1	A setback of 4.5m for the ground floor, second storey and third storey; and a setback of 6.5m for the fourth storey and above for: <ul style="list-style-type: none"> R30 & R40 sites adjoining R20 sites; and R40 sites adjoining R30 sites. 	These large setbacks are considered too onerous for these lower densities. It is considered more suitable to apply a responsive setback which is determined by the height and length of the walls on the development proposed.	Modify Volume 1 - C1.2.1, C4.2.2, C5.2.2, Volume 2 - A1.3.1 and Volume 3 - A1.2.1 to apply setback A to: <ul style="list-style-type: none"> R30 & R40 sites adjoining R20 sites; and R40 sites adjoining R30 sites.
3.	C1.2.2, C1.2.3	C1.2.2 Minimum side boundary setbacks for the first two storeys is nil. C1.2.3 Side boundary setbacks for development three storeys and above and rear boundary setbacks are to be in accordance with Table 5 of the R Codes.	The advertised provisions conflict with C1.2.4 but should still apply.	Delete C1.2.2 and C1.2.3 and replace these with additional symbols E and F in the setback table. These provisions apply to non-residential built form areas which includes reserves. Renumber remaining.
4.	P1.8.5	Pitched roof structures or roof structures that are visible from the street or adjacent properties shall have a maximum solar absorptance rating of 0.5, unless an alternative is identified in the Urban Design Study.	Clause 1.8.5 should only be varied in instances where a roof style is suitable in the context of the development site.	Modify P1.8.5 as follows: Pitched roof structures or roof structures that are visible from the street or adjacent properties shall have a maximum solar absorptance rating of 0.5, unless an <u>suitable</u> alternative is identified in the Urban Design Study.
5.	P1.8.6	Development shall achieve one of the environmental performance ratings shown in the below table, or their equivalent*.	The Green Star rating is not recommended and Life Cycle Assessment does not produce a rating. The word 'standard' is more appropriate than 'rating'.	Modify P1.8.6 as follows: <u>Demonstrate that the development is capable of achieving</u> shall achieve one of the environmental performance ratings <u>standards</u> shown in the below table, or their equivalent*.

Amendment 2 to Local Planning Policy No. 7.1.1 – Built Form: Proposed Modifications

No	Clause	Advertised Provision	City Comment	Proposed Modification
			The current wording is also problematic for the Life Cycle Assessment (LCA) option as LCA doesn't produce a rating as such, it simply quantifies performance in terms of global warming potential and water use. The word "standard" would therefore serve better here than "rating".	
6.	P1.8.6	The table that follows C1.8.6 states: Life Cycle Assessment Methodologies	The table is not clear about the type of Life Cycle Assessment that is required. At the Development Application stage, a target setting report should be provided that shows the potential greenhouse gas and water savings of the development, and lists the applicant's preferred and reserve strategies for achieving those outcomes.	In the 'Minimum requirement to be achieved' column add the following: <u>Global Warming Potential and Net Fresh Water Use Performance Reduction as per Table *** below.</u>
7.	P1.8.6	The table that follows C1.8.6 does not clearly convey what is required for each development type.	More clarity is required as to when a Mixed Use development needs to report on both the Residential and Commercial components. If the Commercial component is negligible, then the City will accept a report on just the Residential component.	Modify the requirement to be clear what is required for each building type.
8.	P1.8.6	The table that follows C1.8.6 states: Residential component: Water use of the development over its lifetime to be reduced by 25% or more when compared to the average Australian code-compliant equivalent building built at the same time. Commercial component: Water use of the development over its lifetime to be reduced by 15% or more when compared to the average Australian code-compliant equivalent building built at the same time.	The water indicator and the water benchmarks have been updated to reflect achievable outcomes.	Modify the requirement for clear requirements for each type of building.
9.	C5.2.1	C5.2.1 The primary street setback is to be the average of the five dwellings adjoining either side lot	More clarity is required to ensure a consistent calculation approach. Minor projections should be excluded from the calculation. The setback	Modify C5.1.1 as follows: C5.1.1 The primary street setback is to be <u>calculated by averaging the setback of the average of the five</u>

Amendment 2 to Local Planning Policy No. 7.1.1 – Built Form: Proposed Modifications

No	Clause	Advertised Provision	City Comment	Proposed Modification
		boundary of the proposed development.	<p>should be calculated to the wall of the dwelling and not a balcony, patio, verandah etc.</p> <p>There is currently no guidance for upper storeys. It is appropriate that residential areas have all upper storeys behind lower storeys in order to reduce building bulk and improve the streetscape appearance.</p>	<p>dwelling's adjoining <u>properties</u> either <u>both</u> side lot boundaries of the proposed development.</p> <p>Add C5.1.2 as follows: C5.1.2 <u>For the purpose of averaging, the primary street setback is to be measured from the street alignment to the nearest wall of the dwelling excluding porches, verandahs, carports and balconies.</u></p> <p>Add C5.1.3 as follows: C5.1.3 <u>Walls on upper floors setback a minimum of 2 metres behind the ground floor predominant building line (excluding any porch or verandah), as determined by the City.</u></p> <p>Renumber the remaining criteria.</p> <p>Add C5.1.4 as follows: C5.1.4 <u>Balconies on upper floors setback a minimum of 1 metre behind the ground floor predominant building line (excluding any porch or verandah), as determined by the City.</u></p> <p>Add the following Local Housing Objectives to correspond with the above criteria: P5.1.2 <u>Development which incorporates predominant features of the streetscape.</u></p> <p>P5.1.3 <u>Development which clearly distinguishes all upper floors from lower storeys to clearly distinguish the parts of the dwelling.</u></p> <p>P5.1.4 <u>Development which minimises the visual bulk of the buildings through articulation of larger wall lengths and the stepping back of upper storeys walls.</u></p>
10.	C5.5.1	Garage width: As per the R Codes	This does not result in a suitable outcome where a balcony is proposed above the garage. This provision should be changed to remove the ability	Add the following deemed to comply criteria:

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Amendment 2 to Local Planning Policy No. 7.1.1 – Built Form: Proposed Modifications

No	Clause	Advertised Provision	City Comment	Proposed Modification
		<i>Where a garage is located in front or within 1m of the building, a garage door and its supporting structures (or a garage wall where a garage is aligned parallel to the street) facing the primary street is not to occupy more than 50 per cent of the frontage at the setback line as viewed from the street. This may be increased to 60 per cent where an upper floor or balcony extends for the full width of the garage and the entrance to the dwelling is clearly visible from the primary street (refer to Figure 8c).</i>	to extend the width of the garage due to the presence of a balcony.	<p>C5.5.1 <u>Garages which are 50% or less than the width of the lot.</u></p> <p>C5.5.2 <u>For lots less than 10 metres wide, garages which are a maximum of 4 metres wide.</u></p>
11.	5.7	Sight lines to be as per the R Codes.	The R Codes do not provide enough clarity to apply the criteria. There needs to be clear guidance on what the City will accept so that there does not have to be minor applications made for street walls and fences.	<p>C5.7.1 <u>Walls, fences and other structures truncated or reduced to no higher than 0.75m within 1.5m of where walls, fences and other structures adjoin vehicle access points, where a driveway meets a public street and where two streets intersect, with the exception of:</u></p> <ul style="list-style-type: none"> • <u>One pier/pillar with a maximum width and depth of 400 millimetres and 1.8 metres height above NGL, or 2.0 metres tall to the top of decorative capping above the NGL;</u> • <u>Fence slats or infill higher than 0.75 metres above NGL that provides a Clear Sight Line;</u> • <u>If a gate is proposed across a vehicle access point where a driveway meets a public street and where two streets intersect, the gate must provide:</u> <ul style="list-style-type: none"> ○ <u>When Closed: a minimum of 50 per cent unobstructed view;</u> ○ <u>When Open: a Clear Sight Line from 0.75m above the NGL within 1.5m of where the vehicle access way joins the street;</u> <p><u>For the purposes of this clause a Clear Sight Line means:</u></p>

Amendment 2 to Local Planning Policy No. 7.1.1 – Built Form: Proposed Modifications

No	Clause	Advertised Provision	City Comment	Proposed Modification
				<ul style="list-style-type: none"> Continuous horizontal or vertical gaps that constitute a minimum of 50% of the total surface area; A minimum gap size of 40mm; If slats are orientated to be deeper than they are wide - the distance between the slats must be no less than two-times the depth of the slat; Clear non-reflective glass.
12.	P5.12.6	P5.12.6 Development must be setback 1 metre from a right of way. If the site is subject to right of way widening, the setback is measured from the new lot boundary after the widening is applied.	This clause conflicts with C5.2.1 where a development has its primary street frontage to a right of way. In these circumstances, the average setback under C5.2.1 should not apply.	Modify P5.12.6 as follows: Development must be setback 1 metre from a right of way. If the site is subject to right of way widening, the setback is measured from the new lot boundary after the widening is applied. <u>Clause C5.2.1 is replaced by this clause where development has its primary street frontage to a right of way.</u>

Amendment 2 to Local Planning Policy No. 7.1.1 – Built Form: Proposed Modifications

Modifications recommended as a result of Design WA

No	Clause	Provision	Design WA	City Comment	Proposed Modification
1.	-	The City advertised Amendment 1 to the Built Form Policy as one document which applied to all types of development.	The new Residential Design Codes Volume 2 applies to applications for development approval of multiple dwellings on land coded R40 or higher. The Residential Design Codes Part 5 applies to Single Houses and Grouped Dwellings and will be renamed Volume 1.	The separation of land uses into two volumes makes it clear which provisions apply. There is no R Codes equivalent for Commercial Development.	Separate the Built Form Policy into three volumes as follows to ensure clarity in the application of objectives and requirements: <ul style="list-style-type: none"> • Volume 1 – Single Houses and Grouped Dwellings; • Volume 2 – Multiple Dwellings; and • Volume 3 – Commercial.
2.	Volumes 2 & 3	The City advertised Amendment 1 to the Built Form Policy with Design Principles and Deemed to Comply Criteria.	<p>The R Codes Volume 2 is a performance-based policy which includes element objectives and acceptable outcomes. Applications for development approval need to demonstrate that the design achieves the objectives of each design element. While addressing the Acceptable Outcomes is likely to achieve the Objectives, they are not a deemed-to-comply pathway and the proposal will be assessed in context of the entire design solution to ensure the Objectives are achieved. Proposals may also satisfy the Objectives via alternative means or solutions.</p> <p>Local Governments are not permitted to amend the element objectives of the R Codes Volume 2 however Clause 1.1 allows Local Governments to amend or replace certain Acceptable Outcomes.</p>	Performance-based assessment is a superior approach to the deemed-to-comply assessment style. It ensures that each element of development is considered within its context to achieve a good outcome rather than providing a compliant outcome which may not fit into the context.	Volumes 2 & 3 of the draft amended Built Form Policy are proposed as performance-based policies. These two Volumes also follow the format of elements in the R Codes Volume 2 so that it is clear which provisions of the R Codes Volume 2 which the Built Form Policy is amending or replacing.
3.	All Volumes	Assessment Process	Introduced a new performance-based assessment style for apartments. The deemed-to-comply assessment style will remain for single houses and grouped dwellings.	The Local Planning Policy should clearly define amendments and replacements of the Residential Design Codes.	Provide clear tables in the preliminary section of the document showing which provisions of the R Codes Are Amended or Replaced.

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Amendment 2 to Local Planning Policy No. 7.1.1 – Built Form: Proposed Modifications

No	Clause	Provision	Design WA	City Comment	Proposed Modification
			Local Governments may replace or amend certain provisions of the R Codes Part 5 and the R Codes Volume 2.		
4.	Volume 2 1.4, 4.4 and 5.4	Deep soil areas	Local Governments are not permitted to amend the acceptable outcomes relating to Tree Canopy and Deep Soil Areas without the approval of the WAPC.	The City achieved good outcomes through implementing the provisions in the current Built Form Policy. The R Codes Volume 2 proposes a deep soil area of 10% for each site or 7% where existing healthy trees are retained. The advertised amendment 1 proposed 12% deep soil area which could be reduced to 10% where existing trees are retained.	<p>A1.4.1, A4.4.1 & A5.4.1 <u>Deep soil areas are provided as a minimum of 12% of the site area. Deep soil areas are to be co-located with existing trees for retention and/or adjoining trees, or alternatively provided in a location that is conducive to tree growth and suitable for communal open space.</u></p> <p>A1.4.2, A4.4.2 & A5.4.2 <u>If existing trees, which meet the criteria of A 3.3.1 of the R Codes Volume 2, are retained on site the minimum deep soil area is to be 10% of the site area.</u></p>
5.	Volume 2 1.4, 4.4 and 5.4	Canopy Coverage	<p>Local Governments are not permitted to amend the acceptable outcomes relating to Tree Canopy and Deep Soil Areas without the approval of the WAPC.</p> <p>Further to the above, the proposed provisions in Design WA do not detail the types of trees to be used.</p>	<p>To maintain the intent of the Built Form Policy provisions whilst also being acceptable to the WAPC it is recommended that the City add to the Design WA requirement for tree planting by stating the desired canopy coverage which should be achieved.</p> <p>It is also suitable to outline which tree species are appropriate to reduce building bulk and where it may be suitable to provide trees which may allow light penetration in winter to adjoining development.</p>	<p>A1.4.4 Landscaping includes existing and new trees with shade producing canopies in accordance with Tables 3.3a and 3.3b of the R Codes Volume 2 <u>to achieve canopy coverage of 80% in the ground floor lot boundary setback.</u></p> <p>A4.4.4 & A5.4.4 Landscaping includes existing and new trees with shade producing canopies in accordance with Tables 3.3a and 3.3b of the R Codes Volume 2 <u>to achieve canopy coverage of 30% of the site area.</u></p> <p>A1.7.1 Uncovered at-grade parking is planted with trees at a minimum rate of one tree</p>

Amendment 2 to Local Planning Policy No. 7.1.1 – Built Form: Proposed Modifications

No	Clause	Provision	Design WA	City Comment	Proposed Modification
					<p>per four bays to achieve canopy coverage of 60% of the site.</p> <p>A1.4.5 <u>Evergreen tree species where landscaping is used to reduce the impact of building bulk.</u></p> <p>A1.4.6 <u>Deciduous tree species to the north and south of development to allow natural light penetration to the development and adjoining buildings.</u></p>
6.	Volume 2 A1.4.4, A4.4.5 & A5.4.4	Planting Area	The proposed requirement for a deep soil area on-structure does not provide a depth or dimension.	If there is no depth or dimension provided in the requirement shallow planting areas may be proposed which will not produce suitable canopy.	<p>A1.4.3, A4.4.3 & A5.4.3 Planting Areas are provided as a minimum of 3% of the site area.</p> <p>A1.4.7, A4.4.7 & A5.4.7 Where the required deep soil areas cannot be provided due to site restrictions, planting on structure with an area equivalent to two times the shortfall in deep soil area provision is provided <u>to a minimum depth and dimension of 1 metre.</u></p>
7.	Volume 3	All provisions	Performance-based assessment.	This is suitable for Commercial Development.	Volume 3 contains the design principles and deemed to comply requirements of the Built Form Policy with the addition of the Element Objectives and Acceptable Outcomes of Design WA tailored to Commercial Development. This ensures a robust assessment framework for proposals of solely Commercial Development.

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BUILT FORM

POLICY NO. 7.1.1 – BUILT FORM

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PART 1 – PRELIMINARY

POLICY DEVELOPMENT

This Policy has been prepared under the provisions of Schedule 2, Part 2, Clause 4 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

PURPOSE & APPLICATION

The purpose of this Policy is to provide guidance on the planning and design of all development in the City of Vincent. ~~This Policy applies to all development applications in the City of Vincent.~~

This Policy applies to all development in the City of Vincent as follows:

<u>Built Form Area (as identified in Figure 1)</u>	<u>Applicable Section of Policy</u>
<u>Town Centre</u>	<u>Part 1; and</u> <u>Part 2, Volumes 1, 2 and 3, Part 2 Section 1</u>
<u>Activity Corridor</u>	<u>Part 1; and</u> <u>Part 2, Volumes 1, 2 and 3, and, Section 2</u>
<u>Mixed Use</u>	<u>Part 1; and</u> <u>Part 2, Volumes 1, 2 and 3, and Section 3</u>
<u>Transit Corridor</u>	<u>Part 1; and</u> <u>Part 2, Volumes 1, 2 and 3, and Section 4</u>
<u>Residential</u>	<u>Part 1; and</u> <u>Part 2, Volumes 1, 2 and 3, Section 5</u> <u>Part 1 and Part 2, Section 5</u>
<u>Reserves</u>	<u>Nil</u>

POLICY OBJECTIVES

The objective of this Policy is for all single house and grouped dwelling development to:

Context

1. Development which integrates land use, public space and the form of the built environment to enable attractive, interesting, pedestrian-friendly outcomes for people;
2. Ensure development is Be respectful of local and historic context;
3. Preserve and reinterpret established built form and social character;
- 3.4. Facilitate redevelopment while maintaining and enhancing amenity;

Design

- 4.5. To facilitate good Be high quality and well-designed development, including both buildings and landscaping;

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6. Contribute to public spaces through design and maximise street level interest, articulation, materiality, openness, and interaction between inside and outside;

5. Development which fEncourage active participation ~~by the public~~ and have a positive influence ~~on on improving~~ public health by improving walkability and interest for ~~people~~pedestrians ~~facilitates activity and vibrancy~~;

7. _____

8. Design for a human scale, minimising blank walls and the detrimental impacts of services, utilities and car parking structures;

Encourage direct street level ~~pedestrian~~ access wherever possible;

9. _____

Contribute to and bridges between planning and design specialties.

10. ~~Encourage development that i~~Incorporate the principles of Crime Prevention through Environmental Design;

11. Respond to future changes in use, lifestyle and demography;

12. Provide sufficient privacy for residents without the need to retrofit screening devices;

13. Provide natural amenity and landscaping, including areas of deep soil that supports healthy plant and tree growth and contributes to the City's tree canopy, reduces urban heat island effect, and provides natural beauty and amenity to residents and visitors;

6. ~~To facilitate orderly and proper planning by providing Deemed to Comply requirements as a straight-forward pathway to approval and Design Principles and Local Housing Objectives for innovative solutions resulting in positive development outcomes.~~

Sustainability

7.14. ~~High quality urban places that are efficient, functional and attractive, and can r~~Respond to the changing needs of the community, environment and the economy over time in an efficient, functional and attractive manner;

15. ~~Improve R~~resource, energy and water efficiency throughout lifecycle including construction, maintenance and ongoing upkeep;

8.16. ~~Encourage building design that i~~Incorporate sustainable and energy efficient design that befits the local climate and provides comfortable living conditions while reducing greenhouse gas emissions;

Movement

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9.17. Maximise the opportunities provided by the City of Vincent's proximity to ~~the Perth central business district,~~ major public transport routes, ~~and~~ cycling networks and activity centres;

Housing

10.18. ~~To p~~Provide a range of development types and ~~encourage a range of~~ housing typologies to address the demographics and needs of the community;

19. ~~A focus on the retention~~Retain and adaptively re-use ~~of~~ the City's building stock; and

20. ~~and the p~~Provide ~~sion of~~ affordable housing.

Additional objectives specific to Built Form Areas are as follows:

Activity Corridor

21. To improve the built form connection and design between the City's Town Centres.

Mixed Use

22. To provide for a variety of built form that facilitates a positive interaction between a mix of land uses and residential densities.

Transit Corridor

23. To provide for high quality design of medium to high-density residential development.

Residential

24. To provide for high quality design of low, medium and high-density residential development.

RELATIONSHIP TO OTHER DOCUMENTS

This Local Planning Policy forms part of the City of Vincent (the City) local planning policy framework. Where this Policy is inconsistent with the City's local planning scheme, the local planning scheme prevails. Where this Policy is inconsistent with an adopted Local Development Plan, Activity Centre Plan or Structure Plan, the adopted Local Development Plan, Activity Centre Plan or Structure Plan prevails.

Where this Policy is inconsistent with the provisions of a specific Policy, Master Plan or Guidelines applying to a particular site or area (e.g. Character Retention Area Guidelines), the provisions of that specific Policy, Master Plan or Guidelines shall prevail.

DEFINITIONS

Active Frontage

A ground floor space where there is visual and/or physical engagement between those in the street and those on the ground floors of buildings.

Part 1 – Preliminary

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<u>Adjoining Property</u>	<u>Any lot which shares a boundary or portion of a boundary with a lot on which there is a proposed residential development site or is separated from that lot by a right-of-way, vehicle access way, pedestrian access way, access leg of a battleaxe lot or the equivalent not more than 6m in width.</u>
Articulation	Architectural composition in which elements and parts of the building are expressed logically, distinctly, and consistently, with clear joints. For the purposes of this Policy articulation refers to points within a dwelling that clearly distinguish one part of the dwelling from another, such as setback between the ground and upper floors and indentations or 'breaks' within building walls.
<u>Average Natural Ground Level</u>	<u>The average natural ground level is calculated as the average of the sum of the natural ground level points directly below the outermost corner points of the footprint of each level of the dwelling (see Figures 4 and 5).</u>
Awning	A roof like structure attached to a building to provide shelter.
Building Height	As per the <u>R Codes Part 5 R Codes Volume 1</u> .
Canopy Coverage	Land area covered by tree crowns (branches, leaves, and reproductive structures extending from the trunk or main stems) <u>from trees located within the subject site, excluding any area that falls within an adjoining privately owned lot.</u>
Climate Moderation Devices	A structure or element which provides suitable control of internal temperature and air conditions, but does not include air conditioners.
Colonnade	A sequence of columns, covered or open, free-standing or part of a building.
Dedicated Road	A road which has been committed to public use in accordance with the <i>Land Administration Act 1997</i> .
<u>Deemed Provisions</u>	<u>Schedule 2 of the <i>Planning and Development (Local Planning Schemes) Regulations 2015</i>.</u>
<u>Deep Soil Zone Area</u>	<u>Areas of soil within a development which provide a minimum space of 1 metre that allows for and supports mature plant and tree growth excluding areas covered with impervious surfaces. As per the R Codes Volume 2.</u>
External Fixtures	As per the <u>R Codes Part 5 R Codes Volume 1</u> .
Landscaping	As per the R Codes with additional clarification on "any other such area approved of by the decision-maker as landscaped area" to be defined as: Landscaped areas which are available for the use and enjoyment of the occupants, can include common and/or private open areas and recreational areas but does not include covered portions of

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	driveways, hard paved driveways and parking areas, open air porous parking areas and driveways, or green walls.
Natural Ground Level	As per the R Codes Part 5 <u>R Codes Volume 1</u> and Volume 2.
Permanent Structure	Building or development which is not temporary and cannot be easily removed, this includes but is not limited to development with footings.
<u>Planting Area</u>	<u>An area, which is not considered a deep soil area, with a minimum soil depth and dimension of 1 metre that supports growth of medium to large canopy trees.</u>
Primary Street	As per the R Codes. _____
R Codes <u>Volume 1</u>	Refers to State Planning Policy <u>7.3.4: Residential Design Codes Volume 1 (as amended).</u>
<u>R Codes Volume 2</u>	<u>Refers to State Planning Policy 7.3 Residential Design Codes Volume 2 - Apartments (as amended).</u>
Secondary Street	As per the R Codes Part 5 <u>R Codes Volume 1</u> .
Skillion Roof	A mono-pitch roof form.
Soft Landscaping	Any landscaped area with a minimum soil depth of 300mm that contains in-ground planting, and is exclusive of removable planter boxes/pots, artificial turf, green walls and porous paving areas.
<u>Solar Absorptance</u>	<u>The proportion of solar radiation that is absorbed by roofing materials.</u>
Stall Riser	The part of a shop front below a window.
<u>Storey</u>	<u>That portion of a building which is situated between the top of any floor and the top of the floor next above it and, if there is no floor above it, that portion between the top of the floor and the ceiling above it but excludes any portion of a building used solely for car parking that is at least 50% below ground level.</u>
<u>Streetscape Design Elements</u>	<u>Design features of the street including, colour palette, texture, scale, materials, roof pitch and open spaces that combine to form the street's character.</u>
Streetscape	The visual elements of a street including the road, adjoining buildings, foot paths, street furniture, trees and open spaces that combine to form the street's character.
<u>Urban Design Study Area</u>	<u>The immediate street and two adjoining street blocks.</u>
Verandah	A roofed platform partly enclosed or unenclosed extending across the front and sides of a building. As per the R Codes Volume 1.
Visible Light Transmission	Light passing directly through glass.

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Visually permeable As per the ~~R-Codes Part 5~~R Codes Volume 1 and Volume 2.

APPLICATION OF POLICY & DEVELOPMENT STANDARDS

1. Application

- ~~1.1. Part 2, Section 1 of this Policy applies to applications for development in the areas identified as town-centre areas on Figure 1, pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.~~
- ~~1.2. Part 2, Section 2 of this Policy applies to applications for development in the areas identified as activity corridor areas on Figure 1 pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.~~
- ~~1.3. Part 2, Section 3 of this Policy applies to applications for development in the areas identified as mixed use areas on Figure 1 pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.~~
- ~~1.4. Part 2, Section 4 of this Policy applies to applications for development in the areas identified as transit corridor areas on Figure 1 pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.~~
- ~~1.5. Part 2, Section 5 of this Policy applies to applications for development in the areas identified as residential areas on Figure 1 pursuant to Schedule 2, Part 7 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.~~

2. Development Standards

- ~~2.1. Applications for development that comply with the relevant Deemed to Comply policy provisions are considered to be acceptable and will therefore be approved.~~
- ~~2.2. Applications for development that propose any of the Not-Accepted policy provisions specified will be refused.~~
- ~~2.3. Applications for development that seek departure from the Deemed to Comply' policy provisions may be deemed to be acceptable where the following occurs:~~
 - ~~2.3.1 The applicant applies for assessment against the relevant Design Principles, Local Housing Objectives, Policy Objectives and Objectives of the local planning scheme;~~
 - ~~2.3.2 The applicant provides adequate justification against those Design Principles, Local Housing Objectives, Policy Objectives and Objectives of the local planning scheme;~~
 - ~~2.3.3 Where required by the City's Policy 4.2.13 – Design Advisory Committee (DAC), the applicant presents the development to the DAC to review and provide comment to the City regarding whether the application meets the relevant Design Principles contained within the Policy and Appendix 1 and Local Housing Objectives; and~~

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~~2.3.4 The City will assess and determine at its discretion that the outcome will achieve the relevant Design Principles, Local Housing Objectives, Policy Objectives and Objectives of the local planning scheme.~~

ASSESSMENT PROCESS**1. Single Houses and Grouped Dwellings – Volume 1.**

1.1. Applications for development approval where the R Codes apply shall be assessed in accordance with the R Codes.

1.2. In assessing applications for development approval and local development plans the City shall have regard to the Policy Objectives of Part 1 and Design Principles included in Appendix 1.

1.3. In accordance with Clause 7.3.2 of the R Codes Volume 1, this Policy contains Local Housing Objectives as follows:

1.3.1. Clauses 1.1 – 1.7, 2.1, 3.1, 4.1 – 4.6, 5.1 – 5.9 guide judgements about the merits of proposals where that aspect of residential development does not meet the applicable requirements of the R Codes Volume 1; and

1.3.2. Clauses 1.8 – 1.9 and 5.12 guide judgements about the merits of proposals of aspects of residential development not provided for under the R Codes Volume 1.

1.4 In accordance with Clause 7.3 of the R Codes Volume 1, this Policy contains provisions that amend or replace the deemed-to-comply provisions set out in Part 5 of the R Codes. The Design Principles of the R Codes Volume 1 remain and apply. The table below details which deemed to comply provisions of the R Codes Volume 1 have been amended (clarified) or replaced (provide new) by deemed to comply provisions of Volume 1 of the Built Form Policy.

<u>R Code Design Element</u>	<u>Applicable Built Form Policy Clause No.</u>			<u>Applicable Deemed to comply standard</u>
	<u>Town Centre; Mixed Use; and Activity Corridors</u>	<u>Transit Corridors</u>	<u>Residential</u>	
<u>5.1.1 Site area</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>Clause 5.1.1 of the R Codes Volume 1 remains and applies.</u>
<u>5.1.2 Street Setback</u>	<u>1.1</u>	<u>4.1</u>	<u>5.1</u>	<u>Volume 1, Clause 1.1, 4.1 and 5.1 replace Clause 5.1.2 C2.1 of the R Codes Volume 1.</u> <u>Clauses 5.1.2 C2.2 – C2.4 of the R Codes Volume 1 remain and apply.</u>
<u>5.1.3 Lot Boundary Setback</u>	<u>1.2*</u>	<u>4.2*</u>	<u>5.2*</u>	<u>Volume 1, Clause 1.2, 4.2 and 5.2 amend Clause 5.1.3 of the R Codes.*</u>

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<u>R Code Design Element</u>	<u>Applicable Built Form Policy Clause No.</u>			<u>Applicable Deemed to comply standard</u>
	<u>Town Centre; Mixed Use; and Activity Corridors</u>	<u>Transit Corridors</u>	<u>Residential</u>	
<u>(C3.2-3.3)*</u>				For Town Centre, Mixed Use and Activity Corridor Built Form Areas Clauses 5.1.3 C3.2 and C3.3 of the R Codes Volume 1 remain and apply. For Residential Built Form Areas Clause 5.1.3 C3.3 remains and applies
<u>5.1.4 Open space</u>	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.1.4 of the R Codes Volume 1 remains and applies.
<u>5.1.5 Communal open space</u>	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.1.5 of the R Codes Volume 1 remains and applies.
<u>5.1.6 Building height</u>	<u>1.3, 2.1 and 3.1</u>	<u>4.3</u>	<u>5.3</u>	Volume 1, Clause 1.3, 2.1, 3.1, 4.3 and 5.3 replace Clause 5.1.6 C6 of the R Codes Volume 1.
<u>5.2.1 Setback of garages and carports</u>	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	<u>5.4</u>	Volume 1, Clause 5.4 replaces Clause 5.2.1 C1.1, C1.2, C1.4 and C1.5 of the R Codes Volume 1. For Residential Built Form Area Clause 5.2.1 C1.3 of the R Codes Volume 1 remains and applies. For Town Centres, Mixed Use and Activity Corridors Built Form Areas Clause 5.2.1 of the R Codes Volume 1 remains and applies.
<u>5.2.2 Garage width</u>	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	<u>5.5</u>	For Residential Built Form Areas Volume 1, Clause 5.5 replaces Clause 5.2.2 C2 of the R Codes Volume 1. For Town Centres, Mixed Use and Activity Corridors Built Form Areas Clause 5.2.2 of the R Codes Volume 1 remains and applies.

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R Code Design Element	Applicable Built Form Policy Clause No.			Applicable Deemed to comply standard
	Town Centre; Mixed Use; and Activity Corridors	Transit Corridors	Residential	
<u>5.2.3 Street surveillance</u>	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	<u>5.6</u>	For Residential Built Form Areas Volume 1, Clause 5.6 applies in addition to Clause 5.2.3 of the R Codes Volume 1. For Town Centres, Mixed Use and Activity Corridors Built Form Areas Clause 5.2.3 of the R Codes Volume 1 remains and applies.
<u>5.2.4 Street walls and fences</u>	No Built Form Policy deemed to comply requirements.	<u>4.4</u>	<u>5.7</u>	For Transit Corridor and Residential Built Form Areas Volume 1, Clause 4.4 and 5.7 replaces Clause 5.2.4 C4 of the R Codes. For Town Centre, Mixed Use and Activity Corridors Built Form Areas Clause 5.2.4 of R Codes Volume 1 remains and applies.
<u>5.2.5 Sight lines</u>	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	<u>5.8</u>	For the Residential Built Form Areas Volume 1, Clause 5.8 replaces Clause 5.2.5 C5 of the R Codes.
<u>5.2.6 Appearance of retained dwelling</u>	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.2.6 of the R Codes Volume 1 remains and applies.
<u>5.3.1 Outdoor living areas</u>	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.3.1 of the R Codes Volume 1 remains and applies.
<u>5.3.2 Landscaping*</u>	<u>1.4*</u>	<u>4.5*</u>	<u>5.8*</u>	Volume 1, Clauses 1.4, 4.4 and 5.8 replace Clause 5.3.2 C2 of the R Codes Volume 1.*
<u>5.3.3 Parking</u>	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.3.3 of the R Codes Volume 1 remains and applies.
<u>5.3.4 Design of car parking spaces</u>	No Built Form Policy deemed to	No Built Form Policy deemed to	No Built Form Policy deemed to	Clause 5.3.4 of the R Codes Volume 1 remains and applies

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R Code Design Element	Applicable Built Form Policy Clause No.			Applicable Deemed to comply standard
	Town Centre; Mixed Use; and Activity Corridors	Transit Corridors	Residential	
	<u>comply requirements.</u>	<u>comply requirements.</u>	<u>comply requirements.</u>	
<u>5.3.5 Vehicular access</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>Clause 5.3.5 of the R Codes Volume 1 remains and applies.</u>
<u>5.3.6 Pedestrian access</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>Clause 5.3.6 of the R Codes Volume 1 remains and applies.</u>
<u>5.3.7 Site works</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>Clause 5.3.7 of the R Codes Volume 1 remains and applies.</u>
<u>5.3.8 Retaining walls</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>Clause 5.3.8 of the R Codes Volume 1 remains and applies.</u>
<u>5.3.9 Stormwater management</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>Clause 5.3.9 of the R Codes Volume 1 remains and applies.</u>
<u>5.4.1 Visual privacy</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>Clause 5.4.1 of the R Codes Volume 1 remains and applies.</u>
<u>5.4.2 Solar access for adjoining sites</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>Clause 5.4.2 of the R Codes Volume 1 remains and applies.</u>
<u>5.4.3 Outbuildings</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>Clause 5.4.3 of the R Codes Volume 1 remains and applies.</u>

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<u>R Code Design Element</u>	<u>Applicable Built Form Policy Clause No.</u>			<u>Applicable Deemed to comply standard</u>
	<u>Town Centre; Mixed Use; and Activity Corridors</u>	<u>Transit Corridors</u>	<u>Residential</u>	
<u>5.4.4 External fixtures, utilities and facilities</u>	<u>1.7</u>	<u>4.6</u>	<u>5.9</u>	<u>Volume 1, Clause 1.7, 4.6 and 5.9 replaces Clause 5.4.4 C4.3 and C4.4 of the R Codes Volume 1.</u> <u>Clauses 5.4.4 C4.1 and C4.2 of the R Codes Volume 1 remain and apply.</u>
<u>5.5.1 Ancillary dwellings</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>Clause 5.5.1 of the R Codes Volume 1 remains and applies.</u>
<u>5.5.2 Aged or dependent persons' dwelling C2.1ii</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>Clause 5.5.2 of the R Codes Volume 1 remains and applies.</u>
<u>5.5.3 Single bedroom dwellings</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>No Built Form Policy deemed to comply requirements.</u>	<u>Clause 5.5.3 of the R Codes Volume 1 remains and applies.</u>

*The Built Form Policy Deemed to Comply provisions represent a Council adopted policy position however do not apply as Deemed to Comply provisions until the Western Australian Planning Commission (WAPC) have granted approval in accordance with section 7.3 of the R Codes Volume 1. Until the WAPC have granted approval the relevant Deemed to Comply provisions of the R Codes Volume 1 apply.

2. Multiple Dwellings and Mixed Use – Volume 2

2.1. In accordance with the Clause 1.2.2 of R Codes Volume 2, this Policy contains provisions that amend or replace the Acceptable Outcomes set out in Part 2, 3 and 4 of the R Codes Volume 2. The Element Objectives of the R Codes Volume 2 remain and apply. The table below details which Acceptable Outcomes of the R Codes Volume 2 have been amended or replaced by Acceptable Outcomes of Volume 2 of the Built Form Policy.

R Code Element	Applicable Built Form Policy Clause No.			Applicable acceptable outcomes
	Town Centre; Mixed Use; and Activity Corridors	Transit Corridors	Residential	
<u>2.1 Primary controls</u>	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	There are no Acceptable Outcomes in this section of the R Codes Volume 2 however subsequent provisions refer to parts of Table 2.1 – Primary controls table.
<u>2.2 Building height</u>	<u>1.1, 2.1 & 3.1</u>	<u>4.1</u>	<u>5.1</u>	<u>Volume 2, Clauses 1.1, 2.1, 3.1, 4.1 and 5.1 replace Acceptable Outcome A 2.2.1 of the R Codes Volume 2.</u>
<u>2.3 Street setbacks</u>	<u>1.2</u>	<u>4.2</u>	<u>5.2</u>	<u>Volume 2, Clauses 1.2, 4.2 and 5.2 replace Acceptable Outcome A 2.3.1 of the R Codes Volume 2.</u>
<u>2.4 Side and rear setbacks</u>	<u>1.3</u>	<u>4.3</u>	<u>5.3</u>	<u>Volume 2, Clauses 1.3, 4.3 and 5.3 replace Acceptable Outcome A 2.4.1 of the R Codes Volume 2.</u> Clause A 2.4.2 of the R Codes Volume 2 remains and applies.
<u>2.5 Plot ratio</u>	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 2.5 of R Codes Volume 2 remains and applies.
<u>2.6 Building depth</u>	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 2.6 of R Codes Volume 2 remains and applies.
<u>2.7 Building separation</u>	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 2.7 of R Codes Volume 2 remains and applies.
<u>2.8 Development incentives for community benefit</u>	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	There are no Acceptable Outcomes in Clause 2.8 of the R Codes Volume 2.
<u>3.1 Site analysis and design response</u>	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	There are no Acceptable Outcomes in Clause 3.1 of the R Codes Volume 2.

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R Code Element	Applicable Built Form Policy Clause No.			Applicable acceptable outcomes
	Town Centre; Mixed Use; and Activity Corridors	Transit Corridors	Residential	
<u>3.2 Orientation</u>	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 3.2 of R Codes Volume 2 remains and applies.
<u>3.3 Tree canopy and deep soil areas*</u>	<u>1.4*</u>	<u>4.3*</u>	<u>5.3*</u>	<p><u>Volume 2, Clauses A1.4.1, A1.4.2, A4.3.1, A4.3.2, A4.3.8, A5.3.1 and A5.3.2 replace A 3.3.4 of the R Codes Volume 2.</u></p> <p><u>Volume 2, Clauses A1.4.3, A1.4.7, A4.3.3, A4.3.7, A5.3.3 and A5.3.7 replace A 3.3.7 of the R Codes Volume 2.</u></p> <p><u>Volume 2, Clauses A1.4.4, A1.4.5, A1.4.6, A4.3.4, A4.3.5, A4.3.6, A5.3.4, A5.3.5 and A5.3.6 replace A 3.3.5 of the R Codes Volume 2.</u></p> <p><u>Clauses A 3.3.1, A 3.3.2, A 3.3.3 and A 3.3.6 of the R Codes Volume 2 remain and apply.</u></p>
<u>3.4 Communal open space</u>	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 3.4 of R Codes Volume 2 remains and applies.
<u>3.5 Visual privacy</u>	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 3.5 of R Codes Volume 2 remains and applies.
<u>3.6 Public domain interface</u>	No Built Form Policy Acceptable Outcomes.	<u>4.5</u>	<u>5.5</u>	<p><u>For Transit Corridor and Residential Built Form Areas Clause 4.5 and 5.5 apply in addition to Clauses A 3.6.1 – A 3.6.9 of R Codes Volume 2.</u></p> <p><u>For Town Centre, Mixed Use and Activity Corridors Built Form Areas Clauses A 3.6.1 – A 3.6.9 R Codes Volume 2 remain and apply.</u></p>
<u>3.7 Pedestrian access and entries</u>	<u>1.5</u>	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	<p><u>For Town Centre, Mixed Use and Activity Corridors Built Form Areas Clause 1.5 applies in addition to Clauses A 3.7.1 to A 3.7.6 of R Codes Volume 2.</u></p> <p><u>For Transit Corridors and Residential Built Form Areas Clauses A 3.7.1 to A 3.7.6 of R Codes Volume 2 remain and apply.</u></p>

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R Code Element	Applicable Built Form Policy Clause No.			Applicable acceptable outcomes
	Town Centre; Mixed Use; and Activity Corridors	Transit Corridors	Residential	
<u>3.8 Vehicle Access</u>	<u>1.6</u>	<u>4.6</u>	<u>5.6</u>	<u>Clause 1.6, 4.6 and 5.6 applies in addition to Clause A 3.8.1 – A 3.8.7 of R Codes Volume 2.</u>
<u>3.9 Car and bicycle parking*</u>	<u>1.7*</u>	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	<u>For Town Centre, Mixed Use and Activity Corridors Built Form Areas Clause A1.7.1 replaces Clause A 3.9.9.*</u> For Transit Corridor and Residential Built Form Areas Clauses A 3.3.1 – 3.3.10 of R Codes Volume 2 remain and apply.
<u>4.1 Solar and daylight access</u>	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	<u>Clause 4.1 of R Codes Volume 2 remains and applies.</u>
<u>4.2 Natural ventilation</u>	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	<u>Clause 4.2 of R Codes Volume 2 remains and applies.</u>
<u>4.3 Size and layout of dwellings</u>	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	<u>Clause 4.3 of R Codes Volume 2 remains and applies.</u>
<u>4.4 Private open space and balconies</u>	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	<u>Clause 4.4 of R Codes Volume 2 remains and applies.</u>
<u>4.5 Circulation and common spaces</u>	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	<u>Clause 4.5 of R Codes Volume 2 remains and applies.</u>
<u>4.6 Storage</u>	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	<u>Clause 4.6 of R Codes Volume 2 remains and applies.</u>
<u>4.7 Managing the impact of noise</u>	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	<u>Clause 4.7 of R Codes Volume 2 remains and applies.</u>
<u>4.8 Dwelling mix</u>	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	<u>Clause 4.8 of R Codes Volume 2 remains and applies.</u>

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R Code Element	Applicable Built Form Policy Clause No.			Applicable acceptable outcomes
	Town Centre; Mixed Use; and Activity Corridors	Transit Corridors	Residential	
4.9 Universal design	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.9 of R Codes Volume 2 remains and applies.
4.10 Façade design	1.8	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	For Town Centre, Mixed Use and Activity Corridors Built Form Areas Clause 1.8 applies in addition to Clause A 4.10.1 – A 4.10.6 of R Codes Volume 2. For Transit Corridors and Residential Built Form Areas Clause A 4.10.1 – A 4.10.6 of R Codes Volume 2 remain and apply.
4.11 Roof design	1.9	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	For Town Centre, Mixed Use and Activity Corridors Built Form Areas Clause 1.9 applies in addition to Clauses A 4.11.1 – A 4.11.3 of R Codes Volume 2. For Transit Corridors and Residential Built Form Areas Clauses A 4.11.1 – A 4.11.3 of R Codes Volume 2 remain and apply.
4.12 Landscape design	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.12 of R Codes Volume 2 remains and applies.
4.13 Adaptive reuse	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.13 of R Codes Volume 2 remains and applies.
4.14 Mixed use	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.14 of R Codes Volume 2 remains and applies.
4.15 Energy efficiency	1.10*	1.10*	1.10*	Volume 2, Clauses A1.10.1 and A1.10.2 replace A4.15.1 of the R Codes Volume 2.
4.16 Water management and conservation	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.16 of R Codes Volume 2 remains and applies.
4.17 Waste management	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.17 of R Codes Volume 2 remains and applies.

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<u>R Code Element</u>	<u>Applicable Built Form Policy Clause No.</u>			<u>Applicable acceptable outcomes</u>
	<u>Town Centre; Mixed Use; and Activity Corridors</u>	<u>Transit Corridors</u>	<u>Residential</u>	
<u>4.18 Utilities</u>	<u>No Built Form Policy Acceptable Outcomes.</u>	<u>No Built Form Policy Acceptable Outcomes.</u>	<u>No Built Form Policy Acceptable Outcomes.</u>	<u>Clause 4.18 of R Codes Volume 2 remains and applies.</u>
<u>N/A</u>	<u>1.10</u>	<u>N/A</u>	<u>N/A</u>	<u>For Town Centre, Mixed Use and Activity Corridors Clause 1.10 augments R Codes Volume 2.*</u>

*The Built Form Policy Acceptable Outcomes represent a Council adopted policy position however do not apply as Acceptable Outcomes until the Western Australian Planning Commission (WAPC) have granted approval in accordance with section 1.2 of the R Codes Volume 2. Until the WAPC have granted approval the relevant Acceptable Development provisions of the R Codes Volume 1 apply.

2.2 In accordance with Part 1, Clause 1.2.4 of the R Codes Volume 2 Objective 1.10.1 guides judgement about the merits of proposals relating to environmentally sustainable design which is not provided for under the R-Codes Volume 2

2.3 The R-AC3 provisions of the R Codes Volume 2 shall apply to all multiple dwelling and mixed use applications for development approval on sites zoned Regional Centre, District Centre, Local Centre and Commercial.

3. Commercial – Volume 3

- 3.1 In assessing applications for development approval against Volume 3, the decision-maker shall have regard to:
- the objectives of the Local Planning Scheme; and
 - policy objectives provided in Part 1, Design Principles provided in Appendix 1 and the Element Objectives provided in Part 2.
- 3.2 Volume 3 applies throughout the City of Vincent to the development of commercial buildings.
- 3.3 The element objectives are to be used in the preparation, submission and assessment of proposals for the purpose of determining their compliance with the Built Form Policy.
- 3.4 Applications for development approval need to demonstrate that the design achieves the objectives of each design element. While addressing the Acceptable Outcomes is likely to achieve the Objectives, they are not a deemed-to-comply pathway and the proposal will be assessed in context of the entire design solution to ensure the Objectives are achieved. Proposals may also satisfy the Objectives via alternative means or solutions.

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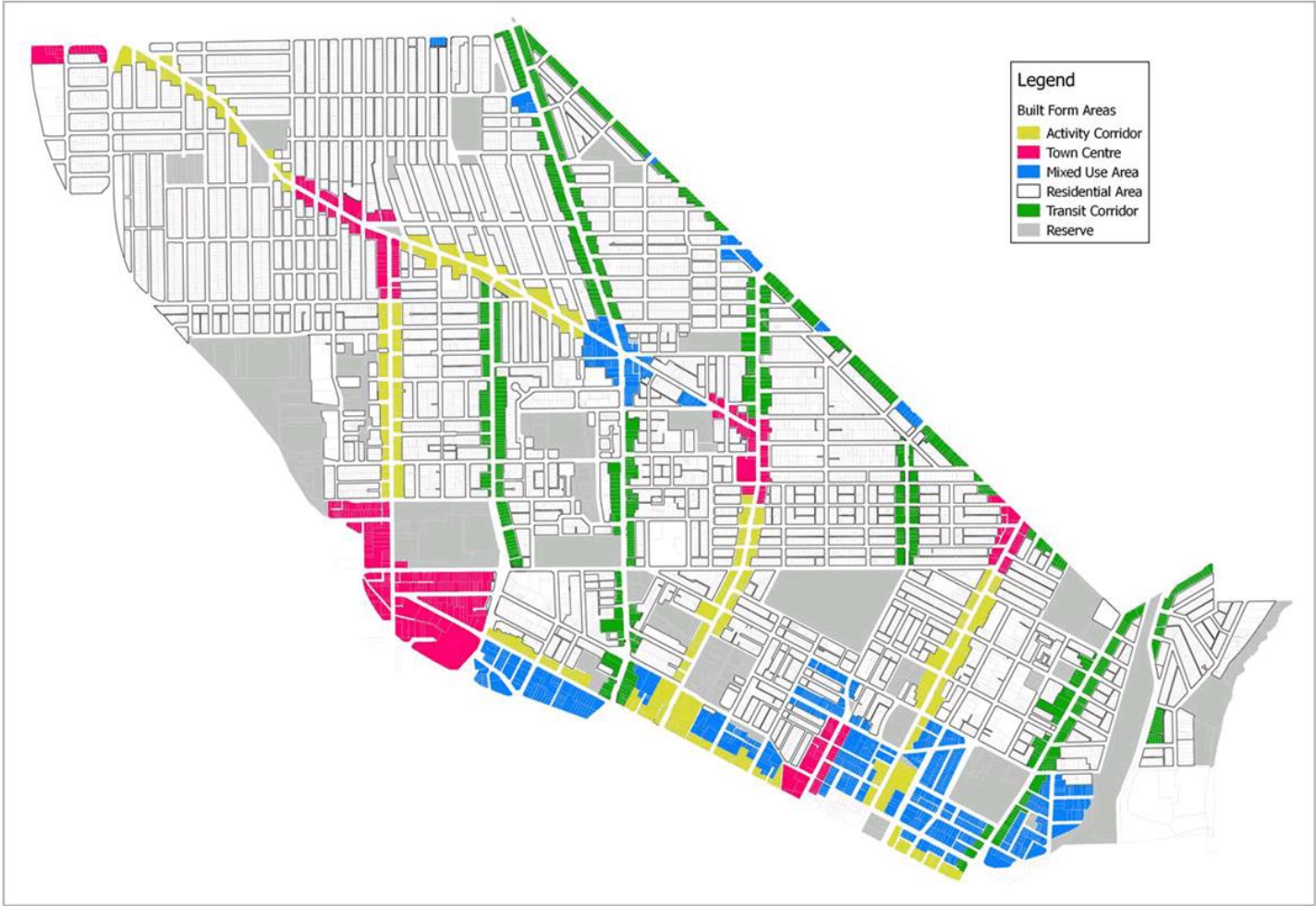


FIGURE 1 – BUILT FORM AREAS

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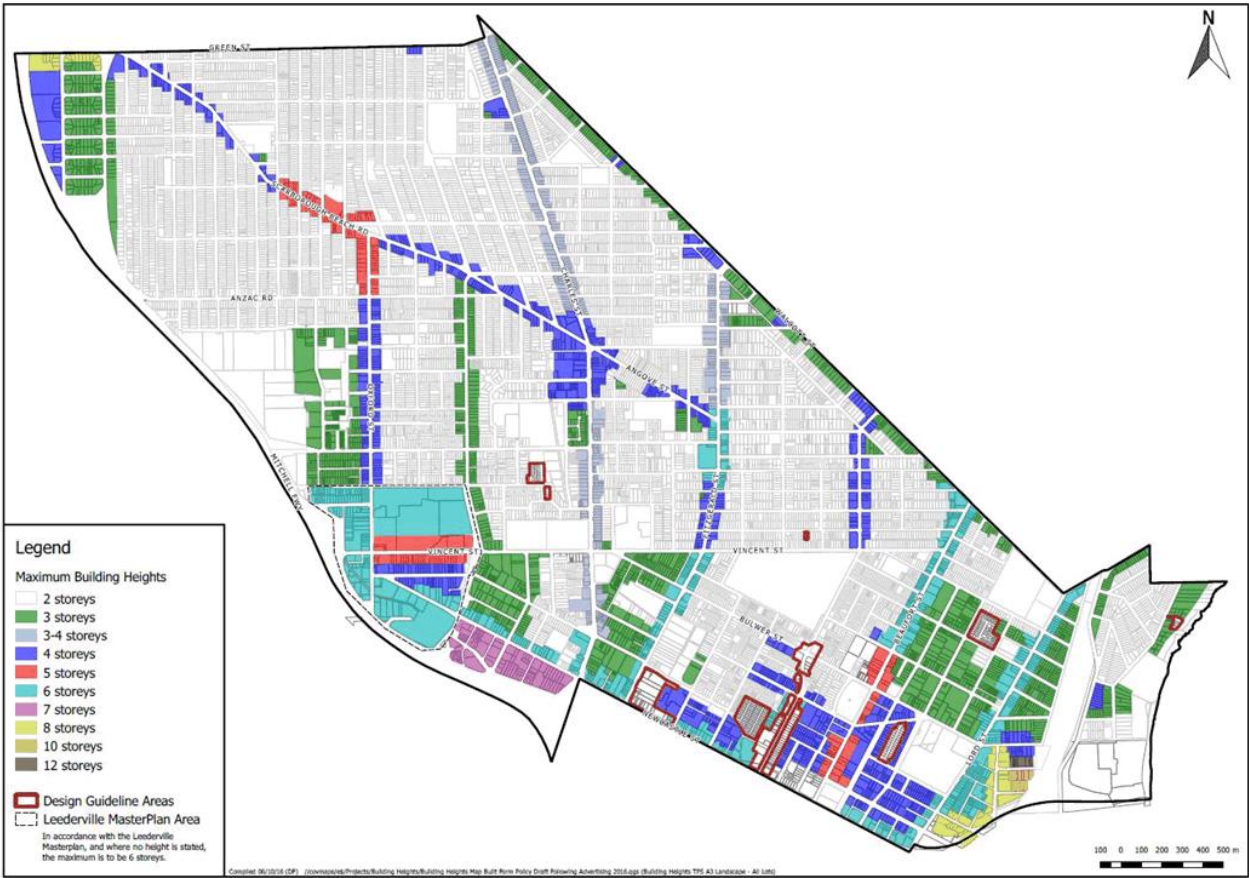




FIGURE 2 – BUILDING HEIGHTS

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PART 2 – POLICY PROVISIONS**VOLUME 1, SINGLE HOUSES AND GROUPED DWELLINGS – POLICY PROVISIONS****SECTION 1 – TOWN CENTRES****1.1 Street Setbacks (Primary and Secondary)**

Design Principles & Local Housing Objectives	Deemed to Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.2, 5.1.3, 6.1.3 and 6.1.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.1.2 and 6.1.3 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
P1.1.1 Development which incorporates design elements that reduce the impact of building bulk.	C1.1.1 Primary and secondary street setback for the first three storeys is nil.
P1.1.2 Development which maximises natural light access, natural ventilation and, internal and external privacy.	
P1.1.3 Setbacks that facilitate the provision of landscaping.	
P1.1.4 Development which activates and addresses rights of way.	
P1.1.5 Street setbacks that facilitate the provision of useable open space, alfresco dining opportunities and landscaping which contributes to canopy coverage.	

1.2 Lot Boundary Setbacks

Design Principles & Local Housing Objectives	Deemed to Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.2, 5.1.3, 6.1.3 and 6.1.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<u><i>Lot Boundary Setbacks Adjoining Non-Residential Built Form Areas</i></u>
P1.2.1 Development which incorporates design elements that reduce the impact of building bulk.	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.1.3 and 6.1.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
P1.2.2 Development which maximises natural light access, natural ventilation and, internal and external privacy.	C1.2.2 Minimum side boundary setbacks for the first two storeys is nil.
P1.2.3 Setbacks that facilitate the provision of <u>deep soil areas and canopy coverage</u> .	C1.2.3 Side boundary setbacks for development three storeys and above and rear boundary setbacks are to be in accordance with Table 5 of the R Codes unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.
P1.2.4 Development which activates and addresses rights of way.	<u><i>Lot Boundary Setbacks Adjoining Residential Built Form Areas</i></u>
P1.2.5 Street setbacks that facilitate the provision of useable open space, alfresco dining opportunities and landscaping which contributes to canopy coverage.	C1.2.4 Lot boundary setbacks adjoining properties coded R60 and above are: <ul style="list-style-type: none"> • Ground floor, second and third storey is 4.5m; and • fourth storey and above 6.5m; unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.
	C1.2.5 Lot boundary setbacks adjoining properties coded R50 and below are: <ul style="list-style-type: none"> • Ground floor, second and third storey is 6.5m; and • fourth storey and above 12.5m; unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.

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C1.2.41 Lot boundary setbacks in accordance with the following tables 1-1.2a and 1-1.2b:

Table 1-1.2a

		Subject Property								
		R20	R30	R40	R50	R60	R80	R100+	R – AC3	No R- Code
Neighbouring Property	Residential Built Form Area	R20	A	AB	AB	C	C	C	C	C
		R30	A	A	AB	B	C	C	C	C
		R40	A	A	A	B	B	C	C	C
		R50	A	A	A	A	B	B	C	C
		R60	A	A	A	A	A	B	B	B
		R80	A	A	A	A	A	D	D	D
		R100+	A	A	A	A	A	D	D	D
		No R- Code	A	A	A	A	A	D	D	D
	Non-Residential Built Form Area	AE	AE	AE	AE	AE	DF	DF	DF	DF

Table 1-1.2b

	Setback for ground floor, second storey and third storey	Setback for the fourth storey and above
A	R Codes Volume 1 table 2a and 2b;	R Codes Volume 1 table 2a and 2b;
B	4.5m	6.5m
C	6.5m	12.5
D	Table 1-1.2c	Table 1-1.2c
E	Nil	R Codes Volume 1 table 2a and 2b
F	Nil	Table 1-1.2c

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Table 1-1.2c

	Width of lot in metres	
	≤ 14	≥ 14
Setback in metres	3	4

~~C1.2.5 — Balconies are to be setback a minimum of 7.5 metres.~~

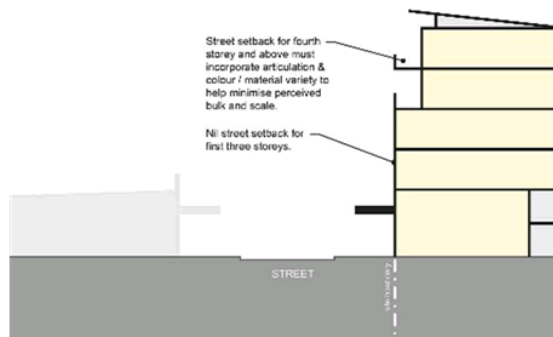
Development Adjoining Rights of Way

C1.2.52 Where development adjoins a right of way the setback shall be measured from the midpoint of the right of way.

C1.2.63 Development must address adjoining rights of way by providing passive surveillance and openings to the right of way.

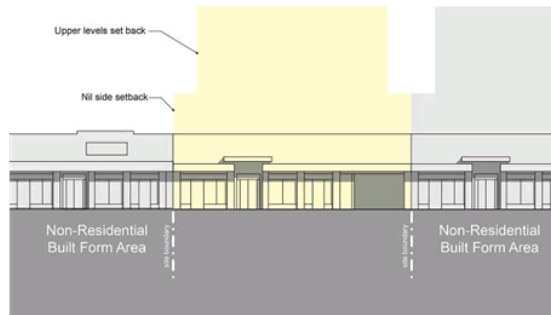
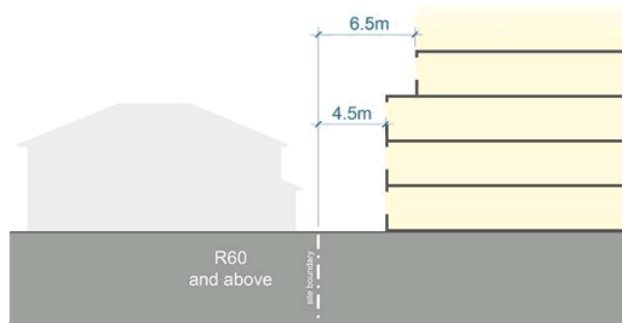
Not Accepted

~~N1.2.1 — Non-compliance with lot boundary setback provisions where the site adjoins land coded R40 and below.~~



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Figure C1.2.1 – Town Centre Street Setback*Figure C1.2.3 – Side boundary setbacks adjoining non-residential area**Figure C1.2.5 – Lot boundary setbacks adjoining properties coded R60 and above.*

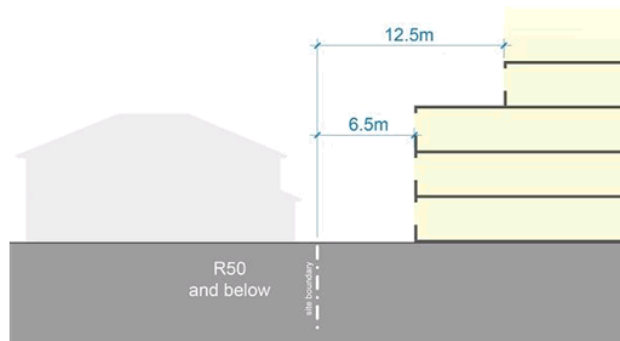


Figure C1.2.6 - Lot boundary setbacks adjoining properties coded R50 and below

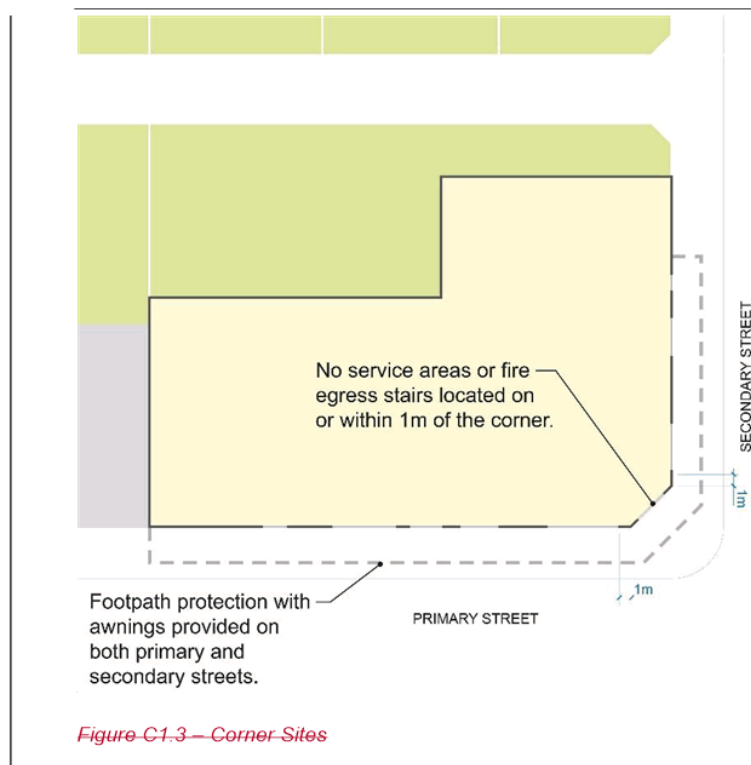
~~1.3 — Corner Sites~~

Design Principles & Local Housing Objectives	Deemed to Comply

~~Not Accepted~~

~~N1.3.1 — Service areas or fire egress stairs located on or within 1m of the corner.~~

~~N1.3.2 — Building entries that are significantly recessed back from the street corner, creating an undercroft that takes activity away from the footpath.~~



1.4 — Ground Floor Design

Design Principles & Local Housing Objectives	Deemed to Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 6.2.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions are considered local planning policy provisions for the purpose of clause 6.2.4 C4. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
<u><i>Façade Design</i></u>	<u><i>Façade Design</i></u>
<u><i>Tenancy Size</i></u>	<u><i>Tenancy Size</i></u>
<u><i>Materials</i></u>	<u><i>Materials</i></u>

Not Accepted~~N1.4.1 — Unarticulated monotonous facades to the street.~~~~N1.4.2 — Floor to ceiling glazing, excluding doors.~~~~N1.4.3 — Street walls and fences which front the street.~~~~N1.4.4 — Glazing and/or tinting with 50% or lower visual permeability.~~~~N1.4.5 — Blank walls, dead ends and hidden recesses.~~~~N1.4.6 — Features or structures that can be used as natural ladders to gain access to higher levels, windows or doors.~~



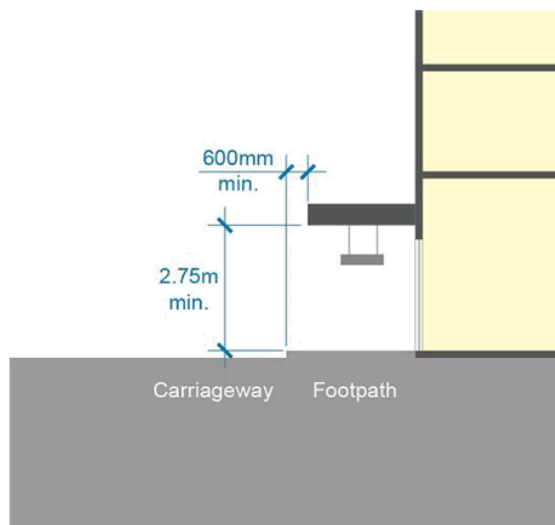
Figure C1.4.9—Active Frontages to Link and Arcades

1.5—Awnings, Verandahs and Collonades

Design Principles & Local Housing Objectives	Deemed to Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 6.2.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions are considered local planning policy provisions for the purpose of clause 6.2.4 C4. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>

Not Accepted

~~N1.5.1 — Development in town centres that does not provide an awning.~~



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1.3 Building Height

Design Principles & Local Housing Objectives	Deemed to Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
P1.3.1 Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.	C1.3.1 Development that is consistent with the building heights provided in Table 1-1.3 and Figure 2.
P1.3.2 Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.	C1.3.2 External fixtures may extend beyond the maximum height in Table 1-1.3 and Figure 2 where they are not visible from the street or neighbouring properties.
P1.3.3 Development that considers and responds to the natural features of the site and requires minimal excavation/fill.	C1.3.3 The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this p <u>Policy</u> .
P1.3.4 Design which minimises overlooking and overshadowing where it impacts residential development.	<u>C1.3.45</u> <u>The City may approve development which exceeds the maximum height stated in Table 1-1.3 where it is stipulated in an approved Local Development Plan, Activity Centre Plan, Master Plan or Structure Plan and addresses Design Principles P1.34.1 – P1.34.4.</u>
P1.1.5 The City may approve development which exceeds the maximum height stated in Table 1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P1.1.1 – P1.1.4.	

TABLE 1-1.3: Building Height – Town Centres

Location	Maximum No. of Storeys Building Height	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top Highest point of skillion roof	Top of pitched roof
Leederville	In accordance with the Leederville Masterplan, and where no height is stated the maximum is to be 6 storeys, with the exception of the below requirements.: Vincent Street – 5 storeys Carr Place – 4 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
	Vincent Street – 5 sStoreys	16.4m	17.4m	16.4m	17.4m	19.4m
	Carr Place – 4 sStoreys	13.3m	14.3m	13.3m	14.3m	16.3m
North Perth	Fitzgerald Street – 6 sStoreys Angove Street – 4 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
	Angove Street – 4 sStoreys	13.3m	14.3m	13.3m	14.3m	16.3m
Perth	6 sStoreys	19.5m	20.5m	19.5m	20.5m	22.5m
Mount Lawley / Highgate	6 sStoreys	19.5m	20.5m	19.5m	20.5m	22.5m
Mount Hawthorn	5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
Glendalough	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m

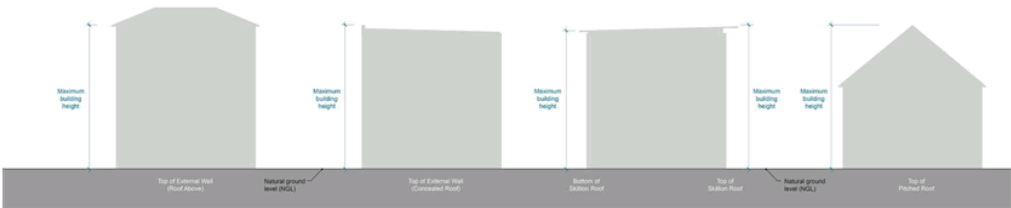


Figure 1-1.1 – Building Height Measurement

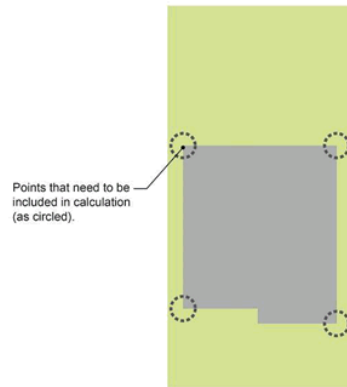


Figure 3—Average Natural Ground Level Calculation

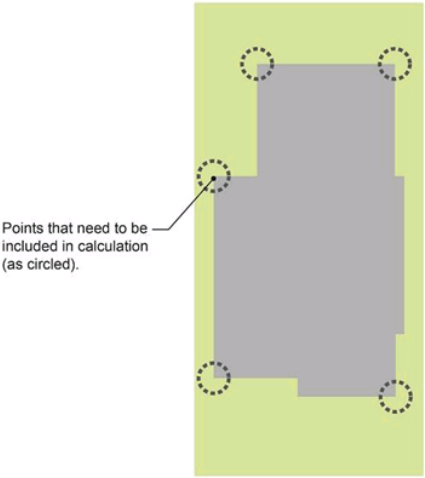


Figure 4—Average Natural Ground Level Calculation

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		Site Area	Minimum Area & Minimum Dimensions	Planting Area (minimum % of site)
		<650m ²	1m ² 1m x 1m	3%
		650m ² – 1,500m ²	1m ² 1m x 1m	3%
		>1,500m ²	1m ² 1m x 1m	3%
		<p>C1.4.43 At least 80%* of the lot boundary rear or side setback area at ground level shall be area is to be provided as canopy coverage at maturity.</p> <p>C1.7.4 A Landscape Plan designed by a registered Landscape Architect is to be submitted to the City in conjunction with the Development Application.</p> <p>C1.7.5 A Landscape Maintenance Schedule setting out the program of activities required to maintain the health and amenity of plantings for the life of the development is to be prepared by the Landscape Architect responsible for the design and submitted to the City in conjunction with the Development Application.</p> <p>C1.4.5 Open air car parks, including access ways, shall are to have a minimum of 8060% canopy coverage at maturity.</p> <p>C1.4.6 All open-air parking areas shall are to be landscaped at a minimum rate of one tree per four car bays.</p> <p>C1.4.7 The perimeter of all open-air parking areas shall are to be landscaped by a planting strip with a minimum dimension of at least 1.5m width.</p> <p>C1.4.8 Existing trees shall be retained where they are: (a) Healthy specimens with ongoing viability; and</p>		

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	(b) Species not included on an applicable weed register.
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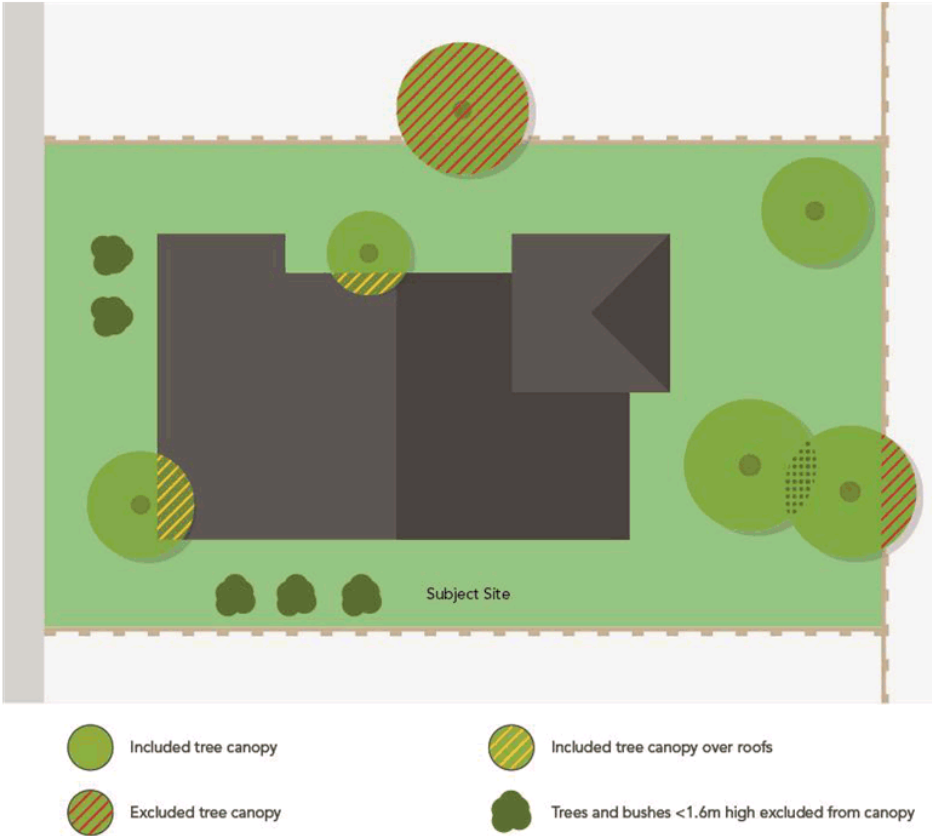


Figure 1-1.4.1

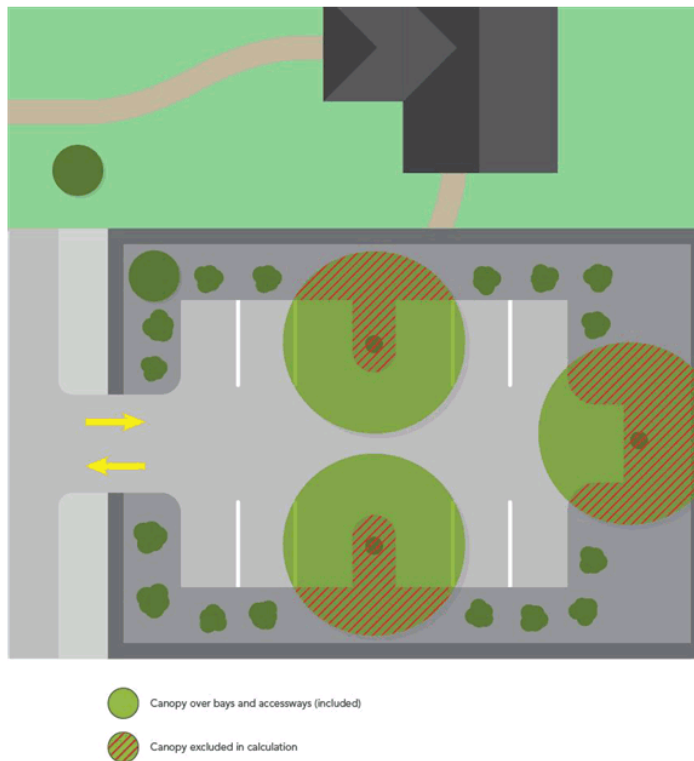
*Figure 1-1.4.2*



Figure 5—Deep Soil Planting Zone

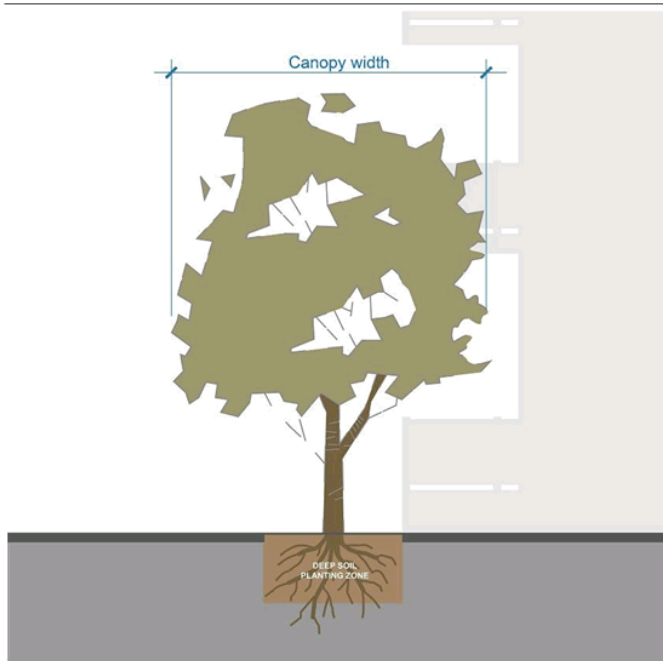
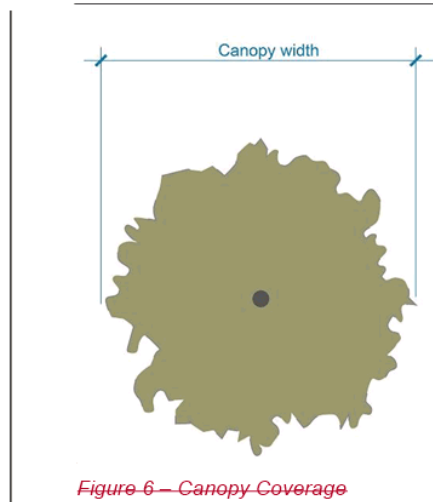


Figure C1.7.1 – Deep soil zones



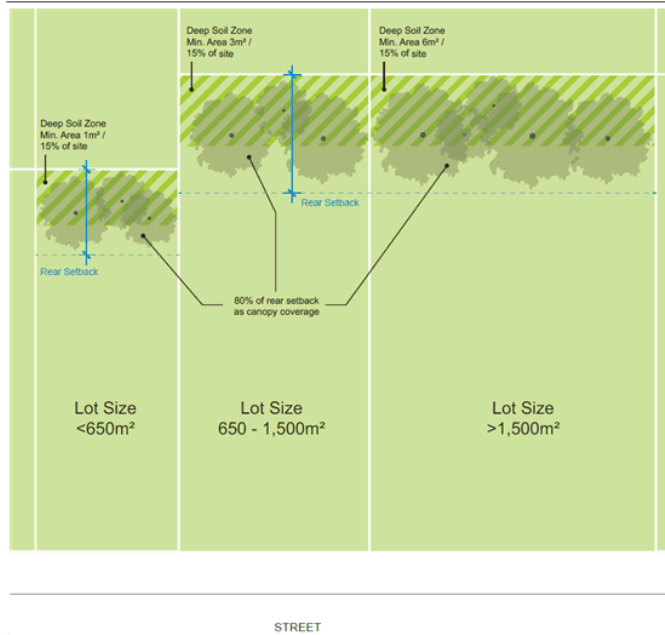
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Figure 7 – Town Centre Landscaping

1.5 Vehicle Access & Parking**Design Principles & Local Housing Objectives**

Where the R Codes apply to a development the following provisions augment clauses 5.3.3, 5.3.4, 5.3.5, 6.3.3, 6.3.4 and 6.3.5 and apply as local housing objectives pursuant to Clause 7.3.1(b) of the R Codes.

For all development that is not subject to the R Codes the following apply as Design Principles.

P1.5.1 Minimise visual impact of car parking and supporting infrastructure from the primary or secondary streets.

P1.5.2 Suitable end of trip facilities should be included in the initial design of the building.

P1.7.9 Car parking which is clearly differentiated for different use types and identifiable from the street.

1.6 Vehicle Access & Parking~~Vehicular Access~~**~~Design Principles & Local Housing Objectives~~**

~~Where the R Codes apply to a development the following provisions augment clauses 5.3.3, 5.3.4, 5.3.5, 6.3.3, 6.3.4 and 6.3.5 and apply as local housing objectives pursuant to Clause 7.3.1(b) of the R Codes.~~

~~For all development that is not subject to the R Codes the following apply as Design Principles.~~

P1.6.1 Vehicle access to and from site is to be safe, manageable and convenient.

P1.6.2 Pedestrian priority and safety is to be ensured by minimising the number, location and design of vehicle crossovers.

P1.6.3 Minimise breaks in the street wall to maximise active frontages.

P1.6.4 Service areas, loading bays and vehicle entrances should gain access from the Secondary Street or right of way where ever possible.

~~**P1.7.6** Unobstructed sight lines provided at vehicle access points to ensure safety and visibility along vehicle access ways, streets, rights of way, communal streets, crossovers, and footpaths.~~

P1.6.5 Maximise the retention of existing mature vegetation through the location and design of vehicle access.

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1.6 Pedestrian Access

Design Principles & Local Housing Objectives	Deemed to Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.2.3 and 6.2.1 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.2.3 C3.1 and 6.2.1 C1.1 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
P1.6.1 — Ground floor levels which allow dignified and equitable accessibility and unobstructed activity to flow between the development and the public realm.	C1.6.1 — Pedestrian access which is identifiable from the street and visitor car parking areas and other public areas.
P1.6.2 — Pedestrian entrances shall be clearly identified into buildings to provide a well-designed and functional public realm interface for all users.	C1.6.2 — Access for pedestrians which directly fronts the primary street.
P1.6.3 — Pedestrian entrances need to be welcoming and legible and clearly differentiated for all use types.	C1.6.3 — Developments shall distinguish residential entries from retail and other commercial entries.
P1.6.4 — Levels which create a direct visual connection between passers-by and the internal occupants or users.	C1.6.4 — Internal ground floor level to be at grade.
P1.6.5 — Provide new pedestrian links to improve permeability in local areas.	C1.6.5 — Design of balustrades to be integrated into the design of the development.
P1.6.6 — Public pedestrian links are preferred over private access links.	C1.6.6 — Ramps are not to exceed 50% of the active frontage.
P1.6.7 — Open air, unenclosed laneways and courtyard/squares are preferred.	

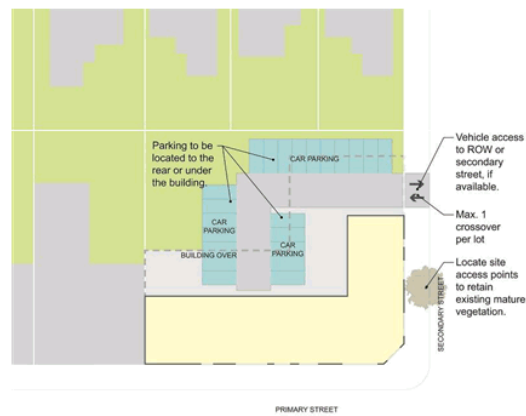


Figure C1.7 – Vehicle Access and Parking

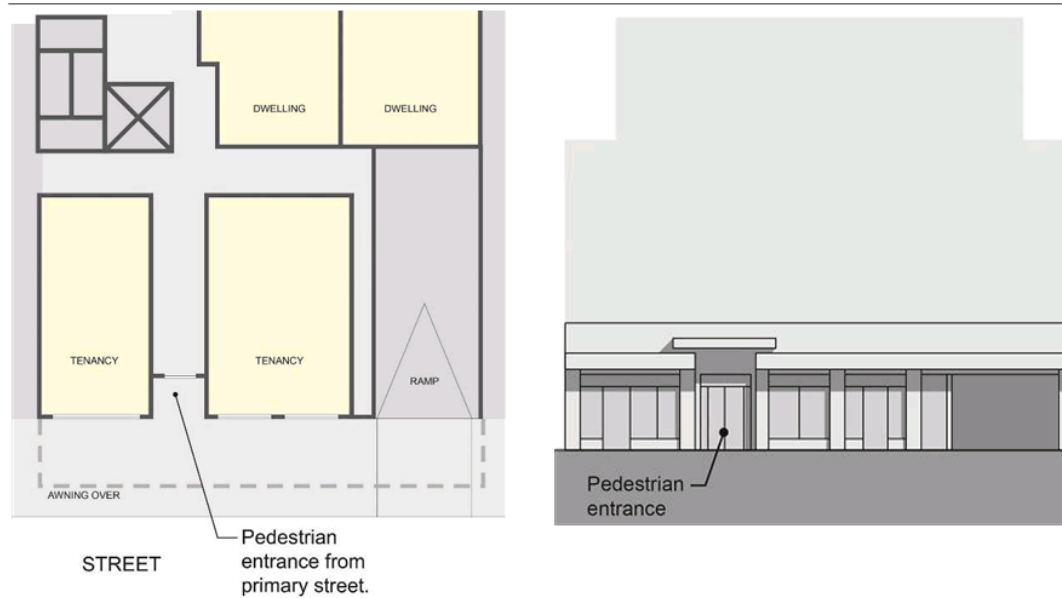


Figure C1.6 – Access

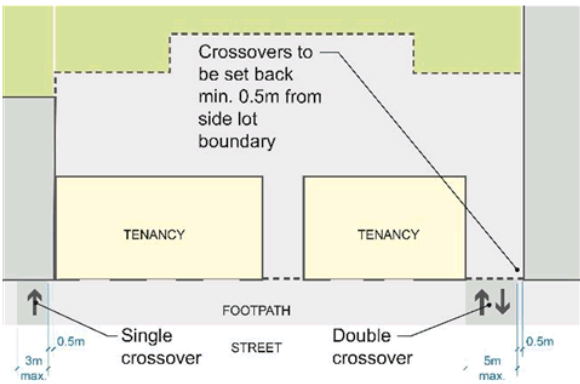


Figure C1.7.9 – C1.7.13 – Crossovers

1.7 External Fixtures, utilities and facilities

Design Principles & Local Housing Objectives	Deemed to Comply
<p><i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.4.4, 5.4.5, 6.4.5 and 6.4.6 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i></p> <p>P1.7.1 Service areas and external fixtures shall be easily maintained, adequate and attractive and should be incorporated into the overall design of buildings and support renewable energy initiatives.</p> <p>P1.7.2 Developments should provide adequate waste storage facilities for each dwelling and/or commercial premises and this should be considered at the early stage of the design process.</p> <p>P1.7.3 New development should consider the undergrounding of power supply in order to improve the streetscape and provide space for increased landscaping, canopy coverage and development.</p>	<p><i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.4.4 C4.3, 5.4.4 C4.4, 6.4.5 C5.3 and 6.4.5 C5.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i></p> <p>C1.7.1 Development must comply with Western Power Corporation Easements and Restriction Zones.</p> <p>C1.7.2 External fixtures are required to be concealed from the street and surrounding properties, located on the roof, basement or at the rear of the development.</p> <p>C1.7.3 External fixtures are permitted where they are:</p> <ul style="list-style-type: none"> not visible from the street and surrounding properties; or integrated with the design of the building. <p>C1.7.4 If external fixtures cannot be integrated into the design of the building to be concealed from the street and surrounding properties they will be required to be screened as follows:</p> <ul style="list-style-type: none"> continuous vertical or horizontal opaque material more than 50mm in width, occupying a minimum of three quarters of the total surface area in aggregate; or a surface offering equal or more obstruction to view which does not compromise ventilation. <p><i>Where the R Codes apply to a development the following provisions augment clauses 5.4.5 C5.2 and 6.4.6 C6.2 and apply as local housing objectives pursuant to Clause 7.3.1(b) of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i></p>

	<p>C1.8.5 Where there is an increased waste requirement, an area for waste management must be provided in accordance with the City's Waste Requirement Guidelines.</p> <p>C1.8.6 For any development a waste management plan must be provided which is to include information relating to the ability to adapt the waste storage spaces for any future increases in waste management requirements.</p>
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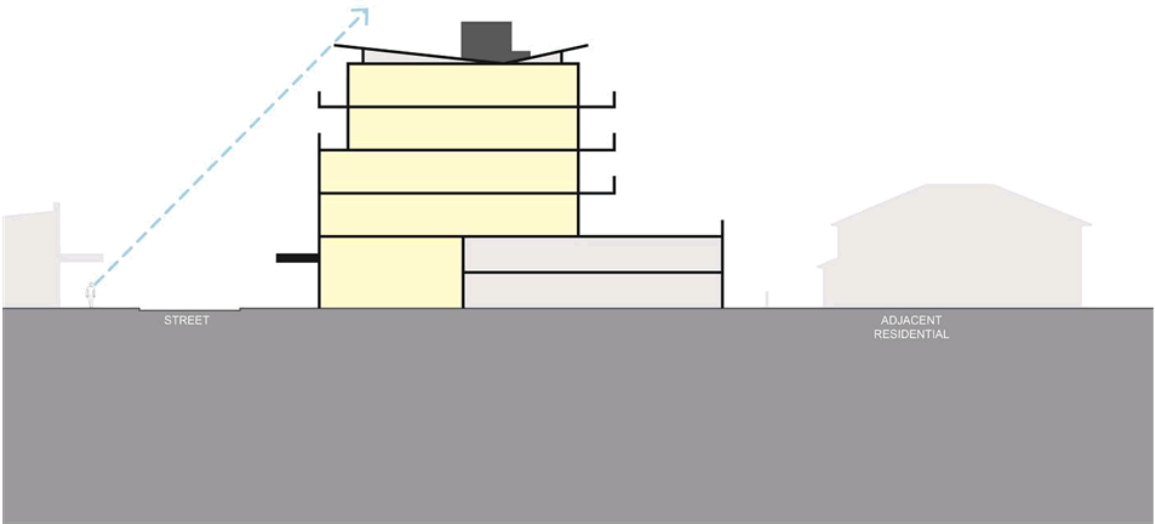


Figure 1-1.7 – External Fixtures

1.8 Environmentally Sustainable Design**Design Principles & Local Housing Objectives**

For all development that is not subject to the R Codes the following apply as Design Principles.

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.3.2 and 6.3.2 of the R Codes.

Where the R Codes apply to a development the following provisions augment the R Codes and apply as local housing objectives pursuant to Clause 7.3.1(b) of the R Codes.

P1.8.1 Development that considers the whole of life environmental impact of the building and incorporates measures to reduce this impact.

P1.8.2 Development that maximises use of light coloured materials to reduces heat retention through design elements and material selection.

P1.8.1 ~~It maximises passive solar heating, cooling, natural ventilation and light penetration to reduce energy consumption;~~

P1.8.2 ~~It is capable of recovery and re-use of rainwater, storm water, grey water and/or black water for non-potable water applications.~~

P1.8.3 ~~Climate moderation devices can be incorporated to reduce passive solar gain in summer and increase passive solar gain in winter.~~

P1.8.31 Development shall incorporate:

- (a) Site planning principles that maximise solar passive design opportunities for both summer and winter;
- (b) Natural ventilation and daylight penetration to reduce energy consumption;
- (c) Daytime areas with north-facing glazing to allow passive solar heating during winter;
- (d) Openable windows and/or ceiling fans to habitable rooms or occupied spaces that allow natural and cross ventilation;
- (e) Recovery and re-use of rainwater, storm water, grey water and/or black water for non-potable water applications; and
- (f) Climate moderation devices to reduce passive solar gain in summer and increase passive solar gain in winter.

P1.8.42 Flat roof structures that are not visible from the street or adjacent properties shall have a maximum solar absorptance rating of 0.4.

P1.8.53 Pitched roof structures or roof structures that are visible from the street or adjacent properties shall have a maximum solar absorptance rating of 0.5, unless a suitable alternative is identified in the Urban Design Study.

P1.8.64 Demonstrate that the development is capable of achieving one of the environmental performance ratings standards shown in the below table, or their equivalent*.

Accepted Rating Frameworks	Specifications / compliance requirements	Minimum requirement to be achieved
Green Building Council of Australia's Green Star rating system	Current Design and As-Built rating tool	Preliminary Sustainable Design Report prepared by a Green Star Accredited Professional using the current Green Star Design and As-Built rating tool scorecard to demonstrate eligibility for 5 star Green Star rating.
or		
Life Cycle Assessment Methodologies	ISO 14044 "Environmental management – Life cycle assessment – Requirements and Guidelines" and EN15978 "Sustainability of construction works – Assessment of environmental performance of buildings – Calculation method."	<p>Target Setting Report clearly stating:</p> <ul style="list-style-type: none"> — The lifetime savings of both global warming potential and water that the development is committed to achieve; — The preferred strategies for achieving these targets; and — A range of reserve strategies that will be employed to achieve each target should preferred strategies become unfeasible. <p>Residential component:</p> <ul style="list-style-type: none"> — Global warming potential of the development over its lifetime to be reduced by 50% or more when compared to the average Australian code-compliant equivalent building built at the same time. — Net use of fresh water of the development over its lifetime to be reduced by 25% or more when compared to the average Australian code-compliant equivalent building built at the same time. <p>Commercial component:</p> <ul style="list-style-type: none"> — Global warming potential of the development over its lifetime to be reduced by 30% or more when compared to the average Australian code-compliant equivalent building built at the same time. — Water use of the development over its lifetime to be reduced by 15% or more when compared to the average Australian code-compliant equivalent building built at the same time.

*The City also accepts other sustainability assessment frameworks and mechanisms that are nationally or internationally recognised, compliant with applicable Australian/international standards and subject to oversight by a certifying body. C1.5.1 to C1.5.3 must be explicitly addressed and referenced within this report or separately.

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<u>Accepted Rating Framework</u>	<u>Specification / Compliance Requirements</u>	<u>Minimum Requirement to be Achieved</u>	<u>Evidence</u>
<u>Life Cycle Assessment in Accordance with EN15978- Sustainability of construction works – Assessment of environmental performance of buildings – Calculation method.</u>	<u>System Boundary must include all Life Cycle Modules (A1-2, B1-7, C1-4 and D) in addition to non-integrated energy (plug loads)</u>	<u>Global Warming Potential and Net Fresh Water Use Performance Reduction as per Table *** below.</u>	<u>Independently Reviewed EN15978 Compliant Target Setting LCA with a 20% factor of safety applied to improvement strategies</u>

<u>Building Type</u>	<u>Performance Requirement</u>	
	<u>Global Warming Potential</u>	<u>Net Fresh Water Use</u>
<u>Residential (BCA Class 1-3)</u>	<u>< 2,250 kgCO₂e / Occupant / Year (50% saving against Perth statistical average residences)</u>	<u>< 57m³ / Occupant / Year (50% saving against Perth statistical average residences)</u>
<u>Commercial Office (BCA Class 5)</u>	<u>< 104 kgCO₂e / m² Net Lettable Area / year (30% saving against Perth statistical average office)</u>	<u>< 1.25 m³ / m² Net Lettable Area / year (25% saving against Perth statistical average office)</u>
<u>All Other Building Types</u>	<u>30% saving against Code-Compliant design</u>	<u>25% saving against Code-Compliant design</u>

*The City accepts sustainability assessment frameworks and mechanisms that are nationally or internationally recognised, compliant with applicable Australian/international standards and subject to oversight by a certifying body.

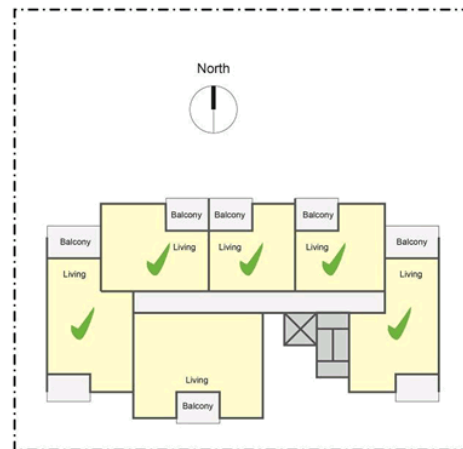


Figure 1-1.8.1 – Solar orientation

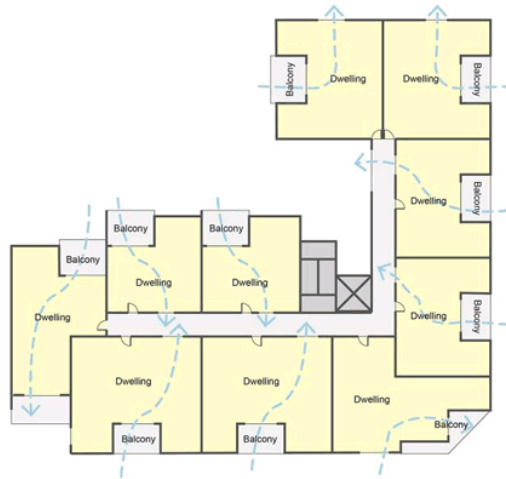


Figure 1-1.8.2 – Cross Ventilation

1.9 Building Design Urban Design Study**Design Principles & Local Housing Objectives**

Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives provide guidance for development subject to Part 5 of the R Codes; and augment the Design Principles in clause 6.2.4 of the R Codes. For all development that is not subject to the R Codes, the following apply as Design Principles.

An Urban Design Study is to be submitted with the application for development approval and must consider all of the following local housing objectives:

~~P1.6.1 — Quality materials and detail that provide interest at a human-scale.~~

P1.3.1 Appropriate use of a variety of materials and finishes that complement elements of the existing local character whilst avoiding the use of faux (made as an imitation, fake or false) materials. Design which incorporates and retains elements of the existing local character and avoids faux materials.

P1.3.2 Articulation that uses architectural elements in addition to setbacks to reduce its impact on adjoining properties and improves the amenity of adjoining properties and the streetscape. Articulation should be used to reduce scale and bulk.

P1.3.3 Fire boosters, mail boxes and external fixtures that are located to minimise the impact on the public realm.

P1.3.4 Development that achieves visual interaction with the vehicle and pedestrian approaches.

P1.3.5 Development which integrates and/or acknowledges the design elements of the street identified in the Urban Design Study.

P1.3.6 Development which incorporates the design elements of the predominant streetscape character of the urban design study area outlined in Appendix 2.

P1.3.7 Development on corner sites that is designed to express significance and frame the corner to define the built form and give a strong edge to the public realm.

P1.3.8 Development expressed with strong visual elements that integrate with ~~both-all~~ street frontages and right of ways.

P1.3.9 Create cohesion of ~~both-all~~ street frontages and contribute to a comfortable pedestrian environment by addressing each frontage with ~~awnings~~ passive surveillance and safe sight lines.

~~P1.3.9 — Designed to address developments on the opposing street corner.~~

P1.3.10 Development shall integrate with adjoining public spaces ~~and provide building frontages that contribute to the liveliness, interest, comfort and safety of these public spaces by including visual surveillance or entrances directly onto the public space.~~

~~P1.3.11~~ Ground floor façade depths which provide robustness and space for detail.

~~P1.3.12~~ Active frontage allowing uses to be clearly visible from the street.

P1.3.131 Emphasise vertical articulation to break up building mass and highlight street level uses and details.

~~P1.3.14~~ Development which retains traditional commercial facades where possible.

~~P1.3.15~~ Contemporary active frontages which are designed with the core elements of traditional shopfront design.

~~P1.3.16~~ Ground floor commercial spaces which increase engagement with the public realm with opening doors, windows and walls.

~~P1.3.17~~ Security measures which do not adversely detract from the streetscape.

~~P1.3.18~~ Adhere to the performance criteria of the Western Australian Planning Commissions, Designing Out Crime Planning Guidelines.

~~P1.3.19~~ Regular entrances with attractive, open and operable shopfronts, which increase the interest and engagement of pedestrians and improve walkability and vibrancy.

~~P1.3.20~~ Spaces which accommodate relevant and desirable uses.

~~P1.3.21~~ Tenancies which maintain the regular spacing rhythm of the streetscape.

P1.3.212 Development designed to be adaptive and cater for changing uses over time within the relevant zone.

~~P1.3.23~~ All design elements and spaces within the development must have purpose, 'dead' spaces are not supported.

P1.3.2413 High quality durable materials and textures used at street level which express the architectural style of reference the surrounding context where possible.

~~P1.3.25~~ Detailed and/or sustainably sourced materials which are highly engaging to the pedestrian.

- ~~P1.3.26~~ Provide a continuous network of pedestrian shelter along building frontages to encourage walking and to provide protection from the elements.
- ~~P1.3.27~~ Contribute to the legibility of a building and enhance building façade articulation.
- ~~P1.3.28~~ Create a human scale space that encourages window shopping and outdoor trading and dining.
- ~~P1.3.29~~ Be considered an integral part of the overall architecture of the development and considers the form of existing awnings.
- ~~P1.3.30~~ Designed to allow unobstructed access to public spaces.
- P1.3.31** Design which is responsive to any existing and/or proposed verge trees and will promote greening in town centres.
- ~~P1.3.32~~ The City may approve development which does not provide an awning where landscaping, which provides equal or greater coverage than an awning, is proposed.
- ~~C1.4.1~~ Façade depth of 300mm to allow space for the articulation of entries, openings, windows, sills, stall risers and other detailing.
- ~~C1.4.2~~ The design shall incorporate vertical articulation by using tall and narrow façade treatments.
- ~~C1.4.3~~ Maximise the width of active frontage including glazing, openings and operable windows to ensure activity, interaction and surveillance of the street.
- ~~C1.4.4~~ Co-locate service areas and vehicular access to maximise the width of the active frontage.
- ~~C1.4.5~~ Stall risers to a minimum height of 450mm.
- ~~C1.4.6~~ Location of signage to be integrated into the design and articulation of the ground floor.
- ~~C1.4.7~~ Where it is necessary to include fire boosters, mail boxes and external fixtures on the ground floor facade, these are to be screened or made to appear as part of the façade of the ground floor design to maximise the width of the active frontage.
- ~~C1.4.8~~ Minimal use of shallow framing systems and thin wall/glazing systems.
- ~~C1.4.9~~ Development which fronts a link or arcade must maximise active frontage.

~~C1.4.10 — Security measures located and installed internally behind the glazing line or recessed between elements in the façade such as columns or doorway recesses.~~

~~C1.4.11 — Security measures which are transparent and visually permeable to allow views inside the building and enable internal light sources to be seen from the street.~~

Tenancy Size

~~C1.4.12 — Ground floor spaces are to have a finished floor level to finished ceiling level height of minimum 3.5m.~~

~~C1.4.13 — Ground floor spaces with a width between 7.5m to 9m.~~

~~C1.4.14 — Ground floor tenancies within new mixed use and commercial buildings shall provide an acoustic report which demonstrates that they are capable of attenuating noise for a range of land uses including high intensity uses such as small bars and restaurants.~~

Materials

~~C1.4.15 — Ground floor glazing and/or tinting to be a minimum of 70% visually permeable to provide unobscured visibility.~~

~~C1.4.16 — Use of contrasting materials. This may be in the form of contrasting texture, colour, pattern or material finish.~~

Not Accepted

~~N1.4.1 — Unarticulated monotonous facades to the street.~~

~~N1.4.2 — Floor to ceiling glazing, excluding doors.~~

~~N1.4.3 — Street walls and fences which front the street.~~

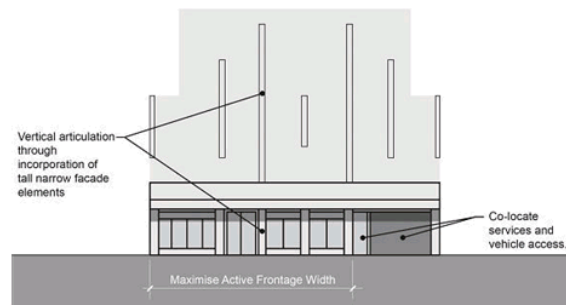
~~N1.4.4 — Glazing and/or tinting with 50% or lower visual permeability.~~

~~N1.4.5 — Blank walls, dead ends and hidden recesses.~~

~~N1.4.6 — Features or structures that can be used as natural ladders to gain access to higher levels, windows or doors.~~



Figure C1.4.9—Active Frontages to Link and Arcades



C1.3.3 & C1.3.8(d)—Town Centre Facades

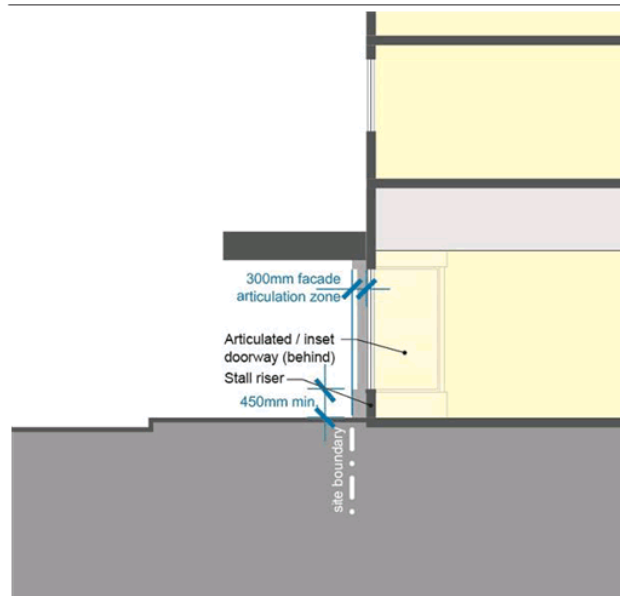


Figure C1.3.8, C1.3.9, C1.3.10 & C1.3.11 – Façade Design

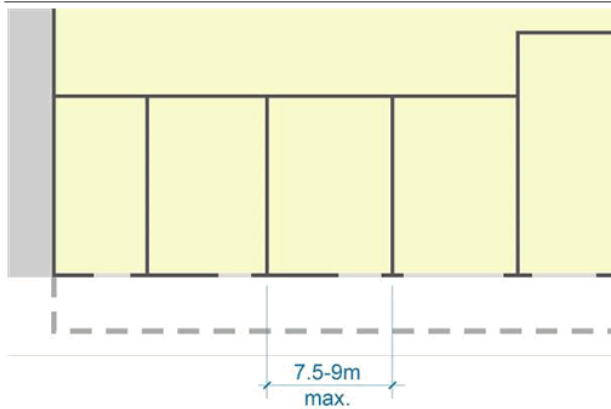


Figure C1.43.5.12 – Tenancy Size

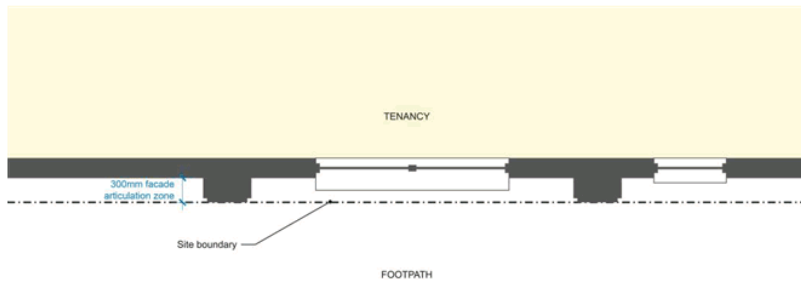


Figure C1.6.1 – Façade depth

SECTION 2 – ACTIVITY CORRIDORS

~~Part 2, Section 2 of this Policy applies to Activity Corridors as shown in Figure 1 – Built Form Areas.~~

2.1 Building Height

Design Principles & Local Housing Objectives	Deemed to Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in Sections 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
P2.1.1 Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.	C2.1.1 Development that is consistent with the building heights provided in Table 1-2.1 and Figure 2.
P2.1.2 Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.	C2.1.2 External fixtures may extend beyond the maximum height in Table 1-2.1 and Figure 2 where they are not visible from the street or neighbouring properties.
P2.1.3 Development that considers and responds to the natural features of the site and requires minimal excavation/fill.	C2.1.3 The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this p Policy.
P2.1.4 Design which minimises overlooking and overshadowing where it impacts residential development.	C2.1.4 <u>The City may approve development which exceeds the maximum height stated in Table 1-2.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P2.1.1 – P2.1.4.</u>
P2.1.5 The City may approve development which exceeds the maximum height stated in Table 2 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P2.1.1 – P2.1.4.	

TABLE 1-2.1: Building Height – Activity Corridors

Activity Corridors	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Oxford Street	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Scarborough Beach Road	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Fitzgerald Street (Newcastle St to Vincent St)	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Fitzgerald Street (Vincent St to Raglan Road)	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Newcastle Street	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Beaufort Street (Newcastle St to Lincoln St)	5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
Beaufort Street (Lincoln St to Walcott St)	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m

2.2 Activity Corridor Development Requirements

2.2.1 All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.3.

SECTION 3 – MIXED USE

~~Part 2 Section 3 of this Policy applies to Mixed Use Areas as shown in Figure 1 – Built Form Areas.~~

3.1 Building Height

Design Principles & Local Housing Objectives	Deemed to Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in Sections 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in Sections 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
P3.1.1 Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.	C3.1.1 Development that is consistent with the building heights provided in Table 1-3.1 and Figure 2.
P3.1.2 Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.	C3.1.2 External fixtures may extend beyond the maximum height in Table 1-3.1 and Figure 2 where they are not visible from the street or neighbouring properties.
P3.1.3 Development that considers and responds to the natural features of the site and requires minimal excavation/fill.	C3.1.3 The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this p Policy.
P3.1.4 Design which minimises overlooking and overshadowing where it impacts residential development.	C3.1.5 <u>The City may approve development which exceeds the maximum height stated in table 1-3.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P3.1.1 – P3.1.4.</u>
P3.1.5 The City may approve development which exceeds the maximum height stated in table 3 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P3.1.1 – P3.1.4.	

TABLE 1-3.1: Building Height – Mixed Use Areas

Mixed Use Area	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Area bounded by Newcastle St, Loftus St, Mitchell Freeway and Charles St	7 storeys	22.6m	23.6m	22.6m	23.6m	25.6m
Area bounded by Carr St, Charles St, Newcastle St and Fitzgerald St	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Between Fitzgerald St and William St	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Brisbane St						
Bulwer St						
Charles St						
Green St						
Walcott St						
William St						
Between William St and Lord St						
North Perth	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Area bounded by Summers St, Lord St, Graham Farmer Freeway and East						

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Parade (Except where defined below)						
Edward St South	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m
Edward St North	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Caversham South	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m
Caversham North	10 storeys	31.9m	32.9m	31.9m	32.9m	34.9m
Cheriton South	10 storeys	31.9m	32.9m	31.9m	32.9m	34.9m
Cheriton North	12 storeys	38.1m	39.1m	38.1m	39.1m	41.1m

3.2 Mixed Use Development Requirements

3.2.1 All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1.

SECTION 4 – TRANSIT CORRIDORS

~~Part 2 Section 4 of this Policy applies to Transit Corridors as shown in Figure 1 – Built Form Areas.~~

4.1 – Building Size

~~4.1.1 – Where Part 5 of the R Codes applies, and for all other development, no provisions apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.1.1 of the R Codes apply.~~

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4.1 Street Setbacks (Primary and Secondary)

Design Principles & Local Housing Objectives	Deemed to Comply
<u>P4.1.1</u> Development which incorporates design elements that reduce the impact of building bulk.	<u>C4.1.1</u> Where Part 5 of the R Codes applies to The primary and secondary street setback is as per Clause 5.1.2 of the R Codes Volume 1. Where Part 6 of the R Codes applies, and for all other development, the primary and secondary street setback is as per Clause 6.1.3 in the R Codes.
<u>P4.1.2</u> Development which maximises natural light access, natural ventilation, internal and external privacy.	<u>C4.1.2</u> Primary and secondary street setback for the third storey and above must incorporate articulation and the use of varying colours and materials which minimise the bulk and scale of the building on the streetscape.
<u>P4.1.3</u> Setbacks that facilitate the provision of deep soil areas and canopy coverage landscaping.	
<u>P4.1.4</u> Development which activates and addresses rights of way.	

4.32 Lot Boundary Setbacks

Design Principles & Local Housing Objectives	Deemed to Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.2, 5.1.3, 6.1.3 and 6.1.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
P4.2.1 Development which incorporates design elements that reduce the impact of building bulk.	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions are considered local planning policy provisions for the purpose of clause 6.2.4 C4. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
P4.2.2 Development which maximises natural light access, natural ventilation, internal and external privacy.	C4.3.3 <i>Setbacks Adjoining Non-Residential Built Form Areas</i>
P4.2.3 Setbacks that facilitate the provision of <u>landscaping deep soil areas and canopy coverage</u> .	C4.3.3 <i>Side boundary setbacks as per Clause 5.1.3 and 6.1.4 in the R Codes unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.</i>
P4.2.4 Development which activates and addresses rights of way.	C4.3.4 <i>Rear boundary setbacks for Residential, Mixed-Use and Commercial buildings are to be in accordance with Table 5 of the R Codes unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.</i>
	<i>Setbacks Adjoining Residential Built Form Areas</i>
	C4.3.5 <i>Lot boundary setbacks adjoining properties coded R60 and above are:</i>
	<i>Ground floor, second and third storey is 4.5m; and fourth storey and above 6.5m;</i>
	<i>unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.</i>

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C4.3.6 — Lot boundary setbacks adjoining properties coded R50 and below are:
Ground floor, second and third storey is 6.5m; and
fourth storey and above 12.5m;
unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent

For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

The following setback provisions are subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.1.3 and 6.1.4 of the R Codes.

C4.2.2 — Lot boundary setbacks are to be in accordance with the following tables 1-4.2a and 1-4.2c:

Table 1-1.4a

		Subject Property								
		R20	R30	R40	R50	R60	R80	R100+	R-AC3	No R-Code
Neighbouring Property	Residential Built Form Area	R20	A	AB	AB	C	C	C	C	C
		R30	A	A	AB	B	C	C	C	C
		R40	A	A	A	B	B	C	C	C
		R50	A	A	A	A	B	B	C	C
		R60	A	A	A	A	A	B	B	B
		R80	A	A	A	A	A	D	D	D
		R100+	A	A	A	A	A	D	D	D

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	No R-Code	A	A	A	A	A	D	D	D	D
	Non-Residential Built Form Area	A	A	A	A	A	D	D	D	D

Table 1-1.4b

	Setback for ground floor, second storey and third storey	Setback for the fourth storey and above
<u>A</u>	R Codes Volume 1 table 2a and 2b;	R Codes Volume 1 table 2a and 2b;
<u>B</u>	4.5m	6.5m
<u>C</u>	6.5m	12.5
<u>D</u>	Table 1-1.2c	Table 1-1.2c

Table 1-1.4c

	Width of lot in metres
	≤14 ≥14
Setback in metres	3 4

C4.3.4 ~~Balconies are to be setback a minimum of 7.5 metres.~~

C4.2.35 Clause 5.1.3 C3.2 and 6.1.4 C4.3 of the R Codes Volume 1 apply to the development of walls up to two side boundaries.

C4.2.46 Where development adjoins a right of way the setback shall be measured from the midpoint of the right of way.

C4.2.57 Development must address adjoining rights of way by providing passive surveillance and openings to the right of way.

4.4 — Open Space

~~4.4.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.1.4 and 5.1.5 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.1.5 of the R Codes apply.~~

4.32 Building Height

Design Principles & Local Housing Objectives	Deemed to Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
P4.3.1 Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.	C4.3.1 Development that is consistent with the building heights provided in Table 1-4.3 and Figure 2.
P4.3.2 Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.	C4.3.2 External fixtures may extend beyond the maximum height in Table 1-4.3 and Figure 2 where they are not visible from the street or neighbouring properties.
P4.3.3 Development that considers and responds to the natural features of the site and requires minimal excavation/fill.	C4.3.3 The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this pPolicy.
P4.3.4 Design which minimises overlooking and overshadowing where it impacts residential development.	C4.3.5 <u>The City may approve development which exceeds the maximum height stated in table 1-4.3 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P4.2.1 – P4.2.4.</u>
P4.2.5 The City may approve development which exceeds the maximum height stated in table 4 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P4.2.1 – P4.2.4.	

TABLE 1-4.3: Building Height – Transit Corridors

Transit Corridors	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Loftus Street	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Charles Street: Between Newcastle St and Carr St						
West side and lots fronting Newcastle	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
East side	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Charles Street (Carr Street to Walcott St)	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R80 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Fitzgerald Street (Angove St to Walcott St)	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Walcott Street	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Lord Street	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
East Parade	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
William Street	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m

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Transit Corridors	Maximum No. of Storeys	Top of external wall (roof above)	Maximum Building Height			
			Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
(Vincent St to Walcott St)						

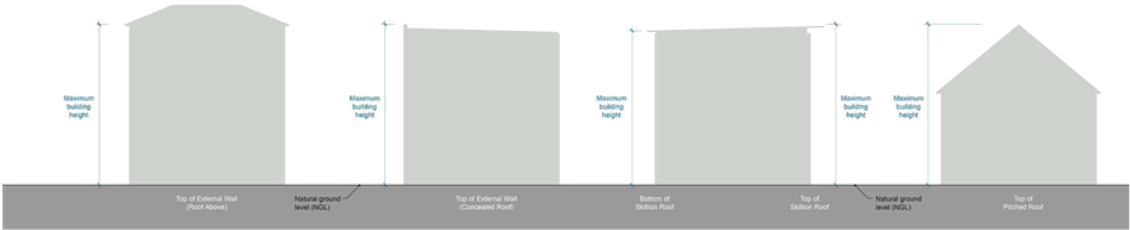


Figure 1-4.3 – Building Height and Measurement

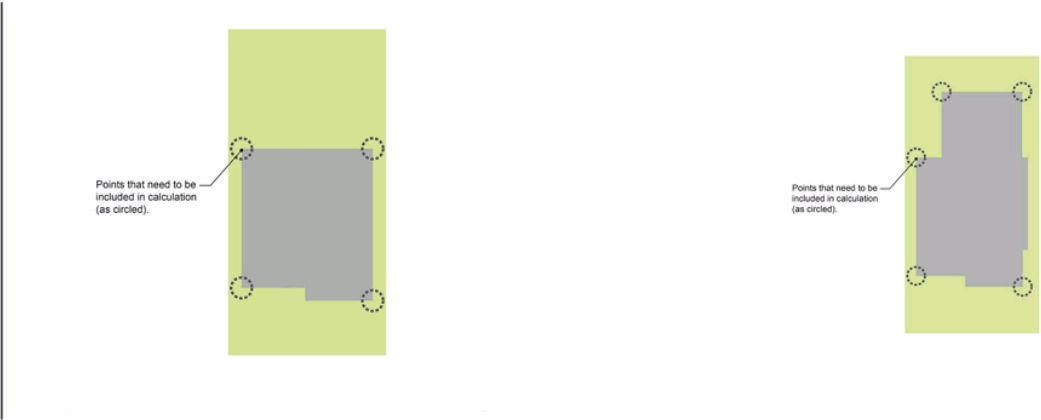


Figure 3 – Average Natural Ground Level Calculation

Figure 4 – Average Natural Ground Level Calculation

4.5 — Street Surveillance

~~4.5.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.2.3 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.2.1 of the R Codes apply.~~

4.64 Street Walls and Fences

Design Principles & Local Housing Objectives	Deemed-to-Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.2.4 and 6.2.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed-to-Comply requirements in clauses 5.2.4 and 6.2.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed-to-Comply provisions.</i>
P4.4.1 Front fences and walls which enable surveillance and enhance streetscape.	C4.4.1 Street walls, street fences and gates are to be of a style and materials compatible with those of the development on site and/or walls, fences and gates of the immediate surrounding area excluding fibre cement.
P4.4.2 Development which adds interest to the street and minimises blank facades.	C4.4.2 Street walls, fences and gates within the primary street setback area, including along the side boundaries, and front walls and fences to new dwellings fronting a right of way or dedicated road to be as follows: <ul style="list-style-type: none"> (a) Maximum height of 1.8 metres above the natural ground level; (b) Maximum height of piers with decorative capping to be 2 metres above the natural ground level; (c) Maximum height of solid portion of wall to be 1.2 metres above adjacent footpath level and are to be visually permeable above 1.2 metres; (d) Posts and piers are to have a maximum width 400 millimetres and a maximum diameter of 500 millimetres; and (e) The distance between piers should not be less than the height of the piers except where pedestrian gates are proposed. C4.4.3 Street walls, fences and gates to secondary streets, behind the primary street setback line, or walls, fences and gates to the primary streets where those streets are district distributor roads to be as follows: <ul style="list-style-type: none"> (a) Solid portion of wall may increase to a maximum height of 1.8 metres above adjacent footpath level

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	<p>provided that the wall or fence has at least two significant appropriate design features (to the satisfaction of the City of Vincent) to reduce the visual impact – for example, significant open structures, recesses and/or planters facing the road at regular intervals and varying materials, finishes and/or colours; and</p> <p>(b) Maximum height of piers with decorative capping to be 2 metres above adjacent footpath level.</p> <p>C4.4.4 Exposed boundary walls visible to the street are to incorporate the following design features:</p> <ul style="list-style-type: none"> • Indentations; • Varying heights; • Varying materials, colours and textures; or • Public artwork. <p>C4.4.5 Any proposed vehicular or pedestrian entry gates shall be visually permeable.</p> <p>C4.4.6 Walls and fences on the side boundaries, only within the primary street setback area, constructed from metal sheeting are permitted provided they meet all other requirements relating to height, provide adequate sight lines and are not a side boundary fence facing a secondary street.</p>
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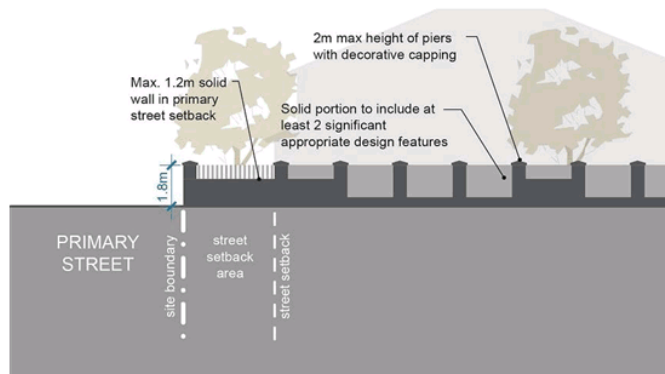


Figure 1-4.4 – Street walls and fences

4.7 — Sight Lines

~~4.7.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.2.5 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.2.3 of the R Codes apply.~~

4.8 — Building Appearance

~~4.8.1 Part 2, Section 1, Clause 1.3 applies to all development.~~

4.9 — Outdoor Living Areas

~~4.9.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.1 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.1 of the R Codes apply.~~

4.105 Landscaping

Design Principles & Local Housing Objectives	Deemed-To-Comply
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Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.3.2 and 6.3.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.

P4.5.1 Landscaping is to be designed to reduce the impact of development on adjoining residential zones and public spaces.

P4.5.2 Landscaping should provide increased urban air quality, tree and vegetation coverage and a sense of open space between buildings.

P4.5.3 The integration of sustainable landscape design with the building creating a greater landscaping amenity for residents and occupants and the community.

P4.5.4 The provision of landscaping that will make an effective and demonstrated contribution to the City's green canopy to reduce the impact of the urban heat island effect.

P4.5.5 Development that offsets the impact of removing existing trees.

P4.5.6 Landscaping at the rear of the property should not negatively impact on the use and activation of a right of way.

P4.5.7 Open air car parks should be appropriately landscaped to provide adequate shading and reduce the impact on adjoining properties.

For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.

The following landscaping provisions are subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.3.2 and 6.3.2 of the R Codes.

C4.5.1 Deep Soil Areas shall be provided in accordance with the following requirements:

Site Area	Minimum Area & Minimum Dimensions	Deep Soil Areas (minimum % of site)
<650m ²	1m ² 1m x 1m	12%
650m ² – 1,500m ²	1m ² 1m x 1m	12%
>1,500m ²	1m ² 1m x 1m	12%

C4.5.2 A minimum of 50% of the front setback shall be provided as soft landscaping.

C4.5.3 Planting Areas shall be provided in accordance with the following requirements:

Site Area	Minimum Area & Minimum Dimensions	Planting Area (minimum % of site)
<650m ²	1m ² 1m x 1m	3%
650m ² – 1,500m ²	1m ² 1m x 1m	3%

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		>1,500m ²	1m ² 1m x 1m	3%
	C4.5.4	The required Deep Soil Area may be reduced to 10% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.		
	C4.5.5	At least 30% of the site area is provided as canopy coverage at maturity.		
	C4.5.6	Open air car parks, including accessways, shall have a minimum of 60% canopy coverage at maturity.		
	C4.5.7	All open-air parking areas shall be landscaped at a minimum rate of one tree per four car bays.		
	C4.5.8	The perimeter of all open-air parking areas shall be landscaped by a planting strip with a minimum dimension of 1.5m.		
	C4.5.9	Existing trees shall be retained where they are: (a) Healthy specimens with ongoing viability; and (b) Species not included on an applicable weed register.		

4.11—Parking

~~4.11.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.3 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.3 of the R Codes apply.~~

4.12—Design of Car Parking Spaces

~~4.12.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.4 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.4 of the R Codes apply.~~

4.13—Vehicular Access

~~4.13.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.5 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.5 of the R Codes apply.~~

4.14—Site Works

~~4.14.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.7 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.6 of the R Codes apply.~~

4.15—Retaining Walls**Volume 1, Section 4 – Transit Corridor****89**

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~~4.15.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.8 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.7 of the R Codes apply.~~

~~4.16—Stormwater Management~~

~~4.16.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.3.9 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.3.8 of the R Codes apply.~~

~~4.17—Visual Privacy~~

~~4.17.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.4.1 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.4.1 of the R Codes apply.~~

~~4.18—Solar Access for adjoining sites~~

~~4.18.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.4.2 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.4.2 of the R Codes apply.~~

~~4.19—Dwelling Size~~

~~4.19.1 Where Part 5 of the R Codes applies no provisions apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.4.3 of the R Codes apply.~~

~~4.20—Outbuildings~~

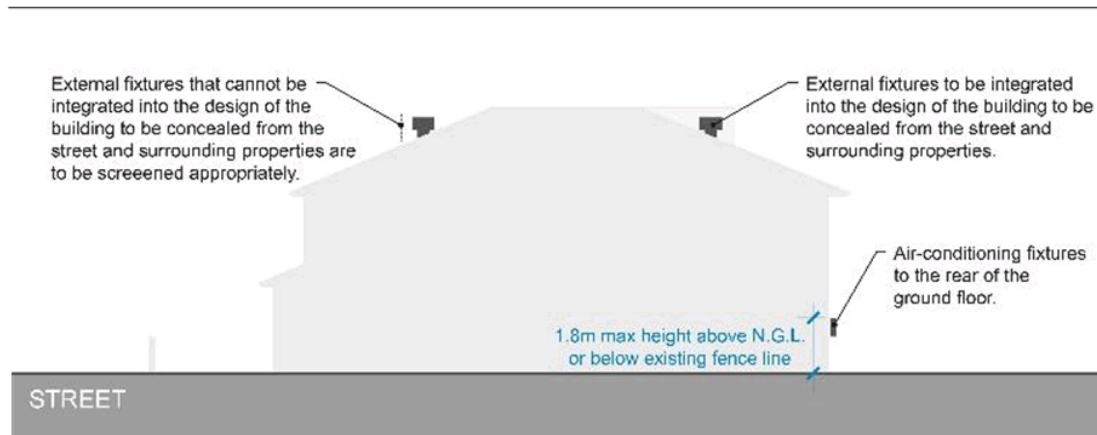
~~4.20.1 Where Part 5 of the R Codes applies all Design Principles and Deemed to Comply requirements of clause 5.4.3 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 6.4.4 of the R Codes apply.~~

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4.246 External Fixtures, Utilities and Facilities

Design Principles Local Housing Objectives	Deemed-to-Comply
<p>P4.6.1 Where Part 5 of the R Codes applies all Design Principles of clause 5.4.4 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles of clause 6.4.5 of the R Codes apply.</p>	<p><i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.4.4 C4.3, 5.4.4 C4.4, 6.4.5 C5.3 and 6.4.5 C5.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions:</i></p> <p>C4.6.1 External fixtures are permitted where they are:</p> <ul style="list-style-type: none"> • not visible from the street and surrounding properties; or • integrated with the design of the building. <p>C4.6.2 If external fixtures cannot be integrated into the design of the building to be concealed from the street and surrounding properties they will be required to be screened as follows:</p> <ul style="list-style-type: none"> • continuous vertical or horizontal opaque material more than 50mm in width, occupying a minimum of three quarters of the total surface area in aggregate; or • a surface offering equal or more obstruction to view which does not compromise ventilation. <p>C4.6.3 For single houses and grouped dwellings, air conditioning fixtures are to be placed at the rear of the ground floor. The highest point of the air conditioning fixture is to be a maximum 1.8 metres above natural ground level or below the existing fence line.</p>

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4.227 Environmentally Sustainable Design

4.227.1 Clause 1.58 of this Policy applies to development in the Transit Corridor Built Form Area.

4.8 Urban Design Study

4.8.1 Clause 1.9 of this Policy applies to development in the Transit Corridor Built Form Area.

SECTION 5 – RESIDENTIAL
~~Part 2 Section 5 of this Policy applies to Residential Areas as shown in Figure 1 – Built Form Areas.~~

5.1 — Site Area

~~5.1.1 — Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.1.1 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.~~

5.12 Street Setback (Primary and Secondary)

Design Principles & Local Housing Objectives	Deemed-to-Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.2 and 6.1.3 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.1.2 C2.1 i, 5.1.2 C2.1 ii and 6.1.3 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
P5.12.1 Development which is consistent with preserves and enhances the established street setback visual character of the existing streetscape by considering building setbacks.	Street setback
P5.1.2 Development which incorporates predominant features of the streetscape.	C5.12.1 The primary street setback is to be <u>calculated by averaging the setback of the</u> the average of the five <u>properties adjoining properties either both side lot</u> boundaries of the proposed development.
P5.1.3 Development which clearly distinguishes all upper floors from lower storeys to clearly distinguish the parts of the dwelling.	C5.12.2 <u>For the purpose of averaging, the primary street setback is to be measured from the street alignment to the nearest wall of the dwelling excluding porches, verandahs, carports and balconies.</u>
P5.1.4 Development which minimises the visual bulk of the buildings through articulation of larger wall lengths and the stepping back of upper storeys walls.	C5.12.3 <u>Walls on upper floors setback a minimum of 2 metres behind the ground floor predominant building line (excluding any porch or verandah), as determined by the City.</u>
	C5.1.4 <u>Balconies on upper floors setback a minimum of 1 metre behind the ground floor predominant building line (excluding any porch or verandah), as determined by the City.</u>
	Dual frontage
	C5.12.42 The above setback distances also apply to development which has an elevation to a road which does not intersect or adjoin the primary or secondary streets.

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5.23 Lot Boundary Setback

Design Principles & Local Housing Objectives	Deemed-to-Comply
<p><i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.3 and 6.1.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i></p> <p>P5.2.1 Development which preserves and enhances the visual character of the existing streetscape by considering building setbacks.</p>	<p><i>For all development that is not subject to the R Codes the following apply as Deemed-to-Comply provisions.</i></p> <p><i>The following setback provisions are subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.</i></p> <p><i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provision replaces the Deemed-to-Comply requirements in clause 5.1.3 C3.2 and 6.1.4 C 4.3 of the R Codes.</i></p> <p>C5.2.1 <u>Clause 5.1.3 C3.2 of the R Codes Volume 1 applies to walls and is acceptable up to two side boundaries.</u></p> <p>Walls may be built up to two lot boundaries, where it does not affect two boundaries of the same lot, behind the street setback within the following limits and subject to the overshadowing provisions of Clause 5.23.</p> <ul style="list-style-type: none"> i. where the wall abuts an existing or simultaneously constructed wall of similar or greater dimension; ii. in areas coded R20 and R25, walls not higher than 3.5m with an average of 3m or less, up to a maximum length of the greater of 9m or one-third the length of the balance of the lot boundary behind the front setback; iii. in areas coded R30 and higher, walls not higher than 3.5m with an average of 3m or less, for two-thirds the length of the balance of the lot boundary behind the front setback; or iv. where both the subject site and the affected adjoining site are created in a plan of subdivision submitted concurrently with the development application.

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C5.3.2 — ~~Rear boundary setbacks for development adjoining R60 and above are:~~

- ~~Ground floor, second and third storey is 4.5m; and~~
 - ~~fourth storey and above 6.5m;~~
- ~~unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.~~

C5.3.3 — ~~Rear boundary setbacks for development adjoining R50 and below are:~~

- ~~Ground floor, second and third storey is 6.5m; and~~
 - ~~fourth storey and above 12.5m;~~
- ~~unless a balcony is proposed in which case the setback shall be as per Clause 5.4.1 C1.1 (i) and 6.4.1 C1.1 (i) of the R Codes for the code of the adjacent property.~~

Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.1.3 C3.1, 6.1.4 C4.1 and 6.1.4 C4.2 of the R Codes.

C5.2.2 Lot boundary setbacks are to be in accordance with ~~the following tables~~ 1-5.2a and 1-5.2c:

Table 1-1.5a

		Subject Property								
		R20	R30	R40	R50	R60	R80	R100+	R – AC3	No R-Code
Neighbouring	Residential Built Form Area	R20	A	AB	AB	C	C	C	C	C
		R30	A	A	AB	B	C	C	C	C
		R40	A	A	A	B	B	C	C	C
		R50	A	A	A	A	B	B	C	C
		R60	A	A	A	A	A	B	B	B

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R80	A	A	A	A	A	D	D	D	D
R100+	A	A	A	A	A	D	D	D	D
No R-Code	A	A	A	A	A	D	D	D	D
Non-Residential Built Form Area	A	A	A	A	A	D	D	D	D

Table 1-1.5b

	Setback for ground floor, second storey and third storey	Setback for the fourth storey and above
<u>A</u>	R Codes Volume 1 table 2a and 2b;	R Codes Volume 1 table 2a and 2b;
<u>B</u>	4.5m	6.5m
<u>C</u>	6.5m	12.5
<u>D</u>	Table 1-1.2c	Table 1-1.2c

Table 1-1.5c

	Width of lot in metres	
	≤14	≥14
Setback in metres	3	4

~~C5.3.3 — Balconies are to be setback a minimum of 7.5 metres.~~

~~C5.2.43~~ Where development adjoins a right of way the setback shall be measured from the midpoint of the right of way.

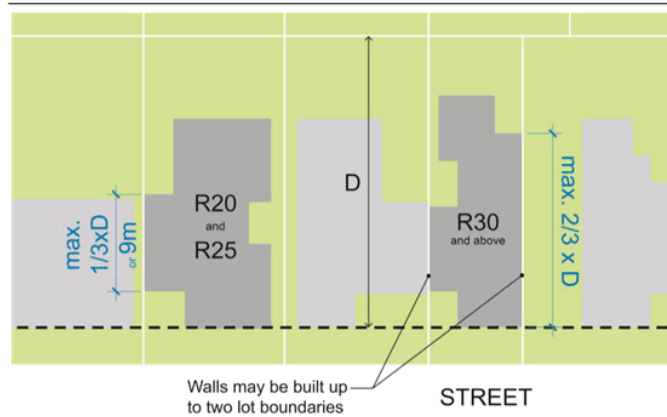


Figure 1-5.2 – Residential lot boundary setbacks

5.4 — Open Space

~~5.4.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.1.4 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of Clause 6.1.5 of the R Codes apply.~~

5.5 — Communal Open Space

~~5.5.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.1.5 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.~~

5.63 Building Height

Design Principles & Local Housing Objectives	Deemed-to-Comply
<i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i>	<i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.1.6 and 6.1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i>
P5.3.1 Buildings which respond and contribute to neighbourhood context and streetscape character, and do not overwhelm or dominate existing development.	C5.3.1 Development that is consistent with the building heights provided in Table 1-5.3 and Figure 2.
P5.3.2 Design which is complimentary to existing developments.	C5.3.2 <u>External fixtures may extend beyond the maximum height in Table 1-5.3 and Figure 2 where they are not visible from the street or neighbouring properties.</u>
P5.3.3 Development that considers and responds to the natural features of the site and requires minimal excavation/fill.	C5.3.3 <u>The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this Policy.</u>
P5.3.4 Design which minimises overlooking and overshadowing.	
P5.3.5 Development which preserves and enhances the visual character of the existing streetscape by considering building bulk and scale.	C5.3.46 <u>The City may approve development which exceeds the maximum height stated in table 1-5.3 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P5.36.1 – P5.36.5.</u>
P5.6.6 The City may approve development which exceeds the maximum height stated in table 5 where it is stipulated in	

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an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P5.6.1 – P5.6.5.	

TABLE 1-5.3: Building Height – Residential Area

Maximum No. of Storeys as per Figure 2	Maximum Building Height				
	Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
1 storey*	3m	4m	3m	4m	6m
2 storeys	6m	7m	6m	7m	9m
3 storeys	9m	10m	9m	10m	12m
4 storeys	12m	13m	12m	13m	15m
5 storeys	16m	17m	16m	17m	18m

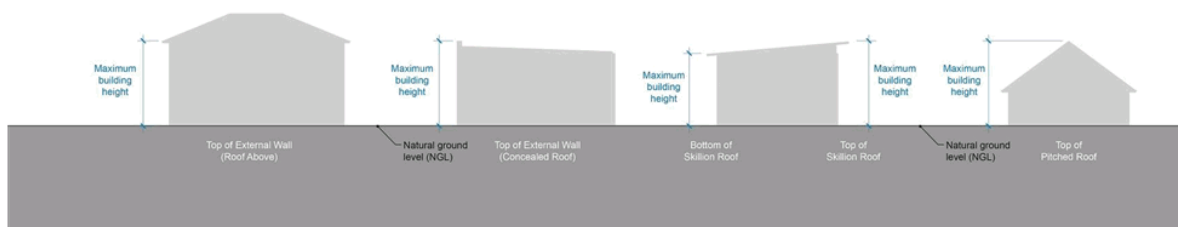


Figure 1-5.3 – Residential Building Heights

CITY OF VINCENT PLANNING AND BUILDING POLICY MANUAL
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BUILT FORM**5.47 Setback of Garages and Carports**

Design Principles & Local Housing Objectives	Deemed-to-Comply
<p><i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.2.1 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i></p> <p>P5.4.1 The setting back of carports and garages to maintain clear sight lines along the street and not to detract from the streetscape or appearance of dwellings; or obstructdominate views of dwellings from the street and vice versa.</p> <p>P5.4.2 Development which preserves and enhances the visual character of the existing streetscape by considering building bulk, scale, setbacks and design.</p>	<p><i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed-to-Comply requirements in Clause 5.2.1 C1.1, 5.2.1 C1.2 and 5.2.1 C1.5 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed-to-Comply provisions.</i></p> <p>C5.4.1 Vehicular access to car parking, carports and garages from the street are subject to compliance with clause 5.3.5 of the R Codes.</p> <p>C5.4.2 Garages are to be setback a minimum of 500mm behind the building line of the dwelling alignment (excluding any porch portico verandah or balcony or the like).</p> <p>C5.4.3 Carports shall be setback in accordance with Clause C5.2.1 of this Policy. This setback may be reduced in accordance with 5.2.1 C1.2 Clause 5.1.2 C2.1 iii of the R Codes Volume 1.</p> <p>C5.4.4 Garages and carports must match the existing dwellings predominant colour, scale and materials and must be complementary and subservient to the dwelling.</p> <p>C5.4.5 Carports must provide an unobstructed view to major openings of the dwelling from the street. Gates or doors to carports are required to be visually permeable.</p> <p>C5.4.6 Carports shall allow light and ventilation to the major openings of the dwelling.</p> <p>C5.4.7 The total width of any carport within the street setback area is not to exceed 50 per cent of the frontage (including strata lots) of the lot or six metres whichever is the lesser.</p>

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Not Accepted

~~**N5.7.1** Roller doors and/or gates on any carports located within the street setback area which are not visually permeable.~~



Figure 1-5.4.1 – Garage Street Setback

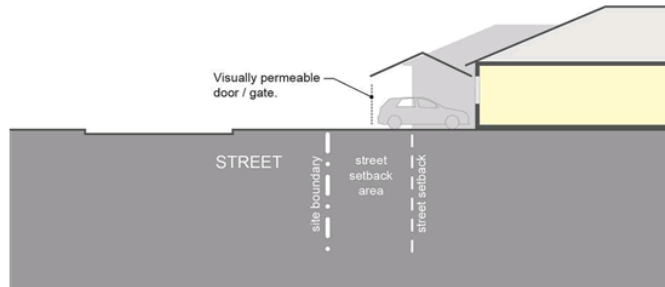


Figure 1-5.4.2 – Carports within Street Setback

5.58 Garage Width

~~5.8.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.2.2 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.~~

<u>Local Housing Objectives</u>	<u>Deemed-to-Comply</u>
<u>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.2.2 of the R Codes.</u>	<u>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in Clause 5.2.2 C2 of the R Codes.</u>
<u>Where Part 6 of the R Codes applies no provisions apply.</u>	<u>Where Part 6 of the R Codes applies no provisions apply.</u>
<u>For all development that is not subject to the R Codes the following apply as Design Principles.</u>	<u>For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</u>
<u>P5.5.1</u> <u>Development which preserves and enhances the visual character of the existing streetscape.</u>	<u>C5.5.1</u> <u>Garages which are 50% or less than the width of the lot.</u>
	<u>C5.5.2</u> <u>For lots less than 10 metres wide, garages which are a maximum of 4 metres wide.</u>

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5.69 Street Surveillance

Design Principles <u>Local Housing Objectives</u>	Deemed-to-Comply
<p>P5.6.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles of clause 5.2.3 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles of clause 6.2.1 of the R Codes apply.</p>	<p><i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed-to-Comply requirements in clause 5.2.3 C3.2 and 6.2.1 C1.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed-to-Comply provisions:</i></p> <p>C5.6.1 The primary street elevation of the dwelling is to address the street and shall include the main entry (front door) to the dwelling.</p> <p>Sites which abut a right-of-way and do not designate another primary street shall address the right-of-way as though it were its primary street for the purposes of this clause.</p>

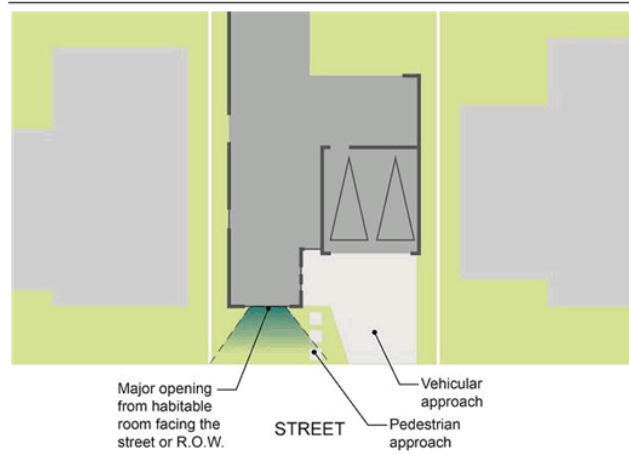


Figure 1-5.9 – Street Surveillance

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5.7.10 Street Walls and Fences

Design Principles & Local Housing Objectives	Deemed-to-Comply
<p><i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clauses 5.2.4 and 6.2.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i></p> <p>P5.7.12 Development which preserves and enhances the visual character of the existing streetscape by considering bulk, scale, setbacks, design, relationship between the private and public domain, and fencing styles.</p>	<p><i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed-to-Comply requirements in clauses 5.2.4 and 6.2.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed-to-Comply provisions.</i></p> <p>C5.7.1 Street walls, <u>street</u> fences and gates are to be of a style and materials compatible with those of the dwelling on site and/or walls, fences and gates of the immediate surrounding area excluding fibre cement and metal sheeting.</p> <p>C5.7.2 Street walls, fences and gates within the primary street setback area, including along the side boundaries, and front walls and fences to new dwellings fronting a right of way or dedicated road to be as follows:</p> <ul style="list-style-type: none"> (a) Maximum height of 1.8 metres above the natural ground level; (b) Maximum height of piers with decorative capping to be 2 metres above the natural ground level; (c) Maximum height of solid portion of wall to be 1.2 metres above adjacent footpath level and are to be visually permeable above 1.2 metres; (d) Posts and piers are to have a maximum width 400 millimetres and a maximum diameter of 500 millimetres; and (e) The distance between piers should not be less than the height of the piers except where pedestrian gates are proposed. <p>C5.7.3 Street walls, fences and gates to secondary streets, behind the primary street setback line, or walls, fences and gates to the primary streets where those streets are district distributor roads to be as follows:</p>

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	<p>(a) Solid portion of wall may increase to a maximum height of 1.8 metres above adjacent footpath level provided that the wall or fence has at least two significant appropriate design features (to the satisfaction of the City of Vincent) to reduce the visual impact – for example, significant open structures, recesses and/or planters facing the road at regular intervals and varying materials, finishes and/or colours; and</p> <p>(b) Maximum height of piers with decorative capping to be 2 metres above adjacent footpath level.</p> <p>Note: The measurement of street walls, fences and gates is to include any retaining walls and is to be measured from the natural ground level immediately below the base of the wall to the top of the wall above, within the development site. In the case of primary street frontage the measurement of street walls, fences and gates is to be measured from the natural ground level of the footpath immediately below the base of the wall to the top of the wall above.</p> <p>C5.7.4 Walls, fences and gates on the side boundaries within the primary street setback area, constructed from metal sheeting are permitted provided they meet all other requirements relating to height, provide adequate sight lines and are not a side boundary fence facing a secondary street.</p>
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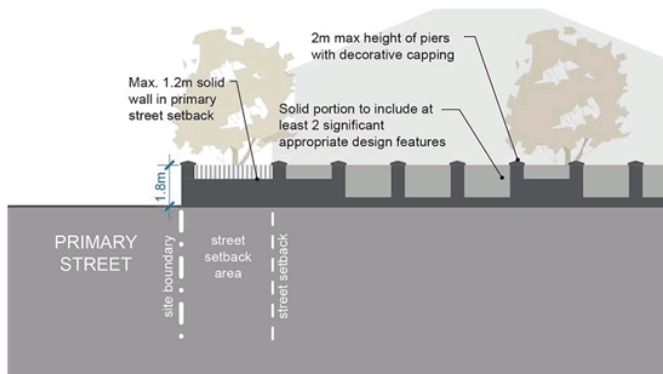


Figure 1-5.7 – Street Walls and Fences

5.7 Sight Lines

<u>Local Housing Objectives</u>	<u>Deemed-to-Comply</u>
<p>P5.7.1 <u>Development which allows safe vehicle movement between the private and public domain.</u></p>	<p>C5.7.1 <u>Walls, fences and other structures truncated or reduced to no higher than 0.75m within 1.5m of where walls, fences and other structures adjoin vehicle access points, where a driveway meets a public street and where two streets intersect, with the exception of:</u></p> <ul style="list-style-type: none"> • <u>One pier/pillar with a maximum width and depth of 400 millimetres and 1.8 metres height above NGL, or 2.0 metres tall to the top of decorative capping above the NGL;</u> • <u>Fence slats or infill higher than 0.75 metres above NGL that provides a Clear Sight Line;</u> • <u>If a gate is proposed across a vehicle access point where a driveway meets a public street and where two streets intersect, the gate must provide:</u> <ul style="list-style-type: none"> ○ <u>When Closed: a minimum of 50 per cent unobstructed view;</u> ○ <u>When Open: a Clear Sight Line from 0.75m above the NGL within 1.5m of where the vehicle access way joins the street;</u> <p><u>For the purposes of this clause a Clear Sight Line means:</u></p> <ul style="list-style-type: none"> • <u>Continuous horizontal or vertical gaps that constitute a minimum of 50% of the total surface area;</u> • <u>A minimum gap size of 40mm;</u> • <u>If slats are orientated to be deeper than they are wide - the distance between the slats must be no less than two-times the depth of the slat;</u> • <u>Clear non-reflective glass.</u>

~~5.11.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.2.5 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of Clause 6.2.3 of the R Codes apply.~~

~~5.12 — Building Appearance~~

~~5.12.1 Part 2, Section 1, Clause 1.3 applies to all development.~~

~~5.13 — Appearance of Retained Dwelling~~

~~5.13.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.2.6 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.~~

~~5.14 — Outdoor Living Areas~~

~~5.14.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.3.1 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of Clause 6.3.1 of the R Codes apply.~~

5.815 Landscaping

Design Principles & Local Housing Objectives	Deemed-To-Comply												
<p><i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.3.2 and 6.3.2 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i></p>	<p><i>For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i></p> <p><i>The following landscaping provisions are subject to the approval of the Western Australian Planning Commission pursuant to Clause 7.3.2 of the R Codes.</i></p> <p><i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clause 5.3.2 and 6.3.2 of the R Codes.</i></p>												
<p>P5.8.1 Landscaping is to be designed to reduce the impact of development on adjoining residential zones and public spaces.</p>													
<p>P5.8.2 Landscaping should provide increased urban air quality, tree and vegetation coverage and a sense of open space between buildings.</p>													
<p>P5.8.3 The integration of sustainable landscape design with the building creating a greater landscaping amenity for residents and occupants and the community.</p>													
<p>P5.8.4 The provision of landscaping that will make an effective and demonstrated contribution to the City's green canopy to reduce the impact of the urban heat island effect.</p>	<p>C5.8.1 <u>Deep Soil zone Areas are to be provided as follows shall be provided in accordance with the following requirements:</u></p>												
<p>P5.8.5 Development that offsets the impact of removing existing trees.</p>	<table><tr><th>Site Area</th><th>Minimum Area & Minimum Dimensions</th><th>Deep Soil Zone Areas (% of site)</th></tr><tr><td><650m²</td><td><u>1m²</u> <u>1m x 1m²</u></td><td><u>1512%</u></td></tr><tr><td>650m² – 1,500m²</td><td><u>1m²</u> <u>1m x 1m²</u></td><td><u>1512%</u></td></tr><tr><td>>1,500m²</td><td><u>1m²</u> <u>1m x 1m²</u></td><td><u>1512%</u></td></tr></table>	Site Area	Minimum Area & Minimum Dimensions	Deep Soil Zone Areas (% of site)	<650m ²	<u>1m²</u> <u>1m x 1m²</u>	<u>1512%</u>	650m ² – 1,500m ²	<u>1m²</u> <u>1m x 1m²</u>	<u>1512%</u>	>1,500m ²	<u>1m²</u> <u>1m x 1m²</u>	<u>1512%</u>
Site Area	Minimum Area & Minimum Dimensions	Deep Soil Zone Areas (% of site)											
<650m ²	<u>1m²</u> <u>1m x 1m²</u>	<u>1512%</u>											
650m ² – 1,500m ²	<u>1m²</u> <u>1m x 1m²</u>	<u>1512%</u>											
>1,500m ²	<u>1m²</u> <u>1m x 1m²</u>	<u>1512%</u>											
<p>P5.8.6 Landscaping at the rear of the property should not negatively impact on the use and activation of a right of way.</p>	<p><i>NOTE: the minimum dimension for the area of deep soil zone area is to be 1m</i></p>												
<p>P5.8.7 Open air car parks should be appropriately landscaped to provide adequate shading and reduce the impact on adjoining properties.</p>	<p>C5.8.2 <u>Planting Areas shall be provided in accordance with the following requirements:</u></p>												
<p>P5.8.8 Design which retains existing mature trees on site.</p>	<table><tr><th>Site Area</th><th>Minimum Area & Minimum Dimensions</th><th>Planting Area (minimum % of site)</th></tr></table>	Site Area	Minimum Area & Minimum Dimensions	Planting Area (minimum % of site)									
Site Area	Minimum Area & Minimum Dimensions	Planting Area (minimum % of site)											

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		<table> <tr> <td><650m²</td><td>1m² 1m x 1m</td><td>3%</td></tr> <tr> <td>650m² – 1,500m²</td><td>1m² 1m x 1m</td><td>3%</td></tr> <tr> <td>>1,500m²</td><td>1m² 1m x 1m</td><td>3%</td></tr> </table>	<650m ²	1m ² 1m x 1m	3%	650m ² – 1,500m ²	1m ² 1m x 1m	3%	>1,500m ²	1m ² 1m x 1m	3%
<650m ²	1m ² 1m x 1m	3%									
650m ² – 1,500m ²	1m ² 1m x 1m	3%									
>1,500m ²	1m ² 1m x 1m	3%									
	<p>C5.8.3 The required Ddeep Ssoil Area zone may be reduced to 10% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.</p> <p>C5.8.4 <u>At least</u> 30% of the site area is to be provided as canopy coverage at maturity.</p> <p>Multiple Dwellings</p> <p>C5.15. In addition to Clauses C5.14.1 – C5.14.3 the following Clauses C5.14.5 – C5.14.9 also apply to the development of Multiple Dwellings.</p> <p>C5.14.5 A Landscape Plan designed by a registered Landscape Architect is to be submitted to the City in conjunction with the Development Application.</p> <p>C5.14.6 A Landscape Maintenance Schedule setting out the program of activities required to maintain the health and amenity of plantings for the life of the development is to be prepared by the Landscape Architect responsible for the design and submitted to the City in conjunction with the Development Application.</p> <p>C5.8.5 Open air car parks, <u>including access ways, are to shall</u> have a minimum of 8060% canopy coverage at maturity.</p>										

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	<p>C5.8.6 All open-air parking areas for Multiple and Grouped Dwelling developments shall be landscaped at a rate of one tree per four car bays.</p> <p>C5.8.7 The perimeter of all open-air parking areas shall be landscaped by a planting strip with a minimum dimension of 1.5m.</p> <p>C5.8.8 Existing trees shall be retained where they are: (a) Healthy specimens with ongoing viability; and (b) Species not included on an applicable weed register.</p> <p>C5.8.9 The above landscaping provisions apply to additions and alterations that affect an existing Deep Soil Area, canopy cover or tree on the subject lot.</p>
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5.16—Parking

~~5.16.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.3 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.3 of the R Codes apply.~~

5.17—Design of Car Parking Spaces

~~5.17.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.4 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.4 of the R Codes apply.~~

5.18—Vehicular Access

~~5.18.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.5 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.5 of the R Codes apply.~~

5.19—Pedestrian Access

~~5.19.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply criteria of clause 5.3.6 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.~~

5.20—Site Works

~~5.20.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.7 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.6 of the R Codes apply.~~

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5.21—Retaining Walls

~~5.21.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.8 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.7 of the R Codes apply.~~

5.22—Stormwater Management

~~5.22.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.3.9 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.3.8 of the R Codes apply.~~

5.23—Visual Privacy

~~5.23.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.4.1 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.4.1 of the R Codes apply.~~

5.24—Solar Access for Adjoining Sites

~~5.24.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.4.2 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.4.2 of the R Codes apply.~~

5.25—Outbuildings

~~5.25.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.4.3 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles and Deemed to Comply criteria of clause 6.4.4 of the R Codes apply.~~

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5.926 External Fixtures, Utilities and Facilities

Design Principles & Local Housing Objectives	Deemed-to-Comply
<p><i>Pursuant to Clause 7.3.1(b) of the R Codes, the following Local Housing Objectives augment the Design Principles in clause 5.4.4 and 6.4.5 of the R Codes. For all development that is not subject to the R Codes the following apply as Design Principles.</i></p> <p>P5.9.1 Development which preserves and enhances the visual character of the existing streetscape by considering building bulk, scale and design.</p>	<p><i>Pursuant to Clause 7.3.1(a) of the R Codes, the following provisions replace the Deemed to Comply requirements in clauses 5.4.4 C4.3, C4.4, 6.4.5 C5.3 and C5.4 of the R Codes. For all development that is not subject to the R Codes the following apply as Deemed to Comply provisions.</i></p> <p>C5.9.1 External fixtures are permitted where they are:</p> <ul style="list-style-type: none"> not visible from the street and surrounding properties; or integrated with the design of the building. <p>C5.9.2 If external fixtures cannot be integrated into the design of the building to be concealed from the street and surrounding properties they will be required to be screened as follows:</p> <ul style="list-style-type: none"> continuous vertical or horizontal opaque material more than 50mm in width, occupying a minimum of three quarters of the total surface area in aggregate; or a surface offering equal or more obstruction to view which does not compromise ventilation. <p>C5.9.3 For single houses and grouped dwellings, air conditioning fixtures are to be placed at the rear of the ground floor. The highest point of the air conditioning fixture is to be a maximum 1.8 metres above natural ground level or below the existing fence line.</p>

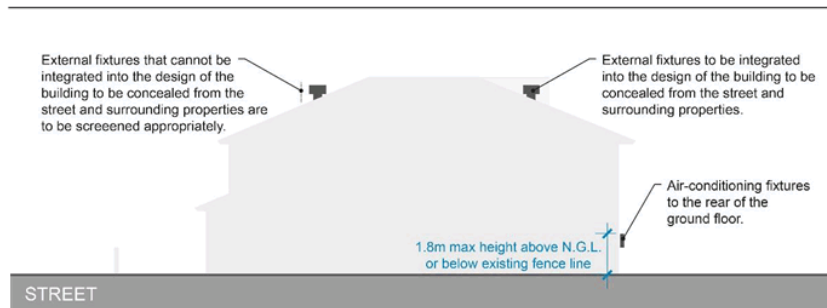


Figure 1-5.9.1 – External Fixtures

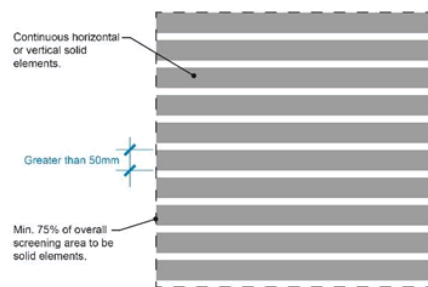


Figure 1-5.9.2 – Screening of External Fixtures

5.27 — Ancillary Dwellings

5.27.1 — Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.5.1 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.

~~5.28 Aged or Dependent Persons' Dwellings~~

~~In accordance with the City's Local Planning Policy No. 7.4.2 – Aged or Dependent Persons' Dwellings.~~

~~5.29 Single Bedroom Dwellings~~

~~5.29.1~~ ~~Where Part 5 of the R Codes applies, and for all other development, all Design Principles and Deemed to Comply requirements of clause 5.5.3 of the R Codes apply. Where Part 6 of the R Codes applies no provisions apply.~~

5.1030 Environmentally Sustainable Design

5.1030.1 ~~All Design Principles and deemed-to-comply criteria of clause 1.8 of Part 2 Section 1 of this Policy apply to all development with the exception of the erection or extension of single houses or grouped dwellings. Clause 1.8 of this Policy applies to development in the Residential Built Form Area.~~

5.11 Urban Design Study

5.11.1 ~~Clause 1.9 of this Policy applies to development in the Transit Corridor Built Form Area.~~

5.1231 Development on Rights of Way**Design Principles & Local Housing Objectives**

P5.12.1 Development which appropriately addresses rights of way to facilitate spaces which are welcoming and safe for residents and visitors.

P5.12.2 Development which provides appropriate pedestrian access to a dedicated road with suitable space for service areas and waste management.

P5.12.3 Development which provides suitable space for safe vehicle movement in the right of way.

P5.12.4 Development on rights of ways is to be in accordance with the Western Australian Planning Commission's Planning Bulletin 33 Rights of Way or Laneways in Established Areas – Guidelines.

Orientation

P5.12.5 Where a dwellings' primary street frontage is a right of way, or where no primary street or secondary street frontage exists, it is to be oriented to address the right of way using clearly defined entry points and major openings as if it were a primary street.

Setbacks

P5.12.6 Development must be setback 1 metre from a right of way. If the site is subject to right of way widening, the setback is measured from the new lot boundary after the widening is applied. Clause C5.2.1 is replaced by this clause where development has its primary street frontage to a right of way.

Access

P5.12.7 Each lot that does not have direct frontage to a dedicated road is to be provided with a pedestrian access way to a dedicated road. The width of the pedestrian access way shall be 1.5 metres.

P5.12.8 Access to a right of way is required to be trafficable to the nearest dedicated road. The cost to upgrade a right of way to make it trafficable is to be borne by the applicant.

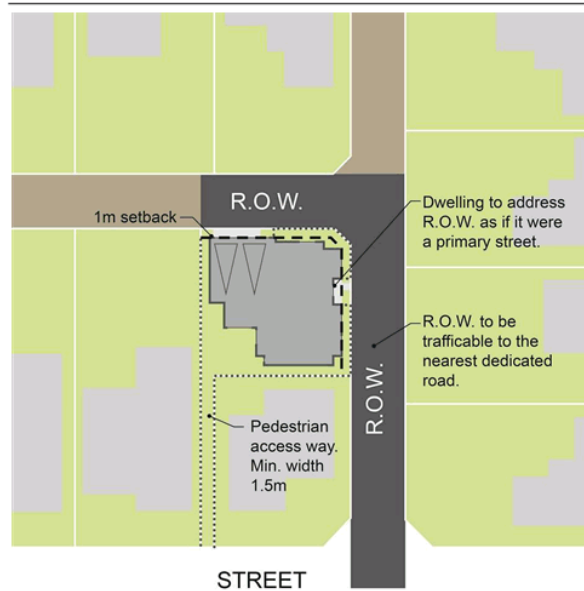


Figure 1-5.12.1 – Corner development on rights of way

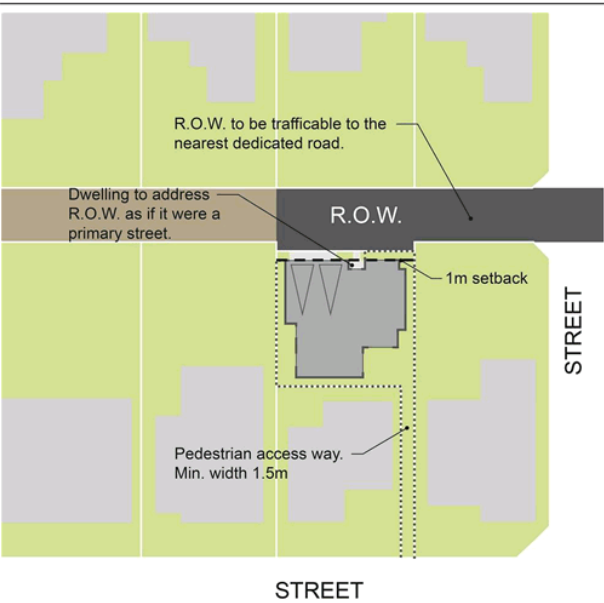


Figure 1-5.12.2 – Development on rights of way

VOLUME 2, MULTIPLE DWELLINGS AND MIXED USE - POLICY PROVISIONS**SECTION 1 – TOWN CENTRE****1.1 Building Height****Acceptable Outcomes**

- A1.1.1** Development that is consistent with the building heights provided in Table 2-1.1 and Figure 2.
- A1.1.2** External fixtures may extend beyond the maximum height in Table 2-1.1 and Figure 2 where they are not visible from the street or neighbouring properties.
- A1.1.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height.
- A1.1.4** The City may approve development which exceeds the maximum height stated in Table 2-1.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan, Master Plan or Structure Plan.

TABLE 2-1.1: Building Height – Town Centres

Location	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Leederville	In accordance with the Leederville Masterplan, and where no height is stated the maximum is to be 6 storeys, with the exception of the below requirements.:	19.5m	20.5m	19.5m	20.5m	22.5m
	Vincent Street – 5 storeys					
	Carr Place – 4 storeys					
North Perth	Vincent Street – 5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
	Carr Place – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
	Fitzgerald Street – 6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Perth	Angove Street – 4 storeys					
	Angove Street – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Perth		19.5m	20.5m	19.5m	20.5m	22.5m

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Location	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
	6 storeys					
Mount Lawley / Highgate	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Mount Hawthorn	5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
Glendalough	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m

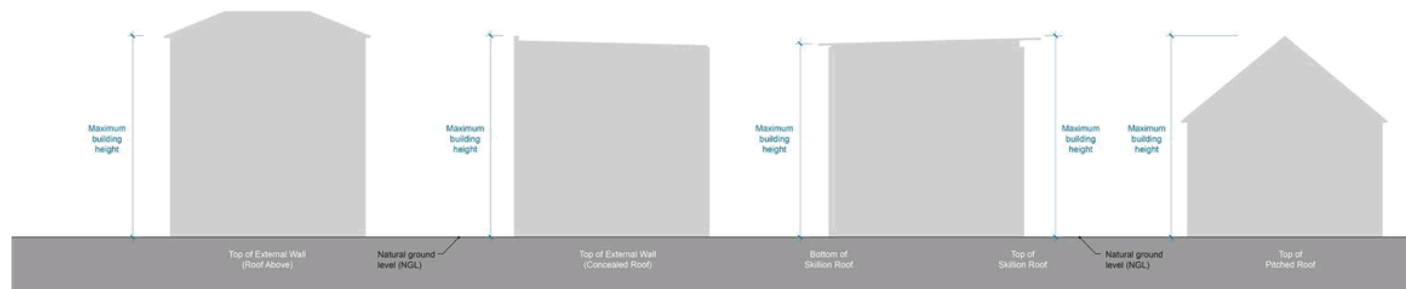


Figure 2-1.1 – Building Height Measurement

1.2 Street Setbacks

Acceptable Outcomes	
A1.2.1	Primary and secondary street setback is nil.

1.3 Side and rear setbacks**Acceptable Outcomes****A1.3.1** Side and rear setbacks in accordance with Tables 1.3a, 1.3b and 1.3c.Development Adjoining Rights of Way**A1.3.2** Where development adjoins a right of way the setback shall be measured from the midpoint of the right of way.**A1.3.3** Development must address adjoining rights of way by providing passive surveillance and openings to the right of way.Table 1.3a

		<u>Subject Property</u>								
		<u>R20</u>	<u>R30</u>	<u>R40</u>	<u>R50</u>	<u>R60</u>	<u>R80</u>	<u>R100+</u>	<u>R – AC3</u>	<u>No R- Code</u>
<u>Neighbouring Property</u>	<u>Residential Built Form Area</u>	<u>R20</u>	A	AB	AB	C	C	C	C	C
		<u>R30</u>	A	A	AB	B	C	C	C	C
		<u>R40</u>	A	A	A	B	B	C	C	C
		<u>R50</u>	A	A	A	A	B	B	C	C
		<u>R60</u>	A	A	A	A	A	B	B	B
		<u>R80</u>	A	A	A	A	A	D	D	D
		<u>R100+</u>	A	A	A	A	A	D	D	D
		<u>No R- Code</u>	A	A	A	A	A	D	D	D
	<u>Non-Residential Built Form Area</u>	E	E	E	E	E	E	E	E	E

Table 1.3b

	Setback for ground floor, second storey and third storey	Setback for the fourth storey and above
<u>A</u>	<u>Table 1.3c</u>	<u>Table 1.3c</u>
<u>B</u>	<u>4.5m</u>	<u>6.5m</u>
<u>C</u>	<u>6.5m</u>	<u>12.5</u>
<u>D</u>	<u>R Codes Volume 2 Table 2.1</u>	<u>R Codes Volume 2 Table 2.1</u>
<u>E</u>	<u>Nil</u>	<u>Table 1.3c</u>
<u>F</u>	<u>Nil</u>	<u>R Codes Volume 2 Table 2.1</u>

Table 1.3c

	<u>Wall length (m)</u>													
	<u>9 or less</u>	<u>10</u>	<u>11</u>	<u>12</u>	<u>13</u>	<u>14</u>	<u>15</u>	<u>16</u>	<u>17</u>	<u>18</u>	<u>19</u>	<u>20</u>	<u>25</u>	<u>Over 25</u>
<u>Wall height (m)</u>														
<u>3.5 or less</u>	<u>1</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>
<u>4</u>	<u>1.1</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.6</u>	<u>1.6</u>	<u>1.6</u>	<u>1.6</u>	<u>1.7</u>	<u>1.7</u>	<u>1.8</u>
<u>4.5</u>	<u>1.1</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.6</u>	<u>1.7</u>	<u>1.7</u>	<u>1.7</u>	<u>1.7</u>	<u>1.7</u>	<u>1.8</u>	<u>2.0</u>
<u>5</u>	<u>1.1</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.6</u>	<u>1.7</u>	<u>1.8</u>	<u>1.8</u>	<u>1.8</u>	<u>1.8</u>	<u>1.9</u>	<u>2.0</u>	<u>2.3</u>
<u>5.5</u>	<u>1.2</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.6</u>	<u>1.7</u>	<u>1.8</u>	<u>1.9</u>	<u>1.9</u>	<u>2.0</u>	<u>2.0</u>	<u>2.1</u>	<u>2.3</u>	<u>2.5</u>
<u>6</u>	<u>1.2</u>	<u>1.5</u>	<u>1.5</u>	<u>1.5</u>	<u>1.6</u>	<u>1.8</u>	<u>1.9</u>	<u>2.0</u>	<u>2.0</u>	<u>2.1</u>	<u>2.1</u>	<u>2.2</u>	<u>2.4</u>	<u>2.8</u>
<u>6.5</u>	<u>1.2</u>	<u>1.5</u>	<u>1.5</u>	<u>1.6</u>	<u>1.7</u>	<u>1.9</u>	<u>2.0</u>	<u>2.1</u>	<u>2.1</u>	<u>2.2</u>	<u>2.2</u>	<u>2.3</u>	<u>2.7</u>	<u>3.0</u>
<u>7</u>	<u>1.2</u>	<u>1.5</u>	<u>1.5</u>	<u>1.6</u>	<u>1.8</u>	<u>2.0</u>	<u>2.1</u>	<u>2.2</u>	<u>2.2</u>	<u>2.3</u>	<u>2.4</u>	<u>2.5</u>	<u>2.8</u>	<u>3.3</u>
<u>7.5</u>	<u>1.3</u>	<u>1.5</u>	<u>1.6</u>	<u>1.7</u>	<u>1.9</u>	<u>2.1</u>	<u>2.2</u>	<u>2.3</u>	<u>2.3</u>	<u>2.4</u>	<u>2.5</u>	<u>2.6</u>	<u>3.0</u>	<u>3.5</u>
<u>8</u>	<u>1.3</u>	<u>1.5</u>	<u>1.6</u>	<u>1.7</u>	<u>1.9</u>	<u>2.1</u>	<u>2.2</u>	<u>2.4</u>	<u>2.4</u>	<u>2.5</u>	<u>2.6</u>	<u>2.7</u>	<u>3.1</u>	<u>3.8</u>
<u>8.5</u>	<u>1.4</u>	<u>1.6</u>	<u>1.7</u>	<u>1.8</u>	<u>2.0</u>	<u>2.2</u>	<u>2.3</u>	<u>2.5</u>	<u>2.6</u>	<u>2.7</u>	<u>2.8</u>	<u>2.9</u>	<u>3.3</u>	<u>4.1</u>

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9	1.4	1.7	1.7	1.8	2.0	2.3	2.4	2.6	2.7	2.8	2.9	3.0	3.6	4.3
9.5	1.4	1.7	1.8	1.9	2.1	2.4	2.5	2.7	2.8	2.9	3.0	3.2	3.8	4.6
10	1.5	1.8	1.9	2.0	2.2	2.4	2.6	2.8	2.9	3.0	3.1	3.3	4.0	4.8

1.4 Tree Canopy and Deep Soil Areas**Acceptable Outcomes**

- A1.4.1** Deep soil areas are provided as a minimum of 12% of the site area. Deep soil areas are to be co-located with existing trees for retention and/or adjoining trees, or alternatively provided in a location that is conducive to tree growth and suitable for communal open space.
- A1.4.2** If existing trees, which meet the criteria of A 3.3.1 of the R Codes Volume 2, are retained on site the minimum deep soil area is to be 10% of the site area.
- A1.4.3** Planting Areas are provided as a minimum of 3% of the site area.
- A1.4.4** Landscaping includes existing and new trees with shade producing canopies in accordance with Tables 3.3a and 3.3b of the R Codes Volume 2 to achieve canopy coverage of 80% in the ground floor lot boundary setback.
- A1.4.5** Evergreen tree species where landscaping is used to reduce the impact of building bulk.
- A1.4.6** Deciduous tree species to the north and south of development to allow natural light penetration to the development and adjoining buildings.
- A1.4.74** Where the required deep soil areas cannot be provided due to site restrictions, planting on structure with an area equivalent to two times the shortfall in deep soil area provision is provided to a minimum depth and dimension of 1 metre.

1.5 Pedestrian access and entries**Acceptable Outcomes**

- A1.5.1** Pedestrian access which is identifiable from the street and visitor car parking areas and other public areas.
- A1.5.2** Access for pedestrians which directly fronts the primary street.
- A1.5.3** Developments shall distinguish residential entries from retail and other commercial entries.
- A1.5.4** Internal ground floor level to be at grade.
- A1.5.5** Design of balustrades to be integrated into the design of the development.
- A1.5.6** Ramps are not to exceed 50% of the active frontage.

1.6 Vehicle Access**Acceptable Outcomes**

- A1.6.1** Service areas and vehicular access shall be:
- (a) Taken from the rear laneway or secondary street in the first instances; or
 - (b) Collocated where taken from the primary street to maximise the width of active frontages.
- A1.6.2** Access to on-site car parking spaces to be provided:
- where available, from a right of way available for lawful use to access the relevant lot and which is adequately paved and drained from the property boundary to a dedicated road;
 - from a secondary street where no right of way exists; or
 - from the primary street frontage where no secondary street or right-of way exists.
- A1.6.3** Access to a right of way is required to be trafficable to the nearest dedicated road. The cost to upgrade a right of way to make it trafficable is to be borne by the applicant.
- A1.6.4** Where vehicular access is provided from a street, all vehicles are required to enter and exit the site in forward gear.
- A1.6.5** Roller shutters and screens are to be visually permeable.
- A1.6.6** Onsite parking for a development shall be located beneath or at the rear of buildings.
- A1.6.7** In a mixed-use development, car bays should be clearly signposted differentiating between the residential car bays and the commercial car bays.
- A1.6.8** Where on-site parking provided for customer/client use is not directly visible from the adjacent street, adequate signage is to be provided to promote public knowledge of and direction to the car park. This signage is to comply with the requirements of the City's Policy relating to Signs and Advertising.
- A1.6.9** Existing trees must not be removed to provide for vehicle access.
- A1.6.10** Each lot is to provide a maximum of one crossover.
- A1.6.11** The maximum width of a single crossover is 3m. The maximum width of a double crossover is 5m.
- A1.6.12** The location of crossovers should maximize the ability to provide on-street car parking spaces.

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|---|
| <p>A1.6.13 Where a crossover meets a pedestrian path there must be clear communication of pedestrian priority.</p> <p>A1.6.14 Crossovers must be setback a minimum of 0.5m from the lot boundary.</p> |
|---|

1.7 Car and bicycle parking**Acceptable Outcomes**

- A1.7.1** Uncovered at-grade parking is planted with trees at a minimum rate of one tree per four bays to achieve canopy coverage of 60% of the site.

1.8 Façade design**Acceptable Outcomes**

- A1.8.1** Commercial Development which fronts the public realm shall provide active frontages including glazing, openings and operable windows to ensure activity, interaction and surveillance of the street.
- A1.8.2** Commercial Ground floor spaces shall have a maximum width of 9m and a finished floor level to finished ceiling level height of a minimum of 3.5m.
- ~~**A1.8.3** Commercial Development shall provide a protective awning over the pedestrian footpath.~~
- A1.8.4** Development shall identify key design elements in the local area and streetscape through an Urban Design Study and integrate and acknowledge these design elements where possible whilst avoiding the use of faux materials.
- ~~**A1.8.5** Development which incorporates the design elements of the predominant streetscape character of the urban design study area outlined in Appendix 2.~~
- A1.8.6** Commercial Building facades visible from the public realm shall:
- (a) Incorporate a variety of materials, colours, textures and depths;
 - (b) Not present a blank, monotonous, repetitious or dominant building treatment;
 - (c) Incorporate architectural or functional elements integrated into the façade, rather than cosmetic or superficial attachments to the building;
 - (d) Incorporate vertical articulation by using tall and narrow façade treatments;
 - (e) Incorporate articulation such as doorways, windows, seating ledges, sills, stall risers and other detailing;
 - (f) Minimise use of shallow framings systems and thin wall/glazing systems;
 - (g) Integrate fire boosters, mail boxes and external fixtures into the building design or screen them so they appear as part of the façade; and
 - (h) Integrate signage into the design and articulation on the ground floor.
- A1.8.7** Where provided, doorways shall have a depth between 500mm and 1.5m to clearly articulate entrances to commercial buildings and tenancies.
- A1.8.7** Where provided, windows, seating ledges, sills, stall risers and other detailing shall have a minimum depth of 300mm.
- A1.8.8** Where provided, stall risers shall be a minimum height of 450mm.

- A1.8.9** Commercial Ground floor glazing and/or tinting shall have a minimum of 70% visible light transmission to provide unobscured visibility.
- A1.8.10** Security measures shall be:
- (a) Located and installed internally behind the glazing line or recessed between elements in the façade such as columns or doorway recesses; and
 - (b) Transparent and visually permeable to allow views inside the building and enable internal light sources to be seen from the street.
- A1.8.11** Commercial Development shall provide a protective awning over the pedestrian footpath, which ~~Where provided, awnings shall be:~~
- (a) ~~Be~~A minimum height of 3.5m and a maximum height of 4m from finished floor level to the underside of the awning to accommodate under awning signage;
 - (b) Be setback a minimum of 600mm from the face of kerb;
 - (c) Respond to any existing and/or proposed verge trees;
 - (d) Respond to the height, depth and form of existing awnings on the subject and adjoining buildings;
 - (e) Respond to the slope of the site; and
 - (f) Integrated with the design of the façade
- A1.8.12** Verandahs and collonades are only permitted where they are constructed wholly within the lot boundaries of development site.

1.9 Roof design**Acceptable Outcomes**

- A1.9.1** Flat roof structures that are not visible from the street or adjacent properties shall have a maximum solar absorptance rating of 0.4.
- A1.9.2** Pitched roof structures or roof structures that are visible from the street or adjacent properties shall have a maximum solar absorptance rating of 0.5, unless a suitable alternative is identified in the Urban Design Study (A1.10.4).

1.10 Energy efficiency environmentally Sustainable Design**Objectives**

- 1.10.1** Development that considers the whole of life environmental impact of the building and incorporates measures to reduce this impact.

Acceptable Outcomes

- A1.10.1** Development shall incorporate:
(a) Site planning principles that maximise solar passive design opportunities for both summer and winter; and
(b) Recovery and re-use of rainwater, storm water, grey water and/or black water for non-potable water applications.
- A1.10.2** Development achieves the environmental performance standards shown in the below table, or their equivalent*.

Accepted Rating Frameworks	Specifications / compliance requirements	Minimum requirement to be achieved
Green Building Council of Australia's Green Star rating system	Current Design and As-Built rating tool	Preliminary Sustainable Design Report prepared by a Green Star Accredited Professional using the current Green Star Design and As-Built rating tool scorecard to demonstrate eligibility for 5-star Green Star rating.
or		
Life Cycle Assessment Methodologies	ISO 14044 "Environmental management – Life cycle assessment – Requirements and Guidelines" and EN15978 "Sustainability of construction works – Assessment of environmental performance of buildings – Calculation method."	<p>Target Setting Report clearly stating:</p> <ul style="list-style-type: none"> — The lifetime savings of both global warming potential and water that the development is committed to achieve; — The preferred strategies for achieving these targets; and — A range of reserve strategies that will be employed to achieve each target should preferred strategies become unfeasible. <p>Residential component:</p> <ul style="list-style-type: none"> — Global warming potential of the development over its lifetime to be reduced by 50% or more when compared to the average Australian code-compliant equivalent building built at the same time. — Net use of fresh water of the development over its lifetime to be reduced by 25% or more when compared to the average Australian code-compliant equivalent building built at the same time.

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		Commercial component: <ul style="list-style-type: none"> Global warming potential of the development over its lifetime to be reduced by 30% or more when compared to the average Australian code-compliant equivalent building built at the same time. Water use of the development over its lifetime to be reduced by 15% or more when compared to the average Australian code-compliant equivalent building built at the same time.
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*The City also accepts other sustainability assessment frameworks and mechanisms that are nationally or internationally recognised, compliant with applicable Australian/international standards and subject to oversight by a certifying body. C1.5.1 to C1.5.3 must be explicitly addressed and referenced within this report or separately.

Accepted Rating Framework	Specification / Compliance Requirements	Minimum Requirement to be Achieved	Evidence
<u>Green Building Council of Australia's Green Star Rating System</u>	<u>Current Design and As-Built rating tool</u>	<u>5 star Green Star rating</u>	<u>Preliminary Sustainable Design Report prepared by a Green Star Accredited Professional using the current Green Star Design and As-Built rating tool scorecard to demonstrate eligibility for 5 star Green Star rating.</u>
<u>Life Cycle Assessment in Accordance with EN15978- Sustainability of construction works – Assessment of environmental performance of buildings – Calculation method.</u>	<u>System Boundary must include all Life Cycle Modules (A1-2, B1-7, C1-4 and D) in addition to non-integrated energy (plug loads)</u>	<u>Global Warming Potential and Net Fresh Water Use Performance Reduction as per Table *** below.</u>	<u>Independently Reviewed EN15978 Compliant Target Setting LCA with a 20% factor of safety applied to improvement strategies</u>

Building Type	Performance Requirement	
	Global Warming Potential	Net Fresh Water Use
<u>Residential (BCA Class 1-3)</u>	<u>< 2,250 kgCO₂e / Occupant / Year (50% saving against Perth statistical average residences)</u>	<u>< 57m³ / Occupant / Year</u>

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		<u>(50% saving against Perth statistical average residences)</u>
<u>Commercial Office (BCA Class 5)</u>	<u>< 104 kgCO₂e / m² Net Lettable Area / year (30% saving against Perth statistical average office)</u>	<u>< 1.25 m³ / m² Net Lettable Area / year (25% saving against Perth statistical average office)</u>
<u>All Other Building Types</u>	<u>30% saving against Code-Compliant design</u>	<u>25% saving against Code-Compliant design</u>

*The City accepts sustainability assessment frameworks and mechanisms that are nationally or internationally recognised, compliant with applicable Australian/international standards and subject to oversight by a certifying body.

SECTION 2 – ACTIVITY CORRIDORS**2.1 Building Height****Acceptable Outcomes**

- A2.1.1** Development that is consistent with the building heights provided in Table 2-2.1 and Figure 2.
- A2.1.2** External fixtures may extend beyond the maximum height in Table 2-2.1 and Figure 2 where they are not visible from the street or neighbouring properties.
- A2.1.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height.
- A2.1.4** The City may approve development which exceeds the maximum height stated in Table 2-2.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan.

TABLE 2-2.1: Building Height – Activity Corridors

Activity Corridors	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Oxford Street	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Scarborough Beach Road	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Fitzgerald Street (Newcastle St to Vincent St)	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Fitzgerald Street (Vincent St to Raglan Road)	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Newcastle Street	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Beaufort Street (Newcastle St to Lincoln St)	5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
Beaufort Street (Lincoln St to Walcott St)	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m

2.2 **Activity Corridor Development Requirements**

2.2.1 All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1.

SECTION 3 – MIXED USE**3.1 Building Height****Acceptable Outcomes**

- A3.1.1** Development that is consistent with the building heights provided in Table 2-3.1 and Figure 2.
- A3.1.2** External fixtures may extend beyond the maximum height in Table 2-3.1 and Figure 2 where they are not visible from the street or neighbouring properties.
- A3.1.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height.
- A3.1.4** The City may approve development which exceeds the maximum height stated in Table 2-3.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan.

TABLE 2-3.1: Building Height – Mixed Use Areas

Mixed Use Area	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Area bounded by Newcastle St, Loftus St, Mitchell Freeway and Charles St	7 storeys	22.6m	23.6m	22.6m	23.6m	25.6m
Area bounded by Carr St, Charles St, Newcastle St and Fitzgerald St	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Between Fitzgerald St and William St	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Brisbane St						
Bulwer St						
Charles St						
Green St						
Walcott St						
William St						
Between William St and Lord St						
North Perth	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Area bounded by Summers St, Lord St, Graham Farmer Freeway and East						

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Parade (Except where defined below)						
Edward St South	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m
Edward St North	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Caversham South	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m
Caversham North	10 storeys	31.9m	32.9m	31.9m	32.9m	34.9m
Cheriton South	10 storeys	31.9m	32.9m	31.9m	32.9m	34.9m
Cheriton North	12 storeys	38.1m	39.1m	38.1m	39.1m	41.1m

3.2 Mixed Use Development Requirements

3.2.1 All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1.

SECTION 4 – TRANSIT CORRIDORS**4.1 Building Height****Acceptable Outcomes**

- A4.1.1** Development that is consistent with the building heights provided in Table 2-4.1 and Figure 2.
- A4.1.2** External fixtures may extend beyond the maximum height in Table 2-4.1 and Figure 2 where they are not visible from the street or neighbouring properties.
- A4.1.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height.
- A4.1.4** The City may approve development which exceeds the maximum height stated in Table 2-4.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan.

TABLE 2-4.1: Building Height – Transit Corridors

Transit Corridors	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Loftus Street	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Charles Street: Between Newcastle St and Carr St						
West side and lots fronting Newcastle	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
East side	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Charles Street (Carr Street to Walcott St)	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R80 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Fitzgerald Street (Angove St to Walcott St)	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Walcott Street	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Lord Street	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
East Parade	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
William Street	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m

Transit Corridors	Maximum No. of Storeys		Maximum Building Height			
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
(Vincent St to Walcott St)						

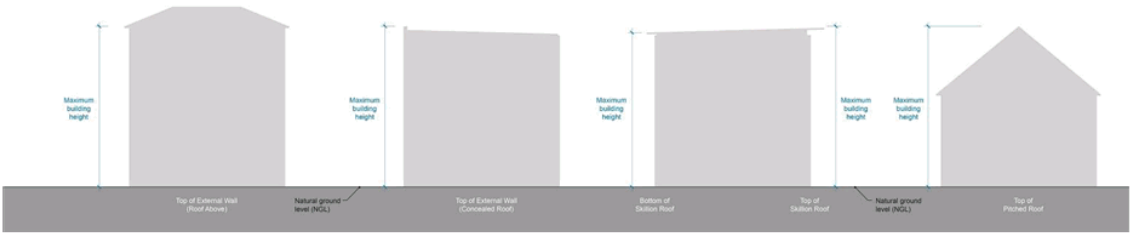


Figure 2-4.2 – Building Height and Measurement

4.2 Street Setbacks**Acceptable Outcomes**

- A4.2.1** Development complies with the street setback set out in Table 2.1 of the R Codes Volume 2.
- A4.2.2** Primary and secondary street setback for the third storey and above must incorporate articulation and the use of varying colours and materials which minimise the bulk and scale of the building on the streetscape.

4.3 Side and rear setbacks

4.3.1 ~~Clause 1.3 of this Policy applies.~~

4.34 Tree canopy and deep soil areas**Acceptable Outcomes**

- A4.34.1** Deep soil areas are provided as a minimum of 12% of the site area. Deep soil areas are to be co-located with existing trees for retention and/or adjoining trees, or alternatively provided in a location that is conducive to tree growth and suitable for communal open space.
- A4.3.2** If existing trees, which meet the criteria of A 3.3.1 of the R Codes Volume 2, are retained on site the minimum deep soil area is to be 10% of the site area.
- A4.3.3** Planting Areas are provided as a minimum of 3% of the site area.
- A4.3.4** Landscaping includes existing and new trees with shade producing canopies in accordance with Tables 3.3a and 3.3b of the R Codes Volume 2 to achieve canopy coverage of 30% of the site area.
- A4.3.5** Evergreen tree species where landscaping is used to reduce the impact of building bulk.
- A4.3.6** Deciduous tree species to the north and south of development to allow natural light penetration to the development and adjoining buildings.
- A4.3.7** Where the required deep soil areas cannot be provided due to site restrictions, planting on structure with an area equivalent to two times the shortfall in deep soil area provision is provided to a minimum depth and dimension of 1 metre.
Landscaping includes existing and new trees with shade producing canopies in accordance with Tables 3.3a and 3.3b of the R Codes.
- A4.34.82** A minimum of 50% of the front setback shall be provided as soft landscaping.
- A4.4.5** Where the required deep soil areas cannot be provided due to site restrictions, planting on structure with an area equivalent to two times the shortfall in deep soil area provision is provided.

4.45 Public domain interface**Acceptable Outcomes**

- A4.45.1** Street walls, fences and gates are to be of a style and materials compatible with those of the development on site and/or walls, fences and gates of the immediate surrounding area excluding fibre cement.
- A4.45.2** Street walls, fences and gates within the primary street setback area, including along the side boundaries, and front walls and fences to new dwellings fronting a right of way or dedicated road to be as follows:
- (a) Maximum height of 1.8 metres above the natural ground level;
 - (b) Maximum height of piers with decorative capping to be 2 metres above the natural ground level;
 - (c) Maximum height of solid portion of wall to be 1.2 metres above adjacent footpath level and are to be visually permeable above 1.2 metres;
 - (d) Posts and piers are to have a maximum width 400 millimetres and a maximum diameter of 500 millimetres; and
 - (e) The distance between piers should not be less than the height of the piers except where pedestrian gates are proposed.
- A4.45.3** Street walls, fences and gates to secondary streets, behind the primary street setback line, or walls, fences and gates to the primary streets where those streets are district distributor roads to be as follows:
- (a) Solid portion of wall may increase to a maximum height of 1.8 metres above adjacent footpath level provided that the wall or fence has at least two significant appropriate design features (to the satisfaction of the City of Vincent) to reduce the visual impact – for example, significant open structures, recesses and/or planters facing the road at regular intervals and varying materials, finishes and/or colours; and
 - (b) Maximum height of piers with decorative capping to be 2 metres above adjacent footpath level.
- A4.45.4** Exposed boundary walls visible to the street are to incorporate the following design features:
- Indentations;
 - Varying heights;
 - Varying materials, colours and textures; or
 - Public artwork.
- A4.45.5** Any proposed vehicular or pedestrian entry gates shall be visually permeable.
- A4.45.6** Walls and fences on the side boundaries, only within the primary street setback area, constructed from metal sheeting are permitted provided they meet all other requirements relating to height, provide adequate sight lines and are not a side boundary fence facing a secondary street.

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4.56 Vehicle Access**Acceptable Outcomes**

A4.56.1 Garages which are 50% or less than the width of the lot.

A4.5.2 For lots less than 10 metres wide, garages which are a maximum of 4 metres wide.

A4.56.3 Access to a right of way is required to be trafficable to the nearest dedicated road. The cost to upgrade a right of way to make it trafficable is to be borne by the applicant.

4.6 Transit Corridor Development Requirements

4.6.1 All development requirements of Section 1 – Town Centres apply with the exception of Clause 1.1, 1.2 and 1.4.

SECTION 5 - RESIDENTIAL**5.1 Building Height****Acceptable Outcomes**

A5.1.1 Development that is consistent with the building heights provided in Table 2-5.1 and Figure 2.

A5.1.2 External fixtures may extend beyond the maximum height in Table 2-5.1 and Figure 2 where they are not visible from the street or neighbouring properties.

A5.1.3 The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height.

A5.1.4 The City may approve development which exceeds the maximum height stated in Table 2-5.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan.

TABLE 2-5.1: Building Height – Residential Area

Maximum No. of Storeys as per Figure 2	Maximum Building Height				
	Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
1 storey*	3m	4m	3m	4m	6m
2 storeys	6m	7m	6m	7m	9m
3 storeys	9m	10m	9m	10m	12m
4 storeys	12m	13m	12m	13m	15m
5 storeys	16m	17m	16m	17m	18m

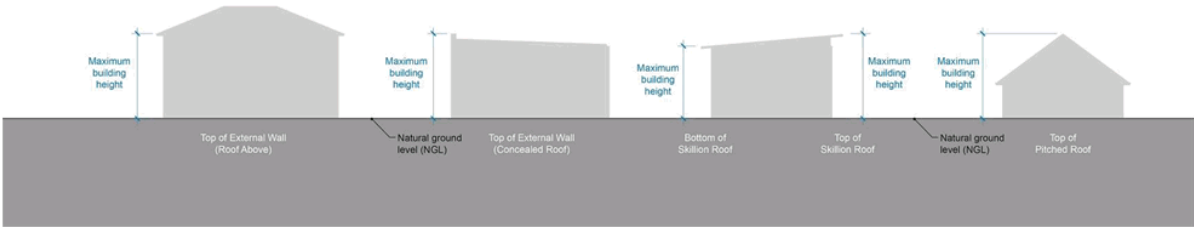


Figure 2-5.1 – Residential Building Heights

5.2 Street setbacks**Acceptable Outcomes**

- A5.2.1** The primary street setback is to be calculated by averaging the setback of the five dwellings adjoining both side lot boundaries of the proposed development.
- A5.2.2** For the purpose of averaging, the primary street setback is to be measured from the street alignment to the nearest wall of the dwelling excluding porches, verandahs, carports and balconies.
- A5.2.3** Walls on upper floors setback a minimum of 2 metres behind the ground floor predominant building line (excluding any porch or verandah), as determined by the City.
- A5.2.4** Balconies on upper floors setback a minimum of 1 metre behind the ground floor predominant building line (excluding any porch or verandah), as determined by the City.

Dual frontage

- A5.2.6** The above setback distances also apply to development which has an elevation to a road which does not intersect or adjoin the primary or secondary streets.

5.3 Side and rear setbacks

5.3.1 ~~Clause 1.3 applies to all development.~~

5.43 Tree canopy and deep soil areas**Acceptable Outcomes**

- A5.34.1** Deep soil areas are provided as a minimum of 12% of the site area. Deep soil areas are to be co-located with existing trees for retention and/or adjoining trees, or alternatively provided in a location that is conducive to tree growth and suitable for communal open space.
- A5.3.2** If existing trees, which meet the criteria of A 3.3.1 of the R Codes Volume 2, are retained on site the minimum deep soil area is to be 10% of the site area.
- A5.3.3** Planting Areas are provided as a minimum of 3% of the site area.
- A5.3.4** Landscaping includes existing and new trees with shade producing canopies in accordance with Tables 3.3a and 3.3b of the R Codes Volume 2 to achieve canopy coverage of 30% of the site area.
- A5.3.5** Evergreen tree species where landscaping is used to reduce the impact of building bulk.
- A5.3.6** Deciduous tree species to the north and south of development to allow natural light penetration to the development and adjoining buildings.
- A5.3.7** Where the required deep soil areas cannot be provided due to site restrictions, planting on structure with an area equivalent to two times the shortfall in deep soil area provision is provided to a minimum depth and dimension of 1 metre.
Landscaping includes existing and new trees with shade producing canopies in accordance with Tables 3.3a and 3.3b of the R Codes.
- A5.4.4** Where the required deep soil areas cannot be provided due to site restrictions, planting on structure with an area equivalent to two times the shortfall in deep soil area provision is provided.

5.54 Public domain interface**Acceptable Outcomes**

- A5.45.1** Street walls, fences and gates are to be of a style and materials compatible with those of the development on site and/or walls, fences and gates of the immediate surrounding area excluding fibre cement.
- A5.45.2** Street walls, fences and gates within the primary street setback area, including along the side boundaries, and front walls and fences to new dwellings fronting a right of way or dedicated road to be as follows:
- (a) Maximum height of 1.8 metres above the natural ground level;
 - (b) Maximum height of piers with decorative capping to be 2 metres above the natural ground level;
 - (c) Maximum height of solid portion of wall to be 1.2 metres above adjacent footpath level and are to be visually permeable above 1.2 metres;
 - (d) Posts and piers are to have a maximum width 400 millimetres and a maximum diameter of 500 millimetres; and
 - (e) The distance between piers should not be less than the height of the piers except where pedestrian gates are proposed.
- A5.45.3** Street walls, fences and gates to secondary streets, behind the primary street setback line, or walls, fences and gates to the primary streets where those streets are district distributor roads to be as follows:
- (a) Solid portion of wall may increase to a maximum height of 1.8 metres above adjacent footpath level provided that the wall or fence has at least two significant appropriate design features (to the satisfaction of the City of Vincent) to reduce the visual impact – for example, significant open structures, recesses and/or planters facing the road at regular intervals and varying materials, finishes and/or colours; and
 - (b) Maximum height of piers with decorative capping to be 2 metres above adjacent footpath level.
- Note: The measurement of street walls, fences and gates is to include any retaining walls and is to be measured from the natural ground level immediately below the base of the wall to the top of the wall above, within the development site. In the case of primary street frontage the measurement of street walls, fences and gates is to be measured from the natural ground level of the footpath immediately below the base of the wall to the top of the wall above.
- A5.45.4** Walls, fences and gates on the side boundaries within the primary street setback area, constructed from metal sheeting are permitted provided they meet all other requirements relating to height, provide adequate sight lines and are not a side boundary fence facing a secondary street

A5.4.5 Walls, fences and other structures truncated or reduced to no higher than 0.75m within 1.5m of where walls, fences and other structures adjoin vehicle access points, where a driveway meets a public street and where two streets intersect, with the exception of:

- One pier/pillar with a maximum width and depth of 400 millimetres and 1.8 metres height above NGL, or 2.0 metres tall to the top of decorative capping above the NGL;
- Fence slats or infill higher than 0.75 metres above NGL that provides a Clear Sight Line;
- If a gate is proposed across a vehicle access point where a driveway meets a public street and where two streets intersect, the gate must provide:
 - When Closed: a minimum of 50 per cent unobstructed view;
 - When Open: a Clear Sight Line from 0.75m above the NGL within 1.5m of where the vehicle access way joins the street;

For the purposes of this clause a Clear Sight Line means:

- Continuous horizontal or vertical gaps that constitute a minimum of 50% of the total surface area;
- A minimum gap size of 40mm;
- If slats are orientated to be deeper than they are wide - the distance between the slats must be no less than two-times the depth of the slat;
- Clear non-reflective glass.

5.56 Vehicle Access

5.56.1 Clause 4.6 applies to development in the Residential Built Form Area.

5.6 Residential Built Form Area Development Requirements

5.6.1 All development requirements of Section 1 – Town Centres apply with the exception of Clause 1.1, 1.2 and 1.4.

5.7 Car and bicycle parking

5.7.1 Clause 1.7 applies to development in the Residential Built Form Area.

5.8 Façade design

5.8.1 Clause 1.8 applies to development in the Residential Built Form Area.

5.9 Roof design

5.9.1 Clause 1.8 applies to development in the Residential Built Form Area.

VOLUME 3, COMMERCIAL – POLICY PROVISIONS**SECTION 1 – TOWN CENTRE****1.1 Building Height****Element Objectives**

- O1.1.1** Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.
- O1.1.2** Development that incorporates design measures to reduce the impact of height, bulk and scale on neighbouring properties and the streetscape.
- O1.1.3** Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
- O1.1.4** Design which minimises overlooking and overshadowing where it impacts residential development.
- O1.1.5** The height of development responds to the desired future scale and character of the street and local area, including existing buildings that are unlikely to change.
- O1.1.6** The height of buildings within a development responds to changes in topography.
- O1.1.7** Development incorporates articulated roof design.
- O1.1.8** The height of development recognises the need for daylight and solar access to adjoining and nearby residential development.

Acceptable Outcomes

- A1.1.1** Development that is consistent with the building heights provided in Table 3-1.1 and Figure 2.
- A1.1.2** External fixtures may extend beyond the maximum height in Table 3-1.1 and Figure 2 where they are not visible from the street or neighbouring properties.
- A1.1.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this Policy.
- A1.1.4** The City may approve development which exceeds the maximum height stated in Table 3-1.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P1.1.1 – P1.1.4.

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TABLE 3-1.1: Building Height – Town Centres

Location	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Leederville	In accordance with the Leederville Masterplan, and where no height is stated the maximum is to be 6 storeys, with the exception of the below requirements.: Vincent Street – 5 storeys Carr Place – 4 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
	Vincent Street – 5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
	Carr Place – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
North Perth	Fitzgerald Street – 6 storeys Angove Street – 4 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
	Angove Street – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Perth	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Mount Lawley / Highgate	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Mount Hawthorn	5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
Glendalough	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m

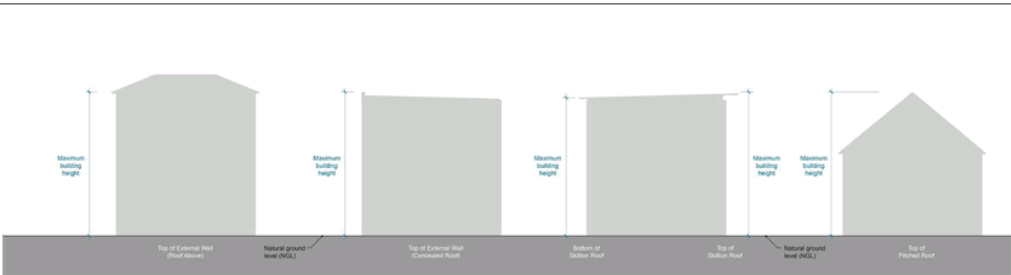


Figure 3-1.1 – Building Height Measurement

1.2 Street Setbacks (Primary and Secondary)**Element Objectives**

- O1.2.1** Development which incorporates design elements that reduce the impact of building bulk.
- O1.2.2** Development which maximises natural light access, natural ventilation and, internal and external privacy.
- O1.2.3** Development which activates and addresses rights of way.
- O1.2.4** Street setbacks that facilitate the provision of useable open space, alfresco dining opportunities and landscaping which contributes to canopy coverage.
- O1.2.5** The setback of the development from the street reinforces and/or complements the character of the street.
- O1.2.6** The street setback provides a clear transition between the public and private realm.
- O1.2.7** The setback of the development enables passive surveillance and outlook to the street.

Acceptable Outcomes

- A1.2.1** Primary and secondary street setback is nil.

1.3 Side and rear setbacks**Element Objectives**

- O1.3.1** Development which incorporates design elements that reduce the impact of building bulk.
- O1.3.2** Development which maximises natural light access, natural ventilation and, internal and external privacy.
- O1.3.3** Setbacks that facilitate the provision of landscaping.
- O1.3.4** Development which activates and addresses rights of way.
- O1.3.5** Building boundary setbacks provide for adequate separation between neighbouring properties.
- O1.3.6** Building boundary setbacks are consistent with the existing streetscape pattern or the desired streetscape character.
- O1.3.7** The setback of development from side and rear boundaries enables retention of existing trees and provision of deep soil areas that reinforce the landscape character of the area, support tree canopy and assist with stormwater management.
- O1.3.8** The setback of development from side and rear boundaries provides a transition between sites with different land uses or intensity of development.

Acceptable Outcomes

- A1.2.1** Development complies with the side and rear setbacks set out in table 1.3a, 1.3b and 1.3c.

Table 1.3a

			<u>Subject Property</u>							
			<u>R20</u>	<u>R30</u>	<u>R40</u>	<u>R50</u>	<u>R60</u>	<u>R80</u>	<u>R100+</u>	<u>R – No R- AC3 Code</u>
<u>Neighbourin</u>	<u>Residential</u>	<u>Built Form</u>	<u>R20</u>	<u>A</u>	<u>AB</u>	<u>AB</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>
		<u>R30</u>	<u>A</u>	<u>A</u>	<u>AB</u>	<u>B</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>
		<u>R40</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>B</u>	<u>B</u>	<u>C</u>	<u>C</u>	<u>C</u>
		<u>R50</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>B</u>	<u>B</u>	<u>C</u>	<u>C</u>

	<u>R60</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>B</u>	<u>B</u>	<u>B</u>	<u>B</u>
	<u>R80</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>D</u>	<u>D</u>	<u>D</u>	<u>D</u>
	<u>R100+</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>D</u>	<u>D</u>	<u>D</u>	<u>D</u>
	<u>No R-Code</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>A</u>	<u>D</u>	<u>D</u>	<u>D</u>	<u>D</u>
<u>Non-Residential Built Form Area</u>		<u>E</u>	<u>E</u>	<u>E</u>	<u>E</u>	<u>E</u>	<u>F</u>	<u>F</u>	<u>F</u>	<u>F</u>

Table 1.3b

	<u>Setback for ground floor, second storey and third storey</u>	<u>Setback for the fourth storey and above</u>
<u>A</u>	<u>Table 1.3c</u>	<u>Table 1.3c</u>
<u>B</u>	<u>4.5m</u>	<u>6.5m</u>
<u>C</u>	<u>6.5m</u>	<u>12.5</u>
<u>D</u>	<u>R Codes Volume 2 Table 2.1</u>	<u>R Codes Volume 2 Table 2.1</u>
<u>E</u>	<u>Nil</u>	<u>Table 1.3c</u>
<u>F</u>	<u>Nil</u>	<u>R Codes Volume 2 Table 2.1</u>

Table 1.3c

<u>Wall length (m)</u>

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	9 or less	10	11	12	13	14	15	16	17	18	19	20	25	Over 25
<u>Wall height (m)</u>														
<u>3.5 or less</u>	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
<u>4</u>	1.1	1.5	1.5	1.5	1.5	1.5	1.5	1.6	1.6	1.6	1.6	1.7	1.7	1.8
<u>4.5</u>	1.1	1.5	1.5	1.5	1.5	1.5	1.6	1.7	1.7	1.7	1.7	1.7	1.8	2.0
<u>5</u>	1.1	1.5	1.5	1.5	1.5	1.6	1.7	1.8	1.8	1.8	1.8	1.9	2.0	2.3
<u>5.5</u>	1.2	1.5	1.5	1.5	1.6	1.7	1.8	1.9	1.9	2.0	2.0	2.1	2.3	2.5
<u>6</u>	1.2	1.5	1.5	1.5	1.6	1.8	1.9	2.0	2.0	2.1	2.1	2.2	2.4	2.8
<u>6.5</u>	1.2	1.5	1.5	1.6	1.7	1.9	2.0	2.1	2.1	2.2	2.2	2.3	2.7	3.0
<u>7</u>	1.2	1.5	1.5	1.6	1.8	2.0	2.1	2.2	2.2	2.3	2.4	2.5	2.8	3.3
<u>7.5</u>	1.3	1.5	1.6	1.7	1.9	2.1	2.2	2.3	2.3	2.4	2.5	2.6	3.0	3.5
<u>8</u>	1.3	1.5	1.6	1.7	1.9	2.1	2.2	2.4	2.4	2.5	2.6	2.7	3.1	3.8
<u>8.5</u>	1.4	1.6	1.7	1.8	2.0	2.2	2.3	2.5	2.6	2.7	2.8	2.9	3.3	4.1
<u>9</u>	1.4	1.7	1.7	1.8	2.0	2.3	2.4	2.6	2.7	2.8	2.9	3.0	3.6	4.3
<u>9.5</u>	1.4	1.7	1.8	1.9	2.1	2.4	2.5	2.7	2.8	2.9	3.0	3.2	3.8	4.6
<u>10</u>	1.5	1.8	1.9	2.0	2.2	2.4	2.6	2.8	2.9	3.0	3.1	3.3	4.0	4.8

Development Adjoining Rights of Way

A1.2.2 Where development adjoins a right of way the setback shall be measured from the midpoint of the right of way.

A1.2.3 Development must address adjoining rights of way by providing passive surveillance and openings to the right of way.

1.4 Orientation**Element Objectives**

O1.4.1 Building layouts respond to the streetscape, topography and site attributes while optimising solar and daylight access within the development.

O1.4.2 Building form and orientation minimises overshadowing of the habitable rooms, open space and solar collectors of neighbouring properties during mid-winter.

Acceptable Outcomes

A1.4.1 Buildings are oriented to maximise northern solar access.

A1.4.2 Development shall be designed such that the shadow cast at midday on 21st June onto any adjoining property does not exceed:

- adjoining properties coded R25 and lower – 25% of the site area;
- adjoining properties coded R30 – R40 - 35% of the site area;
- adjoining properties coded R50 – R60 – 50% of the site area; or
- adjoining properties coded R80 or higher – Nil requirements.

A1.4.3 Where adjoining sites are coded R40 or less, buildings are oriented to maintain 4 hours per day solar access on 21 June for existing solar collectors on neighbouring sites.

1.5 Tree canopy and deep soil areas**Element Objectives**

- O1.5.1** Landscaping is to be designed to reduce the impact of development on adjoining residential zones and public spaces.
- O1.5.2** Landscaping should provide increased urban air quality, tree and vegetation coverage and a sense of open space between buildings.
- O1.5.3** The provision of landscaping that will make an effective and demonstrated contribution to the City's green canopy to reduce the impact of the urban heat island effect.
- O1.5.4** Development that offsets the impact of removing existing trees.
- O1.5.5** Open air car parks should be appropriately landscaped to provide adequate shading and reduce the impact on adjoining properties.
- O1.5.6** Development includes deep soil areas, or other infrastructure to support planting on structures, with sufficient area and volume to sustain healthy plant and tree growth.

Acceptable Outcomes

- A1.5.1** Deep Soil Areas shall be provided in accordance with the following requirements:

Site Area	Minimum Area & Minimum Dimensions	Deep Soil Areas (minimum % of site)
<650m ²	1m ² 1m x 1m	12%
650m ² – 1,500m ²	1m ² 1m x 1m	12%
>1,500m ²	1m ² 1m x 1m	12%

- A1.5.2** The required Deep Soil Area may be reduced to 10% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.

A1.5.3 Planting Areas shall be provided in accordance with the following requirements:

Site Area	Minimum Area & Minimum Dimensions	Planting Area (minimum % of site)
<650m ²	1m ² 1m x 1m	3%
650m ² – 1,500m ²	1m ² 1m x 1m	3%
>1,500m ²	1m ² 1m x 1m	3%

A1.5.4 At least 80%* of the lot boundary setback area at ground level shall be provided as canopy coverage at maturity.

A1.5.5 Evergreen tree species where landscaping is used to reduce the impact of building bulk.

A1.5.6 Deciduous tree species to the north and south of development to allow natural light penetration to the development and adjoining buildings.

A1.5.7 Open air car parks, including access ways, shall have a minimum of 60% canopy coverage at maturity.

A1.5.8 All open-air parking areas shall be landscaped at a minimum rate of one tree per four car bays.

A1.5.9 The perimeter of all open-air parking areas shall be landscaped by a planting strip with a minimum dimension of 1.5m.

A1.5.10 Existing trees shall be retained where they are:
(a) Healthy specimens with ongoing viability; and
(b) Species not included on an applicable weed register

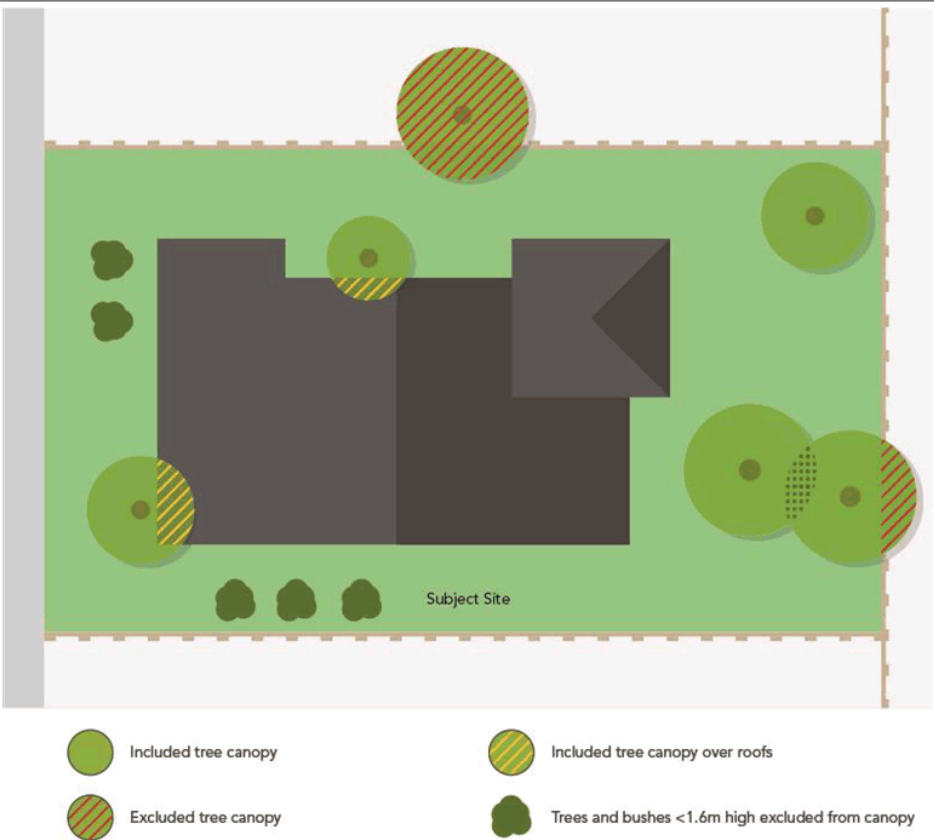
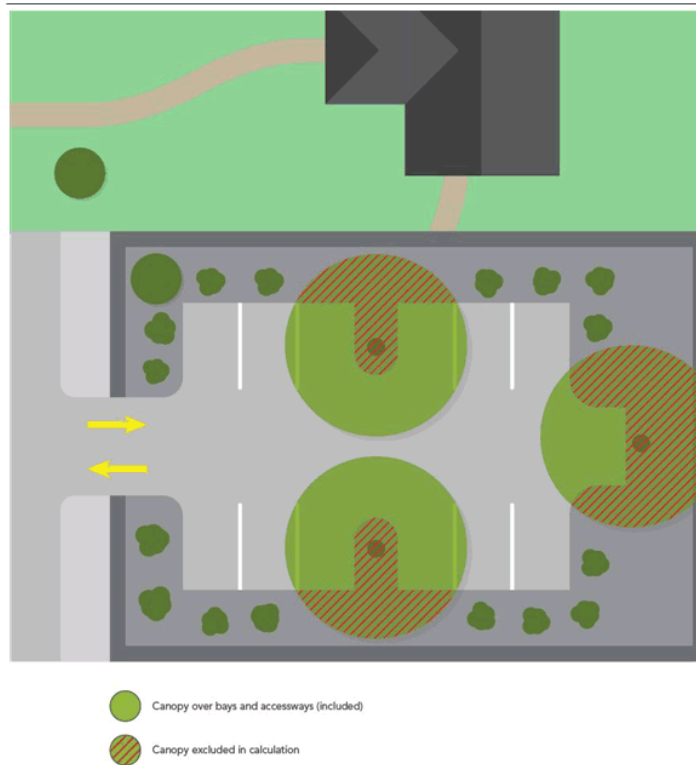


Figure 3-1.5.1

*Figure 3-1.5.2*

1.6 Visual Privacy**Element Objectives**

O1.6.1 The orientation and design of buildings, windows and balconies minimises direct overlooking of habitable rooms and private outdoor living areas of neighbouring properties.

1.7 Public domain interface**Element Objectives**

O1.7.1 The transition between the private and public domain enhances the privacy and safety of residents.

O1.7.2 Street facing development and landscape design retains and enhances the amenity and safety of the adjoining public domain, including the provision of shade.

Acceptable Outcomes

A1.7.1 Car-parking is not located within the primary street setback; and where car parking is located at ground level behind the street setback it is designed to integrate with landscaping and the building façade (where part of the building).

A1.7.2 Upper level balconies and/or windows overlook the street and public domain areas.

A1.7.3 Balustrading includes a mix of visually opaque and visually permeable materials to provide residents with privacy while maintaining casual surveillance of adjoining public domain areas.

A1.7.4 Changes in level between the ground floor level of the building and the street level average less than 1m and do not exceed 1.2m.

A1.7.5 Front fencing includes visually permeable materials above 1.2m and the average height of solid walls or fences to the street does not exceed 1.2m.

A1.7.6 Fencing, landscaping and other elements on the frontage are designed to eliminate opportunities for concealment.

A1.7.7 Bins are not located within the primary street setback or in locations visible from the primary street.

A1.7.8 Services and utilities that are located in the primary street setback are integrated into the design of the development and do not detract from the amenity and visual appearance of the street frontage.

1.8 Pedestrian access and entries**Element Objectives**

O1.8.1 Entries and pathways are universally accessible, easy to identify and safe for residents and visitors.

O1.8.2 Entries to the development connect to and address the public domain with an attractive street presence.

Acceptable Outcomes

A1.8.1 Pedestrian access which is identifiable from the street and visitor car parking areas and other public areas.

A1.8.2 Access for pedestrians which directly fronts the primary street.

A1.8.3 Developments shall distinguish residential entries from retail and other commercial entries.

A1.8.4 Internal ground floor level to be at grade.

A1.8.5 Design of balustrades to be integrated into the design of the development.

A1.8.6 Ramps are not to exceed 50% of the active frontage.

1.9 Vehicle Access**Element Objectives**

O1.9.1 Vehicle access points are designed and located to provide safe access and egress for vehicles and to avoid conflict with pedestrians, cyclists and other vehicles.

O1.9.2 Vehicle access points are designed and located to reduce visual impact on the streetscape.

Acceptable Outcomes

- A1.9.1** Service areas and vehicular access shall be:
- (a) Taken from the rear laneway or secondary street in the first instances; or
 - (b) Collocated where taken from the primary street to maximise the width of active frontages.
- A1.9.2** Access to on-site car parking spaces to be provided:
- where available, from a right of way available for lawful use to access the relevant lot and which is adequately paved and drained from the property boundary to a dedicated road;
 - from a secondary street where no right of way exists; or
 - from the primary street frontage where no secondary street or right-of way exists.
- A1.9.3** Access to a right of way is required to be trafficable to the nearest dedicated road. The cost to upgrade a right of way to make it trafficable is to be borne by the applicant.
- A1.9.4** Where vehicular access is provided from a street, all vehicles are required to enter and exit the site in forward gear.
- A1.9.5** Roller shutters and screens are to be visually permeable.
- A1.9.6** Onsite parking for a development shall be located beneath or at the rear of buildings.
- A1.9.7** Where on-site parking provided for customer/client use is not directly visible from the adjacent street, adequate signage is to be provided to promote public knowledge of and direction to the car park. This signage is to comply with the requirements of the City's Policy relating to Signs and Advertising.
- A1.9.8** Existing trees must not be removed to provide for vehicle access.
- A1.9.9** Each lot is to provide a maximum of one crossover.

- A1.9.10** The maximum width of a single crossover is 3m. The maximum width of a double crossover is 5m.
- A1.9.11** The location of crossovers should maximize the ability to provide on-street car parking spaces.
- A1.9.12** Where a crossover meets a pedestrian path there must be clear communication of pedestrian priority.
- A1.9.13** Crossovers must be setback a minimum of 0.5m from the lot boundary.

1.10 Car and bicycle parking**Element Objectives**

- O1.10.1** Parking and facilities are provided for cyclists and other modes of transport.
- O1.10.2** Car parking provision is appropriate to the location, with reduced provision possible in areas that are highly walkable and/or have good public transport or cycle networks and/or are close to employment centres.
- O1.10.3** Car parking is designed to be safe and accessible.
- O1.10.4** The design and location of car parking minimises negative visual and environmental impacts on amenity and the streetscape.

Acceptable Outcomes

- A1.10.1** Uncovered at-grade parking is planted with trees at a minimum rate of one tree per four bays to achieve canopy coverage of 60% of the site.
- A1.10.2** Secure, undercover bicycle parking is provided in accordance with Local Planning Policy 7.7.1 – Non-Residential Development Parking Requirements.
- A1.10.3** Parking is provided for cars and motorcycles in accordance with Local Planning Policy 7.7.1 – Non-Residential Development Parking Requirements.
- A1.10.4** Car parking and vehicle circulation areas are designed in accordance with AS2890.1 (as amended).
- A1.10.5** Car parking areas are not located within the street setback and are not visually prominent from the street.

1.11 Managing the impact of noise**Element Objectives**

O1.11.1 The siting and layout of development minimises the impact of external noise sources and provides appropriate acoustic privacy to dwellings on adjoining properties.

O1.11.2 Acoustic treatments are used to reduce sound transfer within and between dwellings and to reduce noise transmission from external noise sources.

Acceptable Outcomes

A1.11.1 Ground floor tenancies within new commercial buildings shall provide an acoustic report which demonstrates that they are capable of attenuating noise for a range of land uses including high intensity uses such as small bars, gyms and restaurants.

A1.11.2 Potential noise sources such as garage doors, driveways, service areas, plant rooms, building services, mechanical equipment, active communal open space and refuse bins are not located adjacent to the external wall of dwellings on adjoining properties.

1.12 Universal Design

Element Objectives

01.12.1 Development includes universal design features providing options for people living with disabilities or limited mobility and/or to facilitate ageing in place.

1.13 Façade design**Element Objectives**

O1.13.1 Building façades incorporate proportions, materials and design elements that respect and reference the character of the local area.

O1.13.2 Building façades express internal functions and provide visual interest when viewed from the public realm.

Acceptable Outcomes

- A1.13.1** Commercial Development which fronts the public realm shall provide active frontages including glazing, openings and operable windows to ensure activity, interaction and surveillance of the street.
- A1.13.2** Commercial Ground floor spaces shall have a maximum width of 9m and a finished floor level to finished ceiling level height of a minimum of 3.5m.
- A1.13.3** Commercial Development shall provide a protective awning over the pedestrian footpath.
- A1.13.4** Development shall identify key design elements in the local area and streetscape through an Urban Design Study and integrate and acknowledge these design elements whilst avoiding the use of faux materials.
- A1.13.5** Commercial Building facades visible from the public realm shall:
- (a) Incorporate a variety of materials, colours, textures and depths;
 - (b) Not present a blank, monotonous, repetitious or dominant building treatment;
 - (c) Incorporate architectural or functional elements integrated into the façade, rather than cosmetic or superficial attachments to the building;
 - (d) Incorporate vertical articulation by using tall and narrow façade treatments;
 - (e) Incorporate articulation such as doorways, windows, seating ledges, sills, stall risers and other detailing;
 - (f) Minimise use of shallow framings systems and thin wall/glazing systems;
 - (g) Integrate fire boosters, mail boxes and external fixtures into the building design or screen them so they appear as part of the façade; and
 - (h) Integrate signage into the design and articulation on the ground floor.
- A1.13.6** Where provided, doorways shall have a depth between 500mm and 1.5m to clearly articulate entrances to commercial buildings and tenancies.

- A1.13.7** Where provided, windows, seating ledges, sills, stall risers and other detailing shall have a minimum depth of 300mm.
- A1.13.8** Where provided, stall risers shall be a minimum height of 450mm.
- A1.13.9** Commercial Ground floor glazing and/or tinting shall have a minimum of 70% visible light transmission to provide unobscured visibility.
- A1.13.10** Security measures shall be:
- (a) Located and installed internally behind the glazing line or recessed between elements in the façade such as columns or doorway recesses; and
 - (b) Transparent and visually permeable to allow views inside the building and enable internal light sources to be seen from the street.
- A1.13.11** Where provided, awnings shall be:
- (a) A minimum height of 3.5m and a maximum height of 4m from finished floor level to the underside of the awning to accommodate under awning signage;
 - (b) Be setback a minimum of 600mm from the face of kerb;
 - (c) Respond to any existing and/or proposed verge trees;
 - (d) Respond to the height, depth and form of existing awnings on the subject and adjoining buildings;
 - (e) Respond to the slope of the site; and
 - (f) Integrated with the design of the façade.
- A1.13.12** Verandahs and collonades are only permitted where they are constructed wholly within the lot boundaries of development site.

1.14 Roof design**Element Objectives**

O1.14.1 Roof forms are well integrated into the building design and respond positively to the street.

O1.14.2 Where possible, roof spaces are utilised to add open space, amenity, solar energy generation or other benefits to the development.

Acceptable Outcomes

A1.14.1 The roof form or top of building complements the façade design and desired streetscape character.

A1.14.2 Building services located on the roof are not visually obtrusive when viewed from the street.

A1.14.3 Useable roof space is safe for users and minimises overlooking and noise impacts on adjoining sites.

A1.14.4 Flat roof structures that are not visible from the street or adjacent properties shall have a maximum solar absorptance rating of 0.4.

A1.14.5 Pitched roof structures or roof structures that are visible from the street or adjacent properties shall have a maximum solar absorptance rating of 0.5, unless a suitable alternative is identified in the Urban Design Study.

1.15 Landscape design**Element Objectives**

O1.15.1 Landscape design enhances streetscape and pedestrian amenity, and improves the visual appeal of the development.

O1.15.2 Plant selection is appropriate to the orientation, exposure and site conditions and is suitable for the adjoining uses.

O1.15.3 Landscape design includes water efficient irrigation systems and where appropriate incorporates water harvesting or water re-use technologies.

O1.15.4 Landscape design is integrated with the design intent of the architecture including its built form, materiality, key functional areas and sustainability strategies.

Acceptable Outcomes

A1.15.1 Submission of a landscape plan prepared by a registered landscape architect. This is to include a species list and irrigation plan.

A1.15.2 Landscaped areas are located and designed to support mature, shade-providing trees.

A1.15.3 Building services fixtures are integrated in the design of the landscaping and are not visually intrusive.

1.16 Adaptive reuse**Element Objectives**

O1.16.1 New additions to existing buildings are contemporary and complementary and do not detract from the character and scale of the existing building.

Acceptable Outcomes

A1.16.1 New additions to buildings that have heritage value do not mimic the existing form and are clearly identifiable from the original building.

A1.16.2 New additions complement the existing building by referencing and interpreting the scale, rhythm and materiality of the building.

1.17 Environmentally Sustainable Design**Element Objectives**

O1.17.1 Development that considers the whole of life environmental impact of the building and incorporates measures to reduce this impact.

O1.17.2 Development which reduces the impact of solar radiation in summer and increase passive solar gain in winter.

Acceptable Outcomes

A1.17.1 Development shall incorporate:

- (a) Site planning principles that maximise solar passive design opportunities for both summer and winter;
- (b) Natural ventilation and daylight penetration to reduce energy consumption;
- (c) Daytime areas with north-facing glazing to allow passive solar heating during winter;
- (d) Openable windows and/or ceiling fans to habitable rooms or occupied spaces that allow natural and cross ventilation;
- (e) Recovery and re-use of rainwater, storm water, grey water and/or black water for non-potable water applications; and
- (f) Climate moderation devices to reduce passive solar gain in summer and increase passive solar gain in winter.

A1.17.2 Development achieves one of the environmental performance standards shown in the below table, or their equivalent*.

Accepted Rating Frameworks	Specifications / compliance requirements	Minimum requirement to be achieved
Green Building Council of Australia's Green Star rating system	Current Design and As-Built rating tool	Preliminary Sustainable Design Report prepared by a Green Star Accredited Professional using the current Green Star Design and As-Built rating tool scorecard to demonstrate eligibility for 5 star Green Star rating.
or		
Life Cycle Assessment Methodologies	ISO 14044 "Environmental management – Life cycle assessment – Requirements and Guidelines" and EN15978 "Sustainability of construction works –	Target Setting Report clearly stating: <ul style="list-style-type: none"> — The lifetime savings of both global warming potential and water that the development is committed to achieve; — The preferred strategies for achieving these targets; and — A range of reserve strategies that will be employed to achieve each target should preferred strategies become unfeasible.

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	Assessment of environmental performance of buildings – Calculation method.”	<p>Residential component:</p> <ul style="list-style-type: none"> Global warming potential of the development over its lifetime to be reduced by 50% or more when compared to the average Australian code-compliant equivalent building built at the same time. Net use of fresh water of the development over its lifetime to be reduced by 25% or more when compared to the average Australian code-compliant equivalent building built at the same time. <p>Commercial component:</p> <ul style="list-style-type: none"> Global warming potential of the development over its lifetime to be reduced by 30% or more when compared to the average Australian code-compliant equivalent building built at the same time. Water use of the development over its lifetime to be reduced by 15% or more when compared to the average Australian code-compliant equivalent building built at the same time.
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*The City also accepts other sustainability assessment frameworks and mechanisms that are nationally or internationally recognised, compliant with applicable Australian/international standards and subject to oversight by a certifying body. C1.5.1 to C1.5.3 must be explicitly addressed and referenced within this report or separately.

Accepted Rating Framework	Specification / Compliance Requirements	Minimum Requirement to be Achieved	Evidence
<u>Green Building Council of Australia's Green Star Rating System</u>	<u>Current Design and As-Built rating tool</u>	<u>5 star Green Star rating</u>	<u>Preliminary Sustainable Design Report prepared by a Green Star Accredited Professional using the current Green Star Design and As-Built rating tool scorecard to demonstrate eligibility for 5 star Green Star rating.</u>
<u>Life Cycle Assessment in Accordance with EN15978- Sustainability of construction works – Assessment of</u>	<u>System Boundary must include all Life Cycle Modules (A1-2, B1-7, C1-4 and D) in addition to non-integrated energy (plug loads)</u>	<u>Global Warming Potential and Net Fresh Water Use Performance Reduction as per Table *** below.</u>	<u>Independently Reviewed EN15978 Compliant Target Setting LCA with a 20% factor of safety</u>

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<u>environmental performance of buildings – Calculation method.</u>		<u>applied to improvement strategies</u>
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<u>Building Type</u>	<u>Performance Requirement</u>	
	<u>Global Warming Potential</u>	<u>Net Fresh Water Use</u>
<u>Residential (BCA Class 1-3)</u>	<u>< 2,250 kgCO₂e / Occupant / Year</u> <u>(50% saving against Perth statistical average residences)</u>	<u>< 57m³ / Occupant / Year</u> <u>(50% saving against Perth statistical average residences)</u>
<u>Commercial Office (BCA Class 5)</u>	<u>< 104 kgCO₂e / m² Net Lettable Area / year</u> <u>(30% saving against Perth statistical average office)</u>	<u>< 1.25 m³ / m² Net Lettable Area / year</u> <u>(25% saving against Perth statistical average office)</u>
<u>All Other Building Types</u>	<u>30% saving against Code-Compliant design</u>	<u>25% saving against Code-Compliant design</u>

*The City accepts sustainability assessment frameworks and mechanisms that are nationally or internationally recognised, compliant with applicable Australian/international standards and subject to oversight by a certifying body.

1.18 Water management and conservation**Element Objectives**

O1.18.1 Minimise potable water consumption throughout the development.

O1.18.2 Stormwater runoff from small rainfall events is managed on-site, wherever practical.

O1.18.3 Reduce the risk of flooding so that the likely impacts of major rainfall events will be minimal.

Acceptable Outcomes

A1.18.1 Stormwater runoff generated from small rainfall events is managed on-site.

A1.18.2 Provision of an overland flow path for safe conveyance of runoff from major rainfall events to the local stormwater drainage system.

1.19 Waste Management**Element Objectives**

O1.19.1 Waste storage facilities minimise negative impacts on the streetscape and building entries.

O1.19.2 Waste to landfill is minimised by providing safe and convenient bins and information for the separation and recycling of waste.

Acceptable Outcomes

A1.19.1 Sufficient area is provided to accommodate the required number of bins for the separate storage of green waste, recycling and general waste.

A1.19.2 Communal waste storage is sited and designed to be screened from view from the street.

A1.19.3 Where there is an increased waste requirement, an area for waste management must be provided in accordance with the City's Waste Requirement Guidelines.

1.20 Utilities**Element Objectives**

O1.20.1 The site is serviced with power, water, gas (where available), wastewater, fire services and telecommunications/broadband services that are fit for purpose and meet current performance and access requirements of service providers.

O1.20.2 All utilities are located such that they are accessible for maintenance and do not restrict safe movement of vehicles or pedestrians.

O1.20.3 Utilities, such as distribution boxes, power and water meters are integrated into design of buildings and landscape so that they are not visually obtrusive from the street.

Acceptable Outcomes

A1.20.1 Utilities that must be located within the front setback, adjacent to the building entry or on visible parts of the roof are integrated into the design of the building, landscape and/or fencing such that they are accessible for servicing requirements but not visually obtrusive.

SECTION 2 – ACTIVITY CORRIDOR**2.1 Building Height****Element Objectives**

- O2.1.1** Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.
- O2.1.2** Development that incorporates design measures to reduce the impact of height, bulk and scale on neighbouring properties and the streetscape.
- O2.1.3** Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
- O2.1.4** Design which minimises overlooking and overshadowing where it impacts residential development.
- O2.1.5** The height of development responds to the desired future scale and character of the street and local area, including existing buildings that are unlikely to change.
- O2.1.6** The height of buildings within a development responds to changes in topography.
- O2.1.7** Development incorporates articulated roof design.
- O2.1.8** The height of development recognises the need for daylight and solar access to adjoining and nearby residential development.

Acceptable Outcomes

- A2.1.1** Development that is consistent with the building heights provided in Table 3-2.1 and Figure 2.
- A2.1.2** External fixtures may extend beyond the maximum height in Table 3-2.1 and Figure 2 where they are not visible from the street or neighbouring properties.
- A2.1.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this Policy.
- A2.1.4** The City may approve development which exceeds the maximum height stated in Table 3-2.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P1.1.1 – P1.1.4.

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TABLE 3-2.1: Building Height – Activity Corridors

Activity Corridors	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Oxford Street	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Scarborough Beach Road	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Fitzgerald Street (Newcastle St to Vincent St)	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Fitzgerald Street (Vincent St to Raglan Road)	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Newcastle Street	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Beaufort Street (Newcastle St to Lincoln St)	5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
Beaufort Street (Lincoln St to Walcott St)	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m

2.2 Activity Corridor Development Requirements

2.2.1 All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1.

SECTION 3 – MIXED USE**3.1 Building Height****Element Objectives**

- O3.1.1** Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.
- O3.1.2** Development that incorporates design measures to reduce the impact of height, bulk and scale on neighbouring properties and the streetscape.
- O3.1.3** Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
- O3.1.4** Design which minimises overlooking and overshadowing where it impacts residential development.
- O3.1.5** The height of development responds to the desired future scale and character of the street and local area, including existing buildings that are unlikely to change.
- O3.1.6** The height of buildings within a development responds to changes in topography.
- O3.1.7** Development incorporates articulated roof design.
- O3.1.8** The height of development recognises the need for daylight and solar access to adjoining and nearby residential development.

Acceptable Outcomes

- A3.1.1** Development that is consistent with the building heights provided in Table 3-3.1 and Figure 2.
- A3.1.2** External fixtures may extend beyond the maximum height in Table 3-3.1 and Figure 2 where they are not visible from the street or neighbouring properties.
- A3.1.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this Policy.
- A3.1.4** The City may approve development which exceeds the maximum height stated in Table 3-3.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P1.1.1 – P1.1.4.

TABLE 3-3.1: Building Height – Mixed Use Areas

Mixed Use Area	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Area bounded by Newcastle St, Loftus St, Mitchell Freeway and Charles St	7 storeys	22.6m	23.6m	22.6m	23.6m	25.6m
Area bounded by Carr St, Charles St, Newcastle St and Fitzgerald St	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Between Fitzgerald St and William St	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Brisbane St						
Bulwer St						
Charles St						
Green St						
Walcott St						
William St						
Between William St and Lord St						
North Perth	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Area bounded by Summers St, Lord St, Graham Farmer Freeway and East						

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Parade (Except where defined below)						
Edward St South	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m
Edward St North	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Caversham South	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m
Caversham North	10 storeys	31.9m	32.9m	31.9m	32.9m	34.9m
Cheriton South	10 storeys	31.9m	32.9m	31.9m	32.9m	34.9m
Cheriton North	12 storeys	38.1m	39.1m	38.1m	39.1m	41.1m

3.2 Mixed Use Development Requirements

3.2.1 All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1.

SECTION 4 – TRANSIT CORRIDOR**4.1 Building height****Element Objectives**

- O4.1.1** Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.
- O4.1.2** Development that incorporates design measures to reduce the impact of height, bulk and scale on neighbouring properties and the streetscape.
- O4.1.3** Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
- O4.1.4** Design which minimises overlooking and overshadowing where it impacts residential development.
- O4.1.5** The height of development responds to the desired future scale and character of the street and local area, including existing buildings that are unlikely to change.
- O4.1.6** The height of buildings within a development responds to changes in topography.
- O4.1.7** Development incorporates articulated roof design.
- O4.1.8** The height of development recognises the need for daylight and solar access to adjoining and nearby residential development.

Acceptable Outcomes

- A4.1.1** Development that is consistent with the building heights provided in Table 3-4.1 and Figure 2.
- A4.1.2** External fixtures may extend beyond the maximum height in Table 3-4.1 and Figure 2 where they are not visible from the street or neighbouring properties.
- A4.1.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this Policy.
- A4.1.4** The City may approve development which exceeds the maximum height stated in Table 3-4.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P1.1.1 – P1.1.4.

TABLE 3-4.1: Building Height – Transit Corridors

Transit Corridors	Maximum No. of Storeys	Top of external wall (roof above)	Maximum Building Height			
			Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Loftus Street	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Charles Street: Between Newcastle St and Carr St						
West side and lots fronting Newcastle	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
East side	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Charles Street (Carr Street to Walcott St)	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R80 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Fitzgerald Street (Angove St to Walcott St)	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Walcott Street	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Lord Street	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
East Parade	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
William Street	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m

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Transit Corridors	Maximum No. of Storeys	Top of external wall (roof above)	Maximum Building Height			
			Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
(Vincent St to Walcott St)						

4.2 Street Setbacks (Primary and Secondary)**Element Objectives**

- O4.2.1** Development which incorporates design elements that reduce the impact of building bulk.
- O4.2.2** Development which maximises natural light access, natural ventilation and, internal and external privacy.
- O4.2.3** Development which activates and addresses rights of way.
- O4.2.4** Street setbacks that facilitate the provision of useable open space, alfresco dining opportunities and landscaping which contributes to canopy coverage.
- O4.2.5** The setback of the development from the street reinforces and/or complements the character of the street.
- O4.2.6** The street setback provides a clear transition between the public and private realm.
- O4.2.7** The setback of the development enables passive surveillance and outlook to the street.

Acceptable Outcomes

- A4.2.1** Primary and secondary street setback of 4m for development on sites coded R40.
- A4.2.2** Primary and secondary street setback of 4m for development on sites coded R50 and above and sites which do not have an R Code.
- A4.2.3** Primary and secondary street setback for the third storey and above must incorporate articulation and the use of varying colours and materials which minimise the bulk and scale of the building on the streetscape.

4.3 Landscaping**Element Objectives**

- O4.3.1** Landscaping is to be designed to reduce the impact of development on adjoining residential zones and public spaces.
- O4.3.2** Landscaping should provide increased urban air quality, tree and vegetation coverage and a sense of open space between buildings.
- O4.3.3** The provision of landscaping that will make an effective and demonstrated contribution to the City's green canopy to reduce the impact of the urban heat island effect.
- O4.3.4** Development that offsets the impact of removing existing trees.
- O4.3.5** Open air car parks should be appropriately landscaped to provide adequate shading and reduce the impact on adjoining properties.
- O4.3.6** Development includes deep soil areas, or other infrastructure to support planting on structures, with sufficient area and volume to sustain healthy plant and tree growth.

Acceptable Outcomes

- A4.3.1** Deep Soil Areas shall be provided in accordance with the following requirements:

Site Area	Minimum Area & Minimum Dimensions	Deep Soil Areas (minimum % of site)
<650m ²	1m ² 1m x 1m	12%
650m ² – 1,500m ²	1m ² 1m x 1m	12%
>1,500m ²	1m ² 1m x 1m	12%

A4.3.2 The required Deep Soil Area may be reduced to 10% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.

A4.3.3 A minimum of 50% of the front setback shall be provided as soft landscaping.

A4.3.4 Planting Areas shall be provided in accordance with the following requirements:

Site Area	Minimum Area & Minimum Dimensions	Planting Area (minimum % of site)
<650m ²	1m ² 1m x 1m	3%
650m ² – 1,500m ²	1m ² 1m x 1m	3%
>1,500m ²	1m ² 1m x 1m	3%

A4.3.5 At least 30% of the site area is provided as canopy coverage at maturity.

A4.3.6 Open air car parks, including access ways, shall have a minimum of 60% canopy coverage at maturity.

A4.3.7 All open-air parking areas shall be landscaped at a minimum rate of one tree per four car bays.

A4.3.8 The perimeter of all open-air parking areas shall be landscaped by a planting strip with a minimum dimension of 1.5m.

A4.3.9 Existing trees shall be retained where they are:
(a) Healthy specimens with ongoing viability; and
(b) Species not included on an applicable weed register

4.4 Street Walls and Fences**Element Objectives**

O4.4.1 Front fences and walls which enable surveillance and enhance streetscape.

O4.4.2 Development which adds interest to the street and minimises blank facades.

Acceptable Outcomes

- A4.4.1** Street walls, fences and gates are to be of a style and materials compatible with those of the development on site and/or walls, fences and gates of the immediate surrounding area excluding fibre cement.
- A4.4.2** Street walls, fences and gates within the primary street setback area, including along the side boundaries, and front walls and fences to new development fronting a right of way or dedicated road to be as follows:
- (a) Maximum height of 1.8 metres above the natural ground level;
 - (b) Maximum height of piers with decorative capping to be 2 metres above the natural ground level;
 - (c) Maximum height of solid portion of wall to be 1.2 metres above adjacent footpath level and are to be visually permeable above 1.2 metres;
 - (d) Posts and piers are to have a maximum width 400 millimetres and a maximum diameter of 500 millimetres; and
 - (e) The distance between piers should not be less than the height of the piers except where pedestrian gates are proposed.
- A4.4.3** Street walls, fences and gates to secondary streets, behind the primary street setback line, or walls, fences and gates to the primary streets where those streets are district distributor roads to be as follows:
- (a) Solid portion of wall may increase to a maximum height of 1.8 metres above adjacent footpath level provided that the wall or fence has at least two significant appropriate design features (to the satisfaction of the City of Vincent) to reduce the visual impact – for example, significant open structures, recesses and/or planters facing the road at regular intervals and varying materials, finishes and/or colours; and
 - (b) Maximum height of piers with decorative capping to be 2 metres above adjacent footpath level.
- A4.4.4** Exposed boundary walls visible to the street are to incorporate the following design features:
- Indentations;
 - Varying heights;
 - Varying materials, colours and textures; or
 - Public artwork.

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- A4.4.5** Any proposed vehicular or pedestrian entry gates shall be visually permeable.
- A4.4.6** Walls and fences on the side boundaries, only within the primary street setback area, constructed from metal sheeting are permitted provided they meet all other requirements relating to height, provide adequate sight lines and are not a side boundary fence facing a secondary street.

4.5 Transit Corridor Development Requirements

4.5.1 All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1, 1.2 and 1.15.

SECTION 5 – RESIDENTIAL**5.1 Building Height****Element Objectives**

- O5.1.1** Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.
- O5.1.2** Development that incorporates design measures to reduce the impact of height, bulk and scale oin neighbouring properties and the streetscape.
- O5.1.3** Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
- O5.1.4** Design which minimises overlooking and overshadowing where it impacts residential development.
- O5.1.5** The height of development responds to the desired future scale and character of the street and local area, including existing buildings that are unlikely to change.
- O5.1.6** The height of buildings within a development responds to changes in topography.
- O5.1.7** Development incorporates articulated roof design.
- O5.1.8** The height of development recognises the need for daylight and solar access to adjoining and nearby residential development.

Acceptable Outcomes

- A5.1.1** Development that is consistent with the building heights provided in Table 3-5.1 and Figure 2.
- A5.1.2** External fixtures may extend beyond the maximum height in Table 3-5.1 and Figure 2 where they are not visible from the street or neighbouring properties.
- A5.1.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this Policy.
- A5.1.4** The City may approve development which exceeds the maximum height stated in Table 3-5.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Element Objectives O5.1.1 – O5.1.8.

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TABLE 3-5.1: Building Height – Residential Area

Maximum No. of Storeys as per Figure 2	Maximum Building Height				
	Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
1 storey	3m	4m	3m	4m	6m
2 storeys	6m	7m	6m	7m	9m
3 storeys	9m	10m	9m	10m	12m
4 storeys	12m	13m	12m	13m	15m
5 storeys	16m	17m	16m	17m	18m

5.2 Street Setback (Primary and Secondary)**Element Objectives**

- O5.2.1** Development which incorporates design elements that reduce the impact of building bulk.
- O5.2.2** Development which maximises natural light access, natural ventilation and, internal and external privacy.
- O5.2.3** Development which activates and addresses rights of way.
- O5.2.4** Street setbacks that facilitate the provision of useable open space, alfresco dining opportunities and landscaping which contributes to canopy coverage.
- O5.2.5** The setback of the development from the street reinforces and/or complements the character of the street.
- O5.2.6** The street setback provides a clear transition between the public and private realm.
- O5.2.7** The setback of the development enables passive surveillance and outlook to the street.
- O5.2.8** Development which incorporates predominant features of the landscape.
- O5.2.9** Development which clearly distinguishes all upper floors from lower storeys to clearly distinguish the parts of the dwelling.
- O5.2.10** Development which minimises the visual bulk of the buildings through articulation of larger wall lengths and the stepping back of upper storeys walls.

Acceptable Outcomes

- A5.2.1** The primary street setback is to be calculated by averaging the setback of the five adjoining properties on both side lot boundaries of the proposed development.
- A5.2.2** For the purpose of averaging, the primary street setback is to be measured from the street alignment to the nearest wall of the building excluding porches, verandahs, carports and balconies.
- A5.1.3** Walls on upper floors setback a minimum of 2 metres behind the street setback.
- A5.1.4** Balconies on upper floors setback a minimum of 1 metre behind the ground floor setback.

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- A5.2.4** The above setback distances also apply to development which has an elevation to a road which does not intersect or adjoin the primary or secondary streets.
- A5.2.5** Primary and secondary street setback for the third storey and above must incorporate articulation and the use of varying colours and materials which minimise the bulk and scale of the building on the streetscape.

5.3 Landscaping**Element Objectives**

- O5.3.1** Landscaping is to be designed to reduce the impact of development on adjoining residential zones and public spaces.
- O5.3.2** Landscaping should provide increased urban air quality, tree and vegetation coverage and a sense of open space between buildings.
- O5.3.3** The provision of landscaping that will make an effective and demonstrated contribution to the City's green canopy to reduce the impact of the urban heat island effect.
- O5.3.4** Development that offsets the impact of removing existing trees.
- O5.3.5** Open air car parks should be appropriately landscaped to provide adequate shading and reduce the impact on adjoining properties.
- O5.3.6** Development includes deep soil areas, or other infrastructure to support planting on structures, with sufficient area and volume to sustain healthy plant and tree growth.

Acceptable Outcomes

- A5.3.1** Deep Soil Areas shall be provided in accordance with the following requirements:

Site Area	Minimum Area & Minimum Dimensions	Deep Soil Areas (minimum % of site)
<650m ²	1m ² 1m x 1m	12%
650m ² – 1,500m ²	1m ² 1m x 1m	12%
>1,500m ²	1m ² 1m x 1m	12%

- A5.3.2** The required Deep Soil Area may be reduced to 10% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.

A5.3.3 Planting Areas shall be provided in accordance with the following requirements:

Site Area	Minimum Area & Minimum Dimensions	Planting Area (minimum % of site)
<650m ²	1m ² 1m x 1m	3%
650m ² – 1,500m ²	1m ² 1m x 1m	3%
>1,500m ²	1m ² 1m x 1m	3%

A5.3.4 At least 30% of the site area is provided as canopy coverage at maturity.

A5.3.5 Open air car parks, including access ways, shall have a minimum of 60% canopy coverage at maturity.

A5.3.6 All open-air parking areas shall be landscaped at a minimum rate of one tree per four car bays.

A5.3.7 The perimeter of all open-air parking areas shall be landscaped by a planting strip with a minimum dimension of 1.5m.

A5.3.8 Existing trees shall be retained where they are:

- (a) Healthy specimens with ongoing viability; and
- (b) Species not included on an applicable weed register

5.4 Setback of Garages and Carports**Element Objectives**

- O5.4.1** The setting back of carports and garages to maintain clear sight lines along the street and not to detract from the streetscape or appearance of buildings; or obstruct views of buildings from the street and vice versa.
- O5.4.2** Development which preserves and enhances the visual character of the existing streetscape by considering building bulk, scale, setbacks and design.

Acceptable Outcomes

- A5.4.1** Garages are to be setback a minimum of 500mm behind the building line.
- A5.4.2** Garages and carports must match the existing building's predominant colour, scale and materials and must be complementary and subservient to the building.
- A5.4.3** Carports must provide an unobstructed view to the building from the street. Gates or doors to carports are required to be visually permeable.
- A5.4.4** Carports shall allow light and ventilation to the building.
- A5.4.5** The total width of any carport within the street setback area is not to exceed 50 per cent of the frontage (including strata lots) of the lot or six metres whichever is the lesser.

5.5 Garage Width**Element Objectives**

O5.5.1 Development which preserves and enhances the visual character of the existing streetscape.

Acceptable Outcomes

A5.5.1 Garages which are 50% or less than the width of the lot.

A5.5.2 For lots which are 10 metres wide or less, a garage is to be a maximum width of 4 metres.

5.6 Development on Rights of Way**Element Objectives**

O5.6.1 Development which appropriately addresses rights of way to facilitate spaces which are welcoming and safe.

O5.6.2 Development which provides suitable space for safe vehicle movement in the right of way.

Acceptable Outcomes

A5.6.1 Development on rights of ways is to be in accordance with the Western Australian Planning Commission's Planning Bulletin 33 Rights of Way or Laneways in Established Areas – Guidelines.

Orientation

A5.6.2 Where a building's primary street frontage is a right of way, or where no primary street or secondary street frontage exists, it is to be oriented to address the right of way using clearly defined entry points and major openings as if it were a primary street.

Setbacks

A5.6.3 Development must be setback 1 metre from a right of way. If the site is subject to right of way widening, the setback is measured from the new lot boundary after the widening is applied.

Access

A5.6.4 Access to a right of way is required to be trafficable to the nearest dedicated road. The cost to upgrade a right of way to make it trafficable is to be borne by the applicant.

5.7 Residential Area Development Requirements

- 5.7.1** All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1, 1.2 and 1.15.
- 5.7.2** Volume 3, Section 4, Clause 4.4 applies to development in the Residential Built Form Area.

APPENDIX 1 – DESIGN PRINCIPLES

1. Context and character

Good design responds to and enhances the distinctive characteristics of a local area, contributing to a sense of place.

The distinctive characteristics of a local area include its prominent natural and built features, the overall qualities of its built environment, significant heritage elements, as well as social, economic and environmental conditions.

Good design responds intelligently and sensitively to these factors, interpreting rather than replicating existing features and enhancing the identity of the area, including the adjacent sites, streetscape and neighbourhood.

Good design also responds positively to the intended future character of an area. It delivers appropriate densities that are consistent with projected population growth, and are able to be sustained by existing or proposed transport, green networks and social infrastructure.

Consideration of local context is particularly important for sites in established areas that are undergoing change or identified for change.

2. Landscape quality

Good design recognises that together landscape and buildings operate as an integrated and sustainable system, within a broader ecological context.

Good landscape design protects existing environmental features and ecosystems, enhances the local environmental context and regenerates lost or damaged ecosystem functionality, where possible. It balances consideration of environmental factors such as water and soil management, ground conditions, solar access, microclimate, tree canopy, habitat creation and preservation of green infrastructure with social, cultural and economic conditions.

Good landscape design employs hard and soft landscape and urban design elements to create external environments that interact in a considered manner with built form, resulting in well-integrated, engaging places that contribute to local identity and streetscape character.

Good landscape design provides optimal levels of external amenity, functionality and weather protection while ensuring social inclusion, equitable access and respect for the public and neighbours. Well-designed landscape environments ensure effective establishment and facilitate ease of long term management and maintenance.

3. Built form and scale

Good design provides development with massing and height that is appropriate to its setting and successfully negotiates between existing built form and the intended future character of the local area.

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Good design achieves an appropriate built form by responding to its site, as well as surrounding built fabric, in a considered manner, mitigating negative impacts on the amenity of neighbouring properties and public realm.

Good design considers the orientation, proportion, composition, and articulation of built form elements, to deliver an outcome that is suited to the building's purpose, defines the public domain, respects important views, contributes to the character of adjacent streetscapes and parks, and provides a good pedestrian environment at ground level.

4. Functionality and build quality

Good design meets the needs of users efficiently and effectively, balancing functional requirements to deliver optimum benefit and performing well over the full life-cycle.

Designing functional environments involves ensuring that spaces are suited to their intended purpose and arranged to facilitate ease of use and good relationships to other spaces. Good design provides flexible and adaptable spaces, to maximise utilisation and accommodate appropriate future requirements without the need for major modifications.

Good build quality is achieved by using good quality and robust materials, finishes, elements and systems. Projects should be well-detailed, resilient to the wear and tear expected from its intended use, and easy to upgrade and maintain.

Good design accommodates required services in an integrated manner, without detriment to the overall design outcome.

5. Sustainability

Good design optimises the sustainability of the built environment, delivering positive environmental, social and economic outcomes.

Sustainable buildings ~~incorporate effective utilise passive~~ environmental design measures that respond to local climate and site conditions by providing optimal orientation, shading, thermal performance and natural ventilation. Reducing reliance on ~~energy intensive systems technology~~ for heating and cooling ~~improves energy efficiency~~, minimises ~~energy use~~, resource consumption and ~~reduces~~ operating costs over the whole life-cycle of the ~~project building~~.

Other sustainable design measures ~~may also~~ include the use of sustainable construction materials, recycling, material re-use, harnessing of renewable energy sources, appropriate water management ~~and/or adaptive re-use of existing buildings~~. Good design considers the ease with which sustainability initiatives can be maintained and managed.

Sustainable landscape and urban design adheres to established principles of water-sensitive urban design, and minimises negative impacts on existing natural features and ecological processes, as well as facilitating green infrastructure at all project scales.

6. Amenity

Good design optimises internal and external amenity for occupants, visitors and neighbours, contributing to living and working environments that are comfortable and productive.

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Good design provides internal rooms and spaces that are adequately sized, comfortable and easy to use and furnish, with good levels of daylight, natural ventilation and outlook. Delivering good levels of internal amenity also includes the provision of appropriate levels of acoustic protection and visual privacy, adequate storage space, and ease of access for all.

Well-designed external spaces provide welcoming, comfortable environments that are universally accessible, with effective shade as well as protection from unwanted wind, rain, traffic and noise. Good design mitigates negative impacts on surrounding buildings and places, including overshadowing, overlooking, glare, reflection and noise.

7. Legibility

Good design results in buildings and places that are legible, with clear connections and memorable elements to help people find their way around.

Good urban design makes places easy to navigate, with recognisable routes, intersections and landmarks while being well-connected to existing movement networks. Sightlines are well-considered, with built form responding to important vantage points.

Within buildings, legibility is served by a clear hierarchy of spaces with identifiable entries and clear wayfinding. Externally, buildings and spaces should allow their purpose to be easily understood, and provide clear distinction between public and private spaces.

Good design provides environments that are logical and intuitive, at the scale of building, site and precinct.

8. Safety

Good design optimises safety and security, minimising the risk of personal harm and supporting safe behaviour and use.

Safety and security is promoted by maximising opportunities for passive surveillance of public and communal areas and providing clearly defined, well-lit, secure access points that are easily maintained and appropriate to the purpose of the development.

Good design provides a positive, clearly defined relationship between public and private spaces and addresses the need to provide optimal safety and security both within a development and to adjacent public realm.

Designing for safety also involves mitigating any potential occupational safety and health hazards that might result from a development during its construction, maintenance and operation.

9. Community

Good design responds to local community needs as well as the wider social context, providing buildings and spaces that support a diverse range of people and facilitate social interaction.

Good design encourages social engagement and physical activity in an inclusive manner, enabling stronger communities and improved public health outcomes.

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In residential developments, good design achieves a mix of dwelling types, providing housing choice for different demographics, living needs and household budgets, and facilitating ageing-in-place.

10. Aesthetics

Good design is the product of a skilled, judicious design process that results in attractive and inviting buildings and places that engage the senses.

Good design resolves the many competing challenges of a project into an elegant and coherent outcome. A well-conceived design concept informs all scales, from the articulation of building form through to materiality and detail, enabling sophisticated, integrated responses to the complexities of local built form and landscape character.

In assessing design quality, consideration of aesthetics should not be limited to style and appearance; it should also account for design integrity, creativity, conceptual coherence and cultural relevance in a proposal.

APPENDIX 2 – STREETScape CHARACTER

<u>Housing Type</u>	<u>Key Features</u>		
	<u>Roof Form</u>	<u>Materials</u>	<u>Exterior Feature</u>
<u>Late Colonial Georgian Dwellings (pre-1890)</u>	<ul style="list-style-type: none"> • <u>Low pitched roof.</u> 	<ul style="list-style-type: none"> • <u>Corrugated iron roofing.</u> • <u>Painted wall finish or smooth textured walling of stucco, painted white or yellow.</u> • <u>Simple, double-hung sash windows.</u> 	<ul style="list-style-type: none"> • <u>Verandah erected around the dwelling, often to the rear skillion, to protect the principal rooms from the penetrating sun.</u> • <u>Verandah usually a lower pitched extension of the main roof.</u>
<u>Queen Anne Federation (1895-1915)</u>	<ul style="list-style-type: none"> • <u>Dominant roof form, often broken by false gables.</u> 	<ul style="list-style-type: none"> • <u>Roof capped by terracotta frilled ridges.</u> • <u>Red brick walls (though some built of stone or timber).</u> • <u>Leadlight windows.</u> • <u>Use of subtle colours such as cream and brown or cream and red.</u> 	<ul style="list-style-type: none"> • <u>Verandah under the main roof, featuring decorative timber work and floor tiles.</u>
<u>Federation Bungalows (1890-1915)</u>	<ul style="list-style-type: none"> • <u>Simple hipped roofs often with a protecting gable. Witches hats, gablets and various gables feature in grander bungalows.</u> • <u>Roofs are usually steeply sloped with wide eaves.</u> 	<ul style="list-style-type: none"> • <u>Tuck pointed brick material for the dwelling.</u> • <u>Roofs are covered in terracotta tiles or painted corrugated metal.</u> • <u>Round bullseye to multi-paned and coloured casement sash window, often with leadlights featuring Australian flora or fauna.</u> 	<ul style="list-style-type: none"> • <u>Verandah ornamented with turned timber or cast iron columns, balustrades and a frieze.</u>

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<u>Weatherboard Dwelling (1900-1930s)</u>	<ul style="list-style-type: none"> • <u>Simple hipped roofs.</u> 	<ul style="list-style-type: none"> • <u>Modest structure of simple design with no ornamentation.</u> • <u>Corrugated iron roofs.</u> • <u>Weatherboard walls, painted in whites, creams and green colours.</u> • <u>Timber sash windows place in the middle of each room often flanking a central doorway.</u> 	<ul style="list-style-type: none"> • <u>Full width verandah or no verandah.</u>
<u>Inter-War Californian Bungalows (1920s-1945)</u>	<ul style="list-style-type: none"> • <u>Low-pitched roofs emphasising horizontal lines.</u> 	<ul style="list-style-type: none"> • <u>Lower portion of wall brown brick, roughcast or pebble dash render or weatherboard walls.</u> • <u>Upper portion of wall rendered and painted in off-white, beige or cream.</u> • <u>Roofs are covered in terracotta tiles.</u> • <u>Windows either double hung or casement, with panes in small rectangles or diamonds or featuring Art Nouveau or Arts and Crafts patterned stained glass.</u> 	<ul style="list-style-type: none"> • <u>Deep, shady verandah under a low pitch or flat roof. Verandah posts are heavily built.</u>
<u>Post War Bungalows (1945-1960s)</u>	<ul style="list-style-type: none"> • <u>Hipped/gabled roofs with a low-lying gable of around 30 degrees.</u> • <u>Flat roofs introduced in more contemporary designs.</u> 	<ul style="list-style-type: none"> • <u>Plain red brick or fibro walls and chimneys with minimal exterior decorative elements.</u> • <u>Plain timber or aluminium windows.</u> • <u>Cement roof tiles.</u> 	<ul style="list-style-type: none"> • <u>Rectangular or L-shaped house, with minimal or no verandah.</u>

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PART 1 – PRELIMINARY**POLICY DEVELOPMENT**

This Policy has been prepared under the provisions of Schedule 2, Part 2, Clause 4 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.

PURPOSE & APPLICATION

The purpose of this Policy is to provide guidance on the planning and design of all development in the City of Vincent.

This Policy applies to all development in the City of Vincent as follows:

Built Form Area (as identified in Figure 1)	Applicable Section of Policy
Town Centre	Part 1; and Part 2, Volumes 1, 2 and 3, Section 1
Activity Corridor	Part 1; and Part 2, Volumes 1, 2 and 3, Section 2
Mixed Use	Part 1; and Part 2, Volumes 1, 2 and 3, Section 3
Transit Corridor	Part 1; and Part 2, Volumes 1, 2 and 3, Section 4
Residential	Part 1; and Part 2, Volumes 1, 2 and 3, Section 5
Reserves	Nil

POLICY OBJECTIVES

The objective of this Policy is for all single house and grouped dwelling development to:

Context

1. Integrate land use, public space and the form of the built environment to enable attractive, interesting outcomes for people;
2. Be respectful of local and historic context;
3. Preserve and reinterpret established built form and social character;
4. Maintain and enhance amenity;

Design

5. Be high quality and well-designed, including both buildings and landscaping;
6. Contribute to public spaces through design and maximise street level interest, articulation, materiality, openness, and interaction between inside and outside;

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7. Encourage active participation and have a positive influence on public health by improving walkability and interest for people;
8. Design for a human scale, minimising blank walls and the detrimental impacts of services, utilities and car parking structures;
9. Encourage direct street level access wherever possible;
10. Incorporate the principles of Crime Prevention through Environmental Design;
11. Respond to future changes in use, lifestyle and demography;
12. Provide sufficient privacy for residents without the need to retrofit screening devices;
13. Provide natural amenity and landscaping, including areas of deep soil that supports healthy plant and tree growth and contributes to the City's tree canopy, reduces urban heat island effect, and provides natural beauty and amenity to residents and visitors;

Sustainability

14. Respond to the changing needs of the community, environment and the economy over time in an efficient, functional and attractive manner;
15. Improve resource, energy and water efficiency throughout lifecycle including construction, maintenance and ongoing upkeep;
16. Incorporate sustainable and energy efficient design that befits the local climate and provides comfortable living conditions while reducing greenhouse gas emissions;

Movement

17. Maximise the opportunities provided by the City of Vincent's proximity to major public transport routes, cycling networks and activity centres;

Housing

18. Provide a range of development types and housing typologies to address the demographics and needs of the community;
19. Retain and adaptively re-use the City's building stock; and
20. Provide affordable housing.

Additional objectives specific to Built Form Areas are as follows:

Activity Corridor

21. To improve the built form connection and design between the City's Town Centres.

Mixed Use

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22. To provide for a variety of built form that facilitates a positive interaction between a mix of land uses and residential densities.

Transit Corridor

23. To provide for high quality design of medium to high-density residential development.

Residential

24. To provide for high quality design of low, medium and high-density residential development.

RELATIONSHIP TO OTHER DOCUMENTS

This Local Planning Policy forms part of the City of Vincent (the City) local planning policy framework. Where this Policy is inconsistent with the City's local planning scheme, the local planning scheme prevails. Where this Policy is inconsistent with an adopted Local Development Plan, Activity Centre Plan or Structure Plan, the adopted Local Development Plan, Activity Centre Plan or Structure Plan prevails.

Where this Policy is inconsistent with the provisions of a specific Policy, Master Plan or Guidelines applying to a particular site or area (e.g. Character Retention Area Guidelines), the provisions of that specific Policy, Master Plan or Guidelines shall prevail.

DEFINITIONS

Active Frontage	A ground floor space where there is visual and/or physical engagement between those in the street and those on the ground floors of buildings.
Adjoining Property	Any lot which shares a boundary or portion of a boundary with a lot on which there is a proposed residential development site or is separated from that lot by a right-of-way, vehicle access way, pedestrian access way, access leg of a battleaxe lot or the equivalent not more than 6m in width.
Articulation	Architectural composition in which elements and parts of the building are expressed logically, distinctly, and consistently, with clear joints. For the purposes of this Policy articulation refers to points within a dwelling that clearly distinguish one part of the dwelling from another, such as setback between the ground and upper floors and indentations or 'breaks' within building walls.
Awning	A roof like structure attached to a building to provide shelter.
Building Height	As per the R Codes Volume 1.
Canopy Coverage	Land area covered by tree crowns (branches, leaves, and reproductive structures extending from the trunk or main stems) from trees located within the subject site, excluding any area that falls within an adjoining privately owned lot.

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Climate Moderation Devices	A structure or element which provides suitable control of internal temperature and air conditions, but does not include air conditioners.
Colonnade	A sequence of columns, covered or open, free-standing or part of a building.
Dedicated Road	A road which has been committed to public use in accordance with the <i>Land Administration Act 1997</i> .
Deemed Provisions	Schedule 2 of the <i>Planning and Development (Local Planning Schemes) Regulations 2015</i> .
Deep Soil Area	As per the R Codes Volume 2.
External Fixtures	As per the R Codes Volume 1.
Landscaping	<p>As per the R Codes with additional clarification on “any other such area approved of by the decision-maker as landscaped area” to be defined as:</p> <p>Landscaped areas which are available for the use and enjoyment of the occupants, can include common and/or private open areas and recreational areas but does not include covered portions of driveways, hard paved driveways and parking areas, open air porous parking areas and driveways, or green walls.</p>
Natural Ground Level	As per the R Codes Volume 1 and Volume 2.
Permanent Structure	Building or development which is not temporary and cannot be easily removed, this includes but is not limited to development with footings.
Planting Area	An area, which is not considered a deep soil area, with a minimum soil depth and dimension of 1 metre that supports growth of medium to large canopy trees.
Primary Street	As per the R Codes.
R Codes Volume 1	Refers to State Planning Policy 7.3: Residential Design Codes Volume 1 (as amended).
R Codes Volume 2	Refers to State Planning Policy 7.3 Residential Design Codes Volume 2 - Apartments (as amended).
Secondary Street	As per the R Codes Volume 1.
Skillion Roof	A mono-pitch roof form.
Soft Landscaping	An area with a minimum soil depth of 300mm that contains in-ground planting, and is exclusive of removable planter boxes/pots, artificial turf, green walls and porous paving areas.

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Solar Absorptance	The proportion of solar radiation that is absorbed by roofing materials.
Stall Riser	The part of a shop front below a window.
Storey	That portion of a building which is situated between the top of any floor and the top of the floor next above it and, if there is no floor above it, that portion between the top of the floor and the ceiling above it but excludes any portion of a building used solely for car parking that is at least 50% below ground level.
Streetscape Design Elements	Design features of the street including, colour palette, texture, scale, materials, roof pitch and open spaces that combine to form the street's character.
Streetscape	The visual elements of a street.
Urban Design Study Area	The immediate street and two adjoining street blocks.
Verandah	As per the R Codes Volume 1.
Visible Light Transmission	Light passing directly through glass.
Visually permeable	As per the R Codes Volume 1 and Volume 2.

ASSESSMENT PROCESS**1. Single Houses and Grouped Dwellings – Volume 1.**

- 1.1. Applications for development approval where the R Codes apply shall be assessed in accordance with the R Codes.
- 1.2. In assessing applications for development approval and local development plans the City shall have regard to the Policy Objectives of Part 1 and Design Principles included in Appendix 1.
- 1.3. In accordance with Clause 7.3.2 of the R Codes Volume 1, this Policy contains Local Housing Objectives as follows:
- 1.3.1. Clauses 1.1 – 1.7, 2.1, 3.1, 4.1 – 4.6, 5.1 – 5.9 guide judgements about the merits of proposals where that aspect of residential development does not meet the applicable requirements of the R Codes Volume 1; and
- 1.3.2. Clauses 1.8 – 1.9 and 5.12 guide judgements about the merits of proposals of aspects of residential development not provided for under the R Codes Volume 1.
- 1.4. In accordance with Clause 7.3 of the R Codes Volume 1, this Policy contains provisions that amend or replace the deemed-to-comply provisions set out in Part 5 of the R Codes. The Design Principles of the R Codes Volume 1 remain and apply. The table below details which deemed to comply provisions of the R Codes Volume 1 have been amended (clarified) or replaced (provide new) by deemed to comply provisions of Volume 1 of the Built Form Policy.

R Code Design Element	Applicable Built Form Policy Clause No.			Applicable Deemed to comply standard
	Town Centre; Mixed Use; and Activity Corridors	Transit Corridors	Residential	
5.1.1 Site area	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.1.1 of the R Codes Volume 1 remains and applies.
5.1.2 Street Setback	1.1	4.1	5.1	Volume 1, Clause 1.1, 4.1 and 5.1 replace Clause 5.1.2 C2.1 of the R Codes Volume 1. Clauses 5.1.2 C2.2 – C2.4 of the R Codes Volume 1 remain and apply.
5.1.3 Lot Boundary Setback	1.2*	4.2*	5.2*	Volume 1, Clause 1.2, 4.2 and 5.2 amend Clause 5.1.3 of the R Codes.*

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R Code Design Element	Applicable Built Form Policy Clause No.			Applicable Deemed to comply standard
	Town Centre; Mixed Use; and Activity Corridors	Transit Corridors	Residential	
(C3.2-3.3)*				For Town Centre, Mixed Use and Activity Corridor Built Form Areas Clauses 5.1.3 C3.2 and C3.3 of the R Codes Volume 1 remain and apply. For Residential Built Form Areas Clause 5.1.3 C3.3 remains and applies
5.1.4 Open space	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.1.4 of the R Codes Volume 1 remains and applies.
5.1.5 Communal open space	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.1.5 of the R Codes Volume 1 remains and applies.
5.1.6 Building height	1.3, 2.1 and 3.1	4.3	5.3	Volume 1, Clause 1.3, 2.1, 3.1, 4.3 and 5.3 replace Clause 5.1.6 C6 of the R Codes Volume 1.
5.2.1 Setback of garages and carports	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	5.4	Volume 1, Clause 5.4 replaces Clause 5.2.1 C1.1, C1.2, C1.4 and C1.5 of the R Codes Volume 1. For Residential Built Form Area Clause 5.2.1 C1.3 of the R Codes Volume 1 remains and applies. For Town Centres, Mixed Use and Activity Corridors Built Form Areas Clause 5.2.1 of the R Codes Volume 1 remains and applies.
5.2.2 Garage width	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	5.5	For Residential Built Form Areas Volume 1, Clause 5.5 replaces Clause 5.2.2 C2 of the R Codes Volume 1. For Town Centres, Mixed Use and Activity Corridors Built Form Areas Clause 5.2.2 of the R Codes Volume 1 remains and applies.

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R Code Design Element	Applicable Built Form Policy Clause No.			Applicable Deemed to comply standard
	Town Centre; Mixed Use; and Activity Corridors	Transit Corridors	Residential	
5.2.3 Street surveillance	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	5.6	For Residential Built Form Areas Volume 1, Clause 5.6 applies in addition to Clause 5.2.3 of the R Codes Volume 1. For Town Centres, Mixed Use and Activity Corridors Built Form Areas Clause 5.2.3 of the R Codes Volume 1 remains and applies.
5.2.4 Street walls and fences	No Built Form Policy deemed to comply requirements.	4.4	5.7	For Transit Corridor and Residential Built Form Areas Volume 1, Clause 4.4 and 5.7 replaces Clause 5.2.4 C4 of the R Codes. For Town Centre, Mixed Use and Activity Corridors Built Form Areas Clause 5.2.4 of R Codes Volume 1 remains and applies.
5.2.5 Sight lines	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	5.8	For the Residential Built Form Areas Volume 1, Clause 5.8 replaces Clause 5.2.5 C5 of the R Codes.
5.2.6 Appearance of retained dwelling	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.2.6 of the R Codes Volume 1 remains and applies.
5.3.1 Outdoor living areas	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.3.1 of the R Codes Volume 1 remains and applies.
5.3.2 Landscaping*	1.4*	4.5*	5.8*	Volume 1, Clauses 1.4, 4.4 and 5.8 replace Clause 5.3.2 C2 of the R Codes Volume 1.*
5.3.3 Parking	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.3.3 of the R Codes Volume 1 remains and applies.
5.3.4 Design of car parking spaces	No Built Form Policy deemed to	No Built Form Policy deemed to	No Built Form Policy deemed to	Clause 5.3.4 of the R Codes Volume 1 remains and applies

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R Code Design Element	Applicable Built Form Policy Clause No.			Applicable Deemed to comply standard
	Town Centre; Mixed Use; and Activity Corridors	Transit Corridors	Residential	
	comply requirements.	comply requirements.	comply requirements.	
5.3.5 Vehicular access	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.3.5 of the R Codes Volume 1 remains and applies
5.3.6 Pedestrian access	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.3.6 of the R Codes Volume 1 remains and applies.
5.3.7 Site works	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.3.7 of the R Codes Volume 1 remains and applies.
5.3.8 Retaining walls	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.3.8 of the R Codes Volume 1 remains and applies.
5.3.9 Stormwater management	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.3.9 of the R Codes Volume 1 remains and applies.
5.4.1 Visual privacy	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.4.1 of the R Codes Volume 1 remains and applies.
5.4.2 Solar access for adjoining sites	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.4.2 of the R Codes Volume 1 remains and applies.
5.4.3 Outbuildings	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.4.3 of the R Codes Volume 1 remains and applies.

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R Code Design Element	Applicable Built Form Policy Clause No.			Applicable Deemed to comply standard
	Town Centre; Mixed Use; and Activity Corridors	Transit Corridors	Residential	
5.4.4 External fixtures, utilities and facilities	1.7	4.6	5.9	Volume 1, Clause 1.7, 4.6 and 5.9 replaces Clause 5.4.4 C4.3 and C4.4 of the R Codes Volume 1. Clauses 5.4.4 C4.1 and C4.2 of the R Codes Volume 1 remain and apply.
5.5.1 Ancillary dwellings	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.5.1 of the R Codes Volume 1 remains and applies.
5.5.2 Aged or dependent persons' dwelling C2.1ii	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.5.2 of the R Codes Volume 1 remains and applies.
5.5.3 Single bedroom dwellings	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	No Built Form Policy deemed to comply requirements.	Clause 5.5.3 of the R Codes Volume 1 remains and applies.

*The Built Form Policy Deemed to Comply provisions represent a Council adopted policy position however do not apply as Deemed to Comply provisions until the Western Australian Planning Commission (WAPC) have granted approval in accordance with section 7.3 of the R Codes Volume 1. Until the WAPC have granted approval the relevant Deemed to Comply provisions of the R Codes Volume 1 apply.

2. Multiple Dwellings and Mixed Use – Volume 2

- 2.1. In accordance with the Clause 1.2.2 of R Codes Volume 2, this Policy contains provisions that amend or replace the Acceptable Outcomes set out in Part 2, 3 and 4 of the R Codes Volume 2. The Element Objectives of the R Codes Volume 2 remain and apply. The table below details which Acceptable Outcomes of the R Codes Volume 2 have been amended or replaced by Acceptable Outcomes of Volume 2 of the Built Form Policy.

R Code Element	Applicable Built Form Policy Clause No.			Applicable acceptable outcomes
	Town Centre; Mixed Use; and Activity Corridors	Transit Corridors	Residential	
2.1 Primary controls	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	There are no Acceptable Outcomes in this section of the R Codes Volume 2 however subsequent provisions refer to parts of Table 2.1 – Primary controls table.
2.2 Building height	1.1, 2.1 & 3.1	4.1	5.1	Volume 2, Clauses 1.1, 2.1, 3.1, 4.1 and 5.1 replace Acceptable Outcome A 2.2.1 of the R Codes Volume 2.
2.3 Street setbacks	1.2	4.2	5.2	Volume 2, Clauses 1.2, 4.2 and 5.2 replace Acceptable Outcome A 2.3.1 of the R Codes Volume 2.
2.4 Side and rear setbacks	1.3	4.3	5.3	Volume 2, Clauses 1.3, 4.3 and 5.3 replace Acceptable Outcome A 2.4.1 of the R Codes Volume 2. Clause A 2.4.2 of the R Codes Volume 2 remains and applies.
2.5 Plot ratio	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 2.5 of R Codes Volume 2 remains and applies.
2.6 Building depth	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 2.6 of R Codes Volume 2 remains and applies.
2.7 Building separation	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 2.7 of R Codes Volume 2 remains and applies.
2.8 Development incentives for community benefit	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	There are no Acceptable Outcomes in Clause 2.8 of the R Codes Volume 2.
3.1 Site analysis and design response	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	There are no Acceptable Outcomes in Clause 3.1 of the R Codes Volume 2.

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R Code Element	Applicable Built Form Policy Clause No.			Applicable acceptable outcomes
	Town Centre; Mixed Use; and Activity Corridors	Transit Corridors	Residential	
3.2 Orientation	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 3.2 of R Codes Volume 2 remains and applies.
3.3 Tree canopy and deep soil areas*	1.4*	4.3*	5.3*	<p>Volume 2, Clauses A1.4.1, A1.4.2, A4.3.1, A4.3.2, A4.3.8, A5.3.1 and A5.3.2 replace A 3.3.4 of the R Codes Volume 2.</p> <p>Volume 2, Clauses A1.4.3, A1.4.7, A4.3.3, A4.3.7, A5.3.3 and A5.3.7 replace A 3.3.7 of the R Codes Volume 2.</p> <p>Volume 2, Clauses A1.4.4, A1.4.5, A1.4.6, A4.3.4, A4.3.5, A4.3.6, A5.3.4, A5.3.5 and A5.3.6 replace A 3.3.5 of the R Codes Volume 2.</p> <p>Clauses A 3.3.1, A 3.3.2, A 3.3.3 and A 3.3.6 of the R Codes Volume 2 remain and apply.</p>
3.4 Communal open space	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 3.4 of R Codes Volume 2 remains and applies.
3.5 Visual privacy	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 3.5 of R Codes Volume 2 remains and applies.
3.6 Public domain interface	No Built Form Policy Acceptable Outcomes.	4.5	5.5	<p>For Transit Corridor and Residential Built Form Areas Clause 4.5 and 5.5 apply in addition to Clauses A 3.6.1 – A 3.6.9 of R Codes Volume 2.</p> <p>For Town Centre, Mixed Use and Activity Corridors Built Form Areas Clauses A 3.6.1 – A 3.6.9 R Codes Volume 2 remain and apply.</p>
3.7 Pedestrian access and entries	1.5	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	<p>For Town Centre, Mixed Use and Activity Corridors Built Form Areas Clause 1.5 applies in addition to Clauses A 3.7.1 to A 3.7.6 of R Codes Volume 2.</p> <p>For Transit Corridors and Residential Built Form Areas Clauses A 3.7.1 to A 3.7.6 of R Codes Volume 2 remain and apply.</p>

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R Code Element	Applicable Built Form Policy Clause No.			Applicable acceptable outcomes
	Town Centre; Mixed Use; and Activity Corridors	Transit Corridors	Residential	
3.8 Vehicle Access	1.6	4.6	5.6	Clause 1.6, 4.6 and 5.6 applies in addition to Clause A 3.8.1 – A 3.8.7 of R Codes Volume 2.
3.9 Car and bicycle parking*	1.7*	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	For Town Centre, Mixed Use and Activity Corridors Built Form Areas Clause A1.7.1 replaces Clause A 3.9.9.* For Transit Corridor and Residential Built Form Areas Clauses A 3.3.1 – 3.3.10 of R Codes Volume 2 remain and apply.
4.1 Solar and daylight access	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.1 of R Codes Volume 2 remains and applies.
4.2 Natural ventilation	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.2 of R Codes Volume 2 remains and applies.
4.3 Size and layout of dwellings	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.3 of R Codes Volume 2 remains and applies.
4.4 Private open space and balconies	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.4 of R Codes Volume 2 remains and applies.
4.5 Circulation and common spaces	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.5 of R Codes Volume 2 remains and applies.
4.6 Storage	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.6 of R Codes Volume 2 remains and applies.
4.7 Managing the impact of noise	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.7 of R Codes Volume 2 remains and applies.
4.8 Dwelling mix	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.8 of R Codes Volume 2 remains and applies.

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R Code Element	Applicable Built Form Policy Clause No.			Applicable acceptable outcomes
	Town Centre; Mixed Use; and Activity Corridors	Transit Corridors	Residential	
4.9 Universal design	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.9 of R Codes Volume 2 remains and applies.
4.10 Façade design	1.8	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	For Town Centre, Mixed Use and Activity Corridors Built Form Areas Clause 1.8 applies in addition to Clause A 4.10.1 – A 4.10.6 of R Codes Volume 2. For Transit Corridors and Residential Built Form Areas Clause A 4.10.1 – A 4.10.6 of R Codes Volume 2 remain and apply.
4.11 Roof design	1.9	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	For Town Centre, Mixed Use and Activity Corridors Built Form Areas Clause 1.9 applies in addition to Clauses A 4.11.1 – A 4.11.3 of R Codes Volume 2. For Transit Corridors and Residential Built Form Areas Clauses A 4.11.1 – A 4.11.3 of R Codes Volume 2 remain and apply.
4.12 Landscape design	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.12 of R Codes Volume 2 remains and applies.
4.13 Adaptive reuse	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.13 of R Codes Volume 2 remains and applies.
4.14 Mixed use	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.14 of R Codes Volume 2 remains and applies.
4.15 Energy efficiency	1.10*	1.10*	1.10*	Volume 2, Clauses A1.10.1 and A1.10.2 replace A4.15.1 of the R Codes Volume 2.
4.16 Water management and conservation	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.16 of R Codes Volume 2 remains and applies.
4.17 Waste management	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.17 of R Codes Volume 2 remains and applies.

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R Code Element	Applicable Built Form Policy Clause No.			Applicable acceptable outcomes
	Town Centre; Mixed Use; and Activity Corridors	Transit Corridors	Residential	
4.18 Utilities	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	No Built Form Policy Acceptable Outcomes.	Clause 4.18 of R Codes Volume 2 remains and applies.
N/A	1.10	N/A	N/A	For Town Centre, Mixed Use and Activity Corridors Clause 1.10 augments R Codes Volume 2.*

*The Built Form Policy Acceptable Outcomes represent a Council adopted policy position however do not apply as Acceptable Outcomes until the Western Australian Planning Commission (WAPC) have granted approval in accordance with section 1.2 of the R Codes Volume 2. Until the WAPC have granted approval the relevant Acceptable Development provisions of the R Codes Volume 1 apply.

- 2.2 In accordance with Part 1, Clause 1.2.4 of the R Codes Volume 2 Objective 1.10.1 guides judgement about the merits of proposals relating to environmentally sustainable design which is not provided for under the R-Codes Volume 2
- 2.3 The R-AC3 provisions of the R Codes Volume 2 shall apply to all multiple dwelling and mixed use applications for development approval on sites zoned Regional Centre, District Centre, Local Centre and Commercial.

3. Commercial – Volume 3

- 3.1 In assessing applications for development approval against Volume 3, the decision-maker shall have regard to:
 - the objectives of the Local Planning Scheme; and
 - policy objectives provided in Part 1, Design Principles provided in Appendix 1 and the Element Objectives provided in Part 2.
- 3.2 Volume 3 applies throughout the City of Vincent to the development of commercial buildings.
- 3.3 The element objectives are to be used in the preparation, submission and assessment of proposals for the purpose of determining their compliance with the Built Form Policy.
- 3.4 Applications for development approval need to demonstrate that the design achieves the objectives of each design element. While addressing the Acceptable Outcomes is likely to achieve the Objectives, they are not a deemed-to-comply pathway and the proposal will be assessed in context of the entire design solution to ensure the Objectives are achieved. Proposals may also satisfy the Objectives via alternative means or solutions.

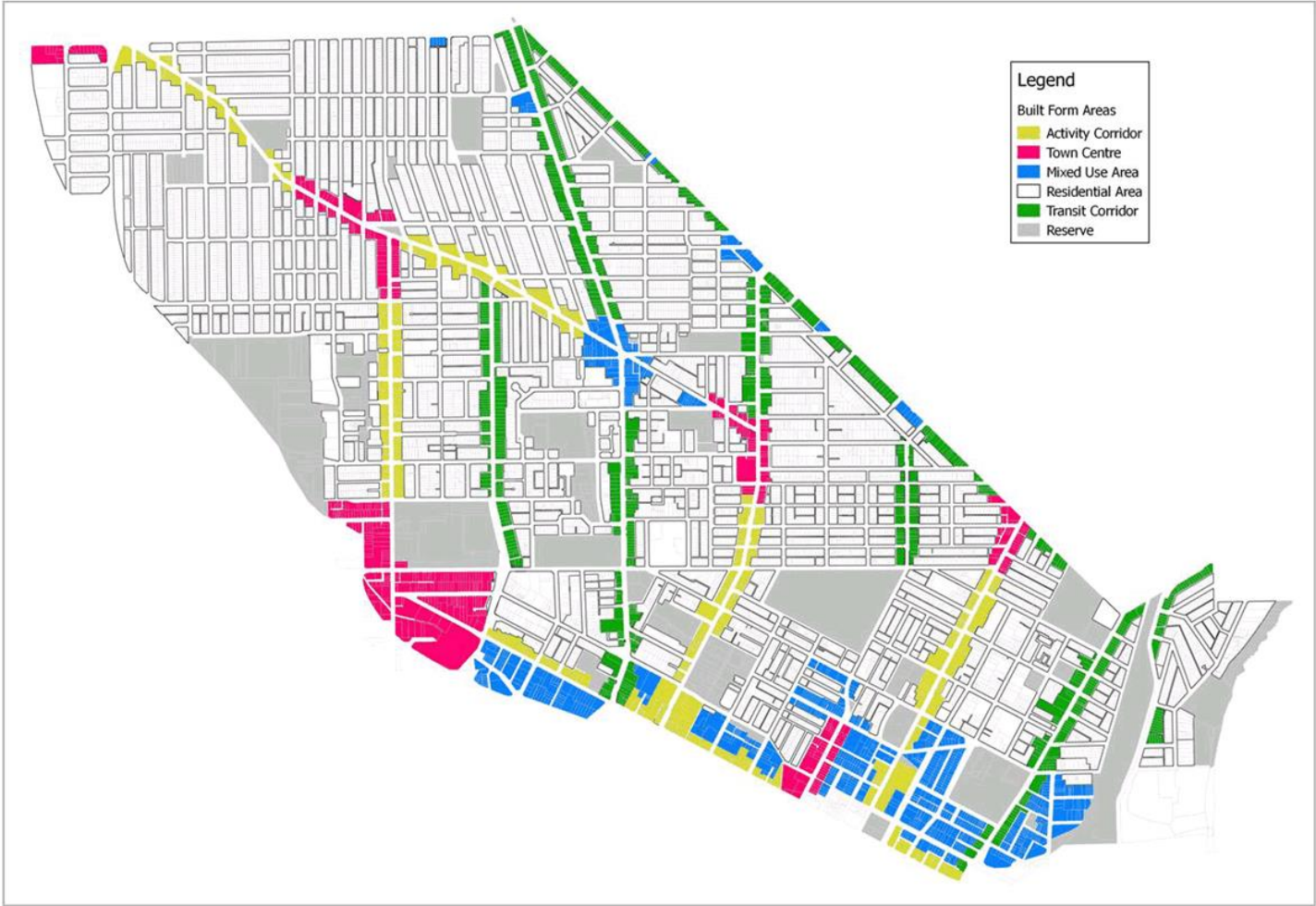


FIGURE 1 – BUILT FORM AREAS

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FIGURE 2 – BUILDING HEIGHTS

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PART 2 – POLICY PROVISIONS**VOLUME 1, SINGLE HOUSES AND GROUPED DWELLINGS – POLICY PROVISIONS****SECTION 1 – TOWN CENTRE****1.1 Street Setbacks (Primary and Secondary)**

Local Housing Objectives		Deemed to Comply	
P1.1.1	Development which incorporates design elements that reduce the impact of building bulk.	C1.1.1	Primary and secondary street setback is nil.
P1.1.2	Development which maximises natural light access, natural ventilation and, internal and external privacy.		
P1.1.3	Setbacks that facilitate the provision of landscaping.		
P1.1.4	Development which activates and addresses rights of way.		
P1.1.5	Street setbacks that facilitate the provision of useable open space, alfresco dining opportunities and landscaping which contributes to canopy coverage.		

1.2 Lot Boundary Setbacks

Local Housing Objectives		Deemed to Comply									
P1.2.1	Development which incorporates design elements that reduce the impact of building bulk.	C1.2.1 Lot boundary setbacks in accordance tables 1-1.2a and 1-1.2b:									
P1.2.2	Development which maximises natural light access, natural ventilation and, internal and external privacy.	Table 1-1.2a									
P1.2.3	Setbacks that facilitate the provision of deep soil areas and canopy coverage.										
P1.2.4	Development which activates and addresses rights of way.										

		Subject Property									
		R20	R30	R40	R50	R60	R80	R100+	R – AC3	No R-Code	
Neighbouring Property	Residential Built Form Area	R20	A	A	A	C	C	C	C	C	C
		R30	A	A	A	B	C	C	C	C	C
		R40	A	A	A	B	B	C	C	C	C
		R50	A	A	A	A	B	B	C	C	C
		R60	A	A	A	A	A	B	B	B	B
		R80	A	A	A	A	A	D	D	D	D
		R100+	A	A	A	A	A	D	D	D	D
		No R-Code	A	A	A	A	A	D	D	D	D
	Non-Residential Built Form Area	E	E	E	E	E	F	F	F	F	

Table 1-1.2b		
	Setback for ground floor, second storey and third storey	Setback for the fourth storey and above
A	R Codes Volume 1 table 2a and 2b;	R Codes Volume 1 table 2a and 2b;
B	4.5m	6.5m
C	6.5m	12.5

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	D	Table 1-1.2c	Table 1-1.2c
	E	Nil	R Codes Volume 1 table 2a and 2b
	F	Nil	Table 1-1.2c

Table 1-1.2c

	Width of lot in metres	
	≤14	≥14
Setback in metres	3	4

Development Adjoining Rights of Way

C1.2.2 Where development adjoins a right of way the setback shall be measured from the midpoint of the right of way.

C1.2.3 Development must address adjoining rights of way by providing passive surveillance and openings to the right of way.

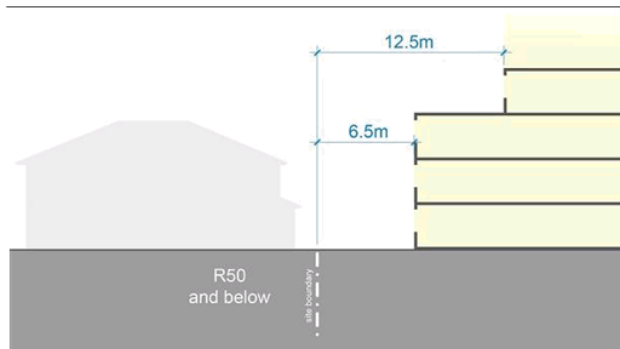


Figure C1.2.6 - Lot boundary setbacks adjoining properties coded R50 and below

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1.3 Building Height

Local Housing Objectives		Deemed to Comply	
P1.3.1	Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.	C1.3.1	Development that is consistent with the building heights provided in Table 1-1.3 and Figure 2.
P1.3.2	Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.	C1.3.2	External fixtures may extend beyond the maximum height in Table 1-1.3 and Figure 2 where they are not visible from the street or neighbouring properties.
P1.3.3	Development that considers and responds to the natural features of the site and requires minimal excavation/fill.	C1.3.3	The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this Policy.
P1.3.4	Design which minimises overlooking and overshadowing where it impacts residential development.	C1.3.4	The City may approve development which exceeds the maximum height stated in Table 1-1.3 where it is stipulated in an approved Local Development Plan, Activity Centre Plan, Master Plan or Structure Plan and addresses Design Principles P1.3.1 – P1.3.4.

TABLE 1-1.3: Building Height – Town Centres

Location	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Leederville	In accordance with the Leederville Masterplan, and where no height is stated the maximum is to be 6 storeys, with the exception of the below requirements.: Vincent Street – 5 storeys Carr Place – 4 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
	Vincent Street – 5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
	Carr Place – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
North Perth	Fitzgerald Street – 6 storeys Angove Street – 4 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
	Angove Street – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Perth	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Mount Lawley / Highgate	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Mount Hawthorn	5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
Glendalough	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m

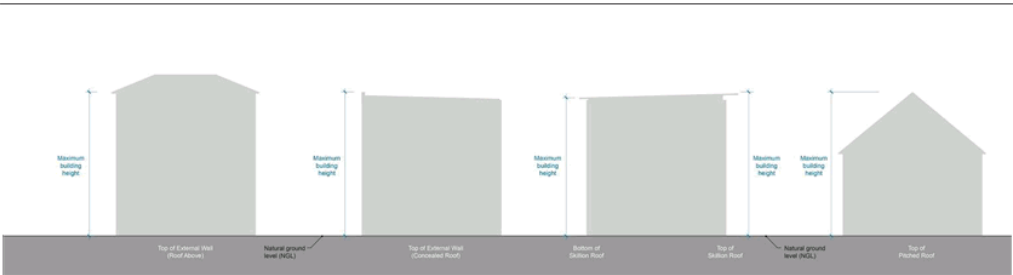


Figure 1-1.1 – Building Height Measurement

1.4 Landscaping

Local Housing Objectives		Deemed to Comply													
P1.4.1	Landscaping is to be designed to reduce the impact of development on adjoining residential zones and public spaces.	C1.4.1	Deep Soil Areas shall be provided in accordance with the following requirements :												
P1.4.2	Landscaping should provide increased urban air quality, tree and vegetation coverage and a sense of open space between buildings		<table><tr><th>Site Area</th><th>Minimum Area & Minimum Dimensions</th><th>Deep Soil Areas (minimum % of site)</th></tr><tr><td><650m²</td><td>1m² 1m x 1m</td><td>12%</td></tr><tr><td>650m² – 1,500m²</td><td>1m² 1m x 1m</td><td>12%</td></tr><tr><td>>1,500m²</td><td>1m² 1m x 1m</td><td>12%</td></tr></table>	Site Area	Minimum Area & Minimum Dimensions	Deep Soil Areas (minimum % of site)	<650m ²	1m ² 1m x 1m	12%	650m ² – 1,500m ²	1m ² 1m x 1m	12%	>1,500m ²	1m ² 1m x 1m	12%
Site Area	Minimum Area & Minimum Dimensions	Deep Soil Areas (minimum % of site)													
<650m ²	1m ² 1m x 1m	12%													
650m ² – 1,500m ²	1m ² 1m x 1m	12%													
>1,500m ²	1m ² 1m x 1m	12%													
P1.4.3	The integration of sustainable landscape design with the building creating a greater landscaping amenity for residents and occupants and the community.														
P1.4.4	The provision of landscaping that will make an effective and demonstrated contribution to the City's green canopy to reduce the impact of the urban heat island effect.														
P1.4.5	Development that offsets the impact of removing existing trees.	C1.4.2	The required Deep Soil Area may be reduced to 10% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.												
P1.4.6	Landscaping at the rear of the property should not negatively impact on the use and activation of a right of way.	C1.4.3	Planting Areas shall be provided in accordance with the following requirements:												
P1.4.7	Open air car parks should be appropriately landscaped to provide adequate shading and reduce the impact on adjoining properties.		<table><tr><th>Site Area</th><th>Minimum Area & Minimum Dimensions</th><th>Planting Area (minimum % of site)</th></tr><tr><td><650m²</td><td>1m² 1m x 1m</td><td>3%</td></tr><tr><td>650m² – 1,500m²</td><td>1m² 1m x 1m</td><td>3%</td></tr><tr><td>>1,500m²</td><td>1m² 1m x 1m</td><td>3%</td></tr></table>	Site Area	Minimum Area & Minimum Dimensions	Planting Area (minimum % of site)	<650m ²	1m ² 1m x 1m	3%	650m ² – 1,500m ²	1m ² 1m x 1m	3%	>1,500m ²	1m ² 1m x 1m	3%
Site Area	Minimum Area & Minimum Dimensions	Planting Area (minimum % of site)													
<650m ²	1m ² 1m x 1m	3%													
650m ² – 1,500m ²	1m ² 1m x 1m	3%													
>1,500m ²	1m ² 1m x 1m	3%													
		C1.4.4	At least 80%* of the lot boundary setback area at ground level shall be provided as canopy coverage at maturity.												

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	<p>C1.4.5 Open air car parks, including access ways, shall have a minimum of 60% canopy coverage at maturity.</p> <p>C1.4.6 All open-air parking areas shall be landscaped at a minimum rate of one tree per four car bays.</p> <p>C1.4.7 The perimeter of all open-air parking areas shall be landscaped by a planting strip with a minimum dimension of 1.5m .</p> <p>C1.4.8 Existing trees shall be retained where they are: (a) Healthy specimens with ongoing viability; and (b) Species not included on an applicable weed register.</p>
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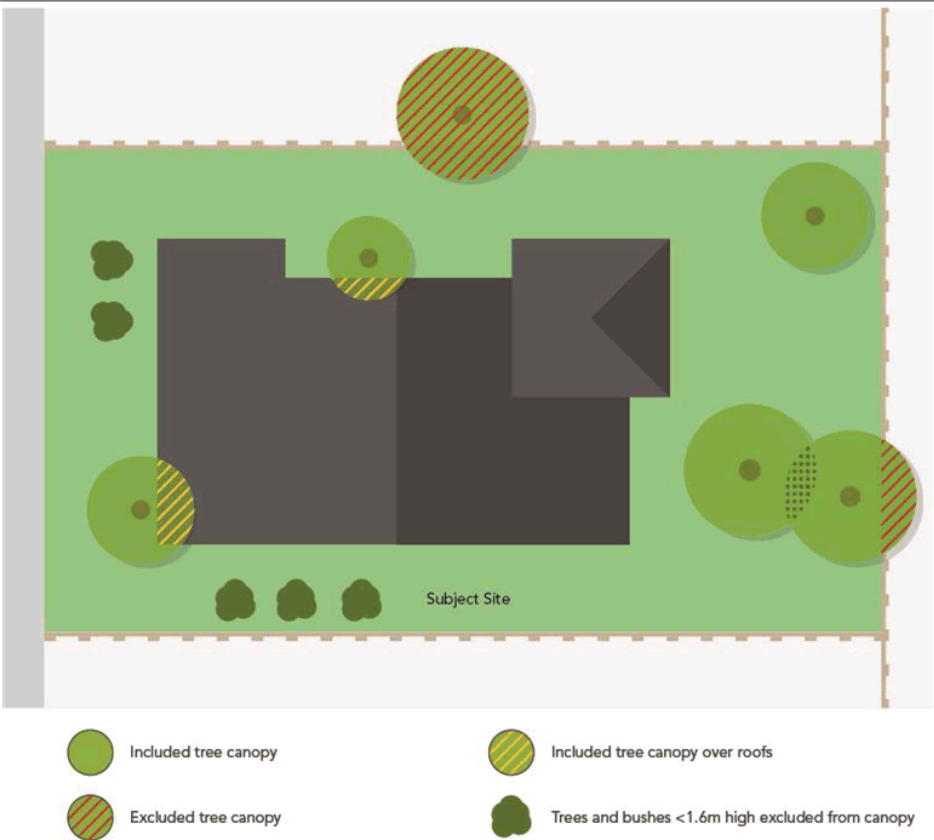
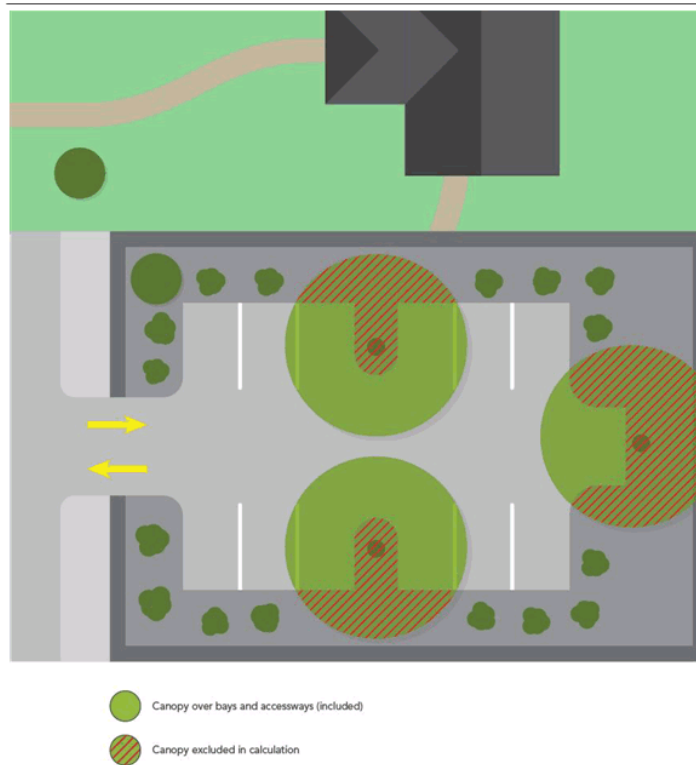


Figure 1-1.4.1

*Figure 1-1.4.2*

1.5 Parking**Local Housing Objectives**

P1.5.1 Minimise visual impact of car parking and supporting infrastructure from the primary or secondary streets.

P1.5.2 Suitable end of trip facilities should be included in the initial design of the building.

1.6 Vehicular Access**Local Housing Objectives**

- | | |
|---------------|---|
| P1.6.1 | Vehicle access to and from site is to be safe, manageable and convenient. |
| P1.6.2 | Pedestrian priority and safety is to be ensured by minimising the number, location and design of vehicle crossovers. |
| P1.6.3 | Minimise breaks in the street wall to maximise active frontages. |
| P1.6.4 | Service areas, loading bays and vehicle entrances should gain access from the Secondary Street or right of way where ever possible. |
| P1.6.5 | Maximise the retention of existing mature vegetation through the location and design of vehicle access. |

1.7 External Fixtures, utilities and facilities

Local Housing Objectives	Deemed to Comply
P1.7.1 Service areas and external fixtures shall be easily maintained, adequate and attractive and should be incorporated into the overall design of buildings and support renewable energy initiatives.	C1.7.1 Development must comply with Western Power Corporation Easements and Restriction Zones.
P1.7.2 Developments should provide adequate waste storage facilities for each dwelling and this should be considered at the early stage of the design process.	C1.7.2 External fixtures are required to be concealed from the street and surrounding properties, located on the roof, basement or at the rear of the development.
P1.7.3 New development should consider the undergrounding of power supply in order to improve the streetscape and provide space for increased landscaping, canopy coverage and development.	C1.7.3 External fixtures are permitted where they are: not visible from the street and surrounding properties; or integrated with the design of the building.
	C1.7.4 If external fixtures cannot be integrated into the design of the building to be concealed from the street and surrounding properties they will be required to be screened as follows: continuous vertical or horizontal opaque material more than 50mm in width, occupying a minimum of three quarters of the total surface area in aggregate; or a surface offering equal or more obstruction to view which does not compromise ventilation.

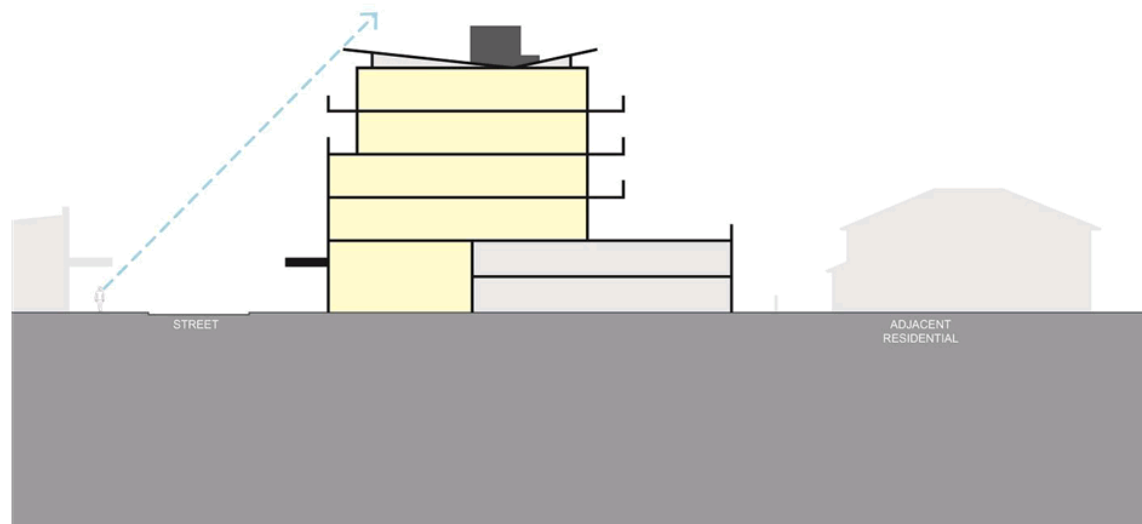


Figure 1-1.7 – External Fixtures

1.8 Environmentally Sustainable Design**Local Housing Objectives**

- P1.8.1** Development that considers the whole of life environmental impact of the building and incorporates measures to reduce this impact.
- P1.8.2** Development that reduces heat retention through design elements and material selection.
- P1.8.3** Development shall incorporate:
- (a) Site planning principles that maximise solar passive design opportunities for both summer and winter;
 - (b) Natural ventilation and daylight penetration to reduce energy consumption;
 - (c) Daytime areas with north-facing glazing to allow passive solar heating during winter;
 - (d) Openable windows and/or ceiling fans to habitable rooms or occupied spaces that allow natural and cross ventilation;
 - (e) Recovery and re-use of rainwater, storm water, grey water and/or black water for non-potable water applications; and
 - (f) Climate moderation devices to reduce passive solar gain in summer and increase passive solar gain in winter.
- P1.8.4** Flat roof structures that are not visible from the street or adjacent properties shall have a maximum solar absorptance rating of 0.4.
- P1.8.5** Pitched roof structures or roof structures that are visible from the street or adjacent properties shall have a maximum solar absorptance rating of 0.5, unless a suitable alternative is identified in the Urban Design Study.
- P1.8.6** Demonstrate that the development is capable of achieving one of the environmental performance standards shown in the below table, or their equivalent*.

Accepted Rating Framework	Specification / Compliance Requirements	Minimum Requirement to be Achieved	Evidence
Life Cycle Assessment in Accordance with <i>EN15978-Sustainability of construction works – Assessment of environmental performance of buildings – Calculation method.</i>	System Boundary must include all Life Cycle Modules (A1-2, B1-7, C1-4 and D) in addition to non-integrated energy (plug loads)	Global Warming Potential and Net Fresh Water Use Performance Reduction as per Table *** below.	Independently Reviewed EN15978 Compliant Target Setting LCA with a 20% factor of safety applied to improvement strategies

Building Type	Performance Requirement	
	Global Warming Potential	Net Fresh Water Use
Residential (BCA Class 1-3)	< 2,250 kgCO ₂ e / Occupant / Year (50% saving against Perth statistical average residences)	< 57m ³ / Occupant / Year (50% saving against Perth statistical average residences)
Commercial Office (BCA Class 5)	< 104 kgCO ₂ e / m ² Net Lettable Area / year (30% saving against Perth statistical average office)	< 1.25 m ³ / m ² Net Lettable Area / year (25% saving against Perth statistical average office)
All Other Building Types	30% saving against Code-Compliant design	25% saving against Code-Compliant design

*The City accepts sustainability assessment frameworks and mechanisms that are nationally or internationally recognised, compliant with applicable Australian/international standards and subject to oversight by a certifying body.

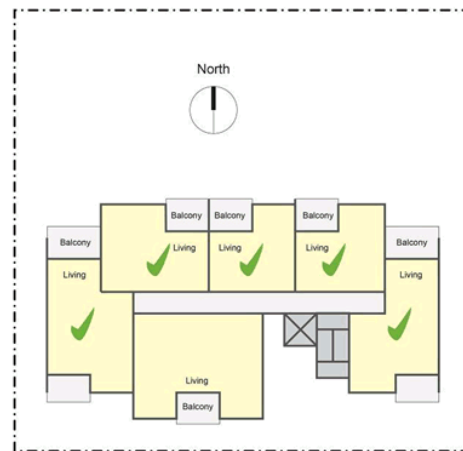


Figure 1-1.8.1 – Solar orientation

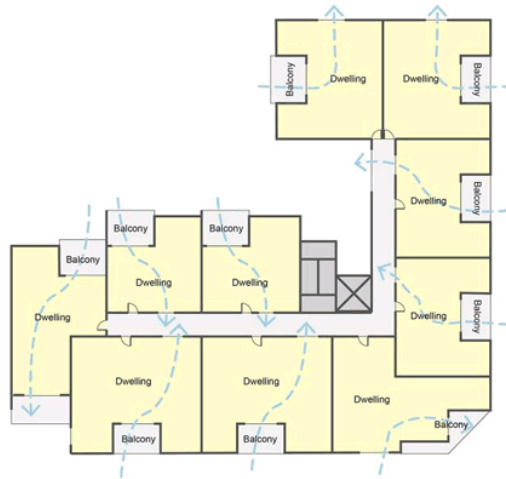


Figure 1-1.8.2 – Cross Ventilation

1.9 Urban Design Study**Local Housing Objectives**

An Urban Design Study is to be submitted with the application for development approval and must consider all of the following local housing objectives:

- P1.3.1** Appropriate use of a variety of materials and finishes that complement elements of the existing local character whilst avoiding the use of faux (made as an imitation, fake or false) materials.
- P1.3.2** Articulation that uses architectural elements in addition to setbacks to reduce its impact on adjoining properties and improves the amenity of adjoining properties and the streetscape.
- P1.3.3** Fire boosters, mail boxes and external fixtures that are located to minimise the impact on the public realm.
- P1.3.4** Development that achieves visual interaction with the vehicle and pedestrian approaches.
- P1.3.5** Development which integrates and/or acknowledges the design elements of the street identified in the Urban Design Study.
- P1.3.6** Development which incorporates the design elements of the predominant streetscape character of the urban design study area outlined in Appendix 2.
- P1.3.7** Development on corner sites that is designed to express significance and frame the corner to define the built form and give a strong edge to the public realm.
- P1.3.8** Development expressed with strong visual elements that integrate with all street frontages and right of ways.
- P1.3.9** Create cohesion of all street frontages and contribute to a comfortable pedestrian environment by addressing each frontage with passive surveillance and safe sight lines.
- P1.3.10** Development shall integrate with adjoining public spaces by including visual surveillance or entrances directly onto the public space.
- P1.3.11** Emphasise vertical articulation to break up building mass and highlight street level uses and details.
- P1.3.12** Development designed to be adaptive and cater for changing uses over time within the relevant zone.

- P1.3.13** High quality durable materials and textures used at street level which express the architectural style of the surrounding context where possible.
- P1.3.14** Design which is responsive to any existing and/or proposed verge trees and will promote greening in town centres.

SECTION 2 – ACTIVITY CORRIDOR**2.1 Building Height**

Local Housing Objectives		Deemed to Comply	
P2.1.1	Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.	C2.1.1	Development that is consistent with the building heights provided in Table 1-2.1 and Figure 2.
P2.1.2	Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.	C2.1.2	External fixtures may extend beyond the maximum height in Table 1-2.1 and Figure 2 where they are not visible from the street or neighbouring properties.
P2.1.3	Development that considers and responds to the natural features of the site and requires minimal excavation/fill.	C2.1.3	The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this Policy.
P2.1.4	Design which minimises overlooking and overshadowing where it impacts residential development.	C2.1.4	The City may approve development which exceeds the maximum height stated in Table 1-2.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P2.1.1 – P2.1.4.

TABLE 1-2.1: Building Height – Activity Corridors

Activity Corridors	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Oxford Street	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Scarborough Beach Road	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Fitzgerald Street (Newcastle St to Vincent St)	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Fitzgerald Street (Vincent St to Raglan Road)	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Newcastle Street	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Beaufort Street (Newcastle St to Lincoln St)	5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
Beaufort Street (Lincoln St to Walcott St)	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m

2.2 Activity Corridor Development Requirements

- 2.2.1** All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.3.

SECTION 3 – MIXED USE**3.1 Building Height**

Local Housing Objectives	Deemed to Comply
P3.1.1 Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.	C3.1.1 Development that is consistent with the building heights provided in Table 1-3.1 and Figure 2.
P3.1.2 Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.	C3.1.2 External fixtures may extend beyond the maximum height in Table 1-3.1 and Figure 2 where they are not visible from the street or neighbouring properties.
P3.1.3 Development that considers and responds to the natural features of the site and requires minimal excavation/fill.	C3.1.3 The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this Policy.
P3.1.4 Design which minimises overlooking and overshadowing where it impacts residential development.	C3.1.5 The City may approve development which exceeds the maximum height stated in table 1-3.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P3.1.1 – P3.1.4.

TABLE 1-3.1: Building Height – Mixed Use Areas

Mixed Use Area	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Area bounded by Newcastle St, Loftus St, Mitchell Freeway and Charles St	7 storeys	22.6m	23.6m	22.6m	23.6m	25.6m
Area bounded by Carr St, Charles St, Newcastle St and Fitzgerald St	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Between Fitzgerald St and William St	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Brisbane St						
Bulwer St						
Charles St						
Green St						
Walcott St						
William St						
Between William St and Lord St						
North Perth	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Area bounded by Summers St, Lord St, Graham Farmer Freeway and East						

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Parade (Except where defined below)						
Edward St South	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m
Edward St North	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Caversham South	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m
Caversham North	10 storeys	31.9m	32.9m	31.9m	32.9m	34.9m
Cheriton South	10 storeys	31.9m	32.9m	31.9m	32.9m	34.9m
Cheriton North	12 storeys	38.1m	39.1m	38.1m	39.1m	41.1m

3.2 Mixed Use Development Requirements

3.2.1 All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1.

SECTION 4 – TRANSIT CORRIDOR**4.1 Street Setbacks (Primary and Secondary)**

Local Housing Objectives		Deemed to Comply	
P4.1.1	Development which incorporates design elements that reduce the impact of building bulk.	C4.1.1	The primary and secondary street setback is as per Clause 5.1.2 of the R Codes Volume 1.
P4.1.2	Development which maximises natural light access, natural ventilation, internal and external privacy.	C4.1.2	Primary and secondary street setback for the third storey and above must incorporate articulation and the use of varying colours and materials which minimise the bulk and scale of the building on the streetscape.
P4.1.3	Setbacks that facilitate the provision of deep soil areas and canopy coverage.		
P4.1.4	Development which activates and addresses rights of way.		

4.2 Lot Boundary Setbacks

Local Housing Objectives		Deemed to Comply									
P4.2.1	Development which incorporates design elements that reduce the impact of building bulk.	C4.2.2 Lot boundary setbacks are to be in accordance with tables 1-4.2a and 1-4.2c:									
P4.2.2	Development which maximises natural light access, natural ventilation, internal and external privacy.	Table 1-1.4a									
P4.2.3	Setbacks that facilitate the provision of deep soil areas and canopy coverage.										
P4.2.4	Development which activates and addresses rights of way.										

		Subject Property									
		R20	R30	R40	R50	R60	R80	R100+	R – AC3	No R-Code	
Neighbouring Property	Residential Built Form Area	R20	A	A	A	C	C	C	C	C	C
		R30	A	A	A	B	C	C	C	C	C
		R40	A	A	A	B	B	C	C	C	C
		R50	A	A	A	A	B	B	C	C	C
		R60	A	A	A	A	A	B	B	B	B
		R80	A	A	A	A	A	D	D	D	D
		R100+	A	A	A	A	A	D	D	D	D
		No R-Code	A	A	A	A	A	D	D	D	D
	Non-Residential Built Form Area	A	A	A	A	A	D	D	D	D	

Table 1-1.4b	
Setback for ground floor, second storey and third storey	Setback for the fourth storey and above

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	A	R Codes Volume 1 table 2a and 2b;	R Codes Volume 1 table 2a and 2b;
	B	4.5m	6.5m
	C	6.5m	12.5
	D	Table 1-1.2c	Table 1-1.2c
	Table 1-1.4c		
	Width of lot in metres		
	≤14	≥14	
Setback in metres	3	4	
	C4.2.3 Clause 5.1.3 C3.2 of the R Codes Volume 1 apply to the development of walls up to two side boundaries.		
	C4.2.4 Where development adjoins a right of way the setback shall be measured from the midpoint of the right of way.		
	C4.2.5 Development must address adjoining rights of way by providing passive surveillance and openings to the right of way.		

4.3 Building Height

Local Housing Objectives	Deemed to Comply
P4.3.1 Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.	C4.3.1 Development that is consistent with the building heights provided in Table 1-4.3 and Figure 2.
P4.3.2 Development that incorporates design measures to reduce the impact of height, bulk and scale in neighbouring properties and the streetscape.	C4.3.2 External fixtures may extend beyond the maximum height in Table 1-4.3 and Figure 2 where they are not visible from the street or neighbouring properties.
P4.3.3 Development that considers and responds to the natural features of the site and requires minimal excavation/fill.	C4.3.3 The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this Policy.
P4.3.4 Design which minimises overlooking and overshadowing where it impacts residential development.	C4.3.5 The City may approve development which exceeds the maximum height stated in table 1-4.3 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P4.2.1 – P4.2.4.

TABLE 1-4.3: Building Height – Transit Corridors

Transit Corridors	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Loftus Street	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Charles Street: Between Newcastle St and Carr St						
West side and lots fronting Newcastle	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
East side	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Charles Street (Carr Street to Walcott St)	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R80 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Fitzgerald Street (Angove St to Walcott St)	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Walcott Street	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Lord Street	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
East Parade	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
William Street	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m

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Transit Corridors	Maximum No. of Storeys	Top of external wall (roof above)	Maximum Building Height			
			Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
(Vincent St to Walcott St)						

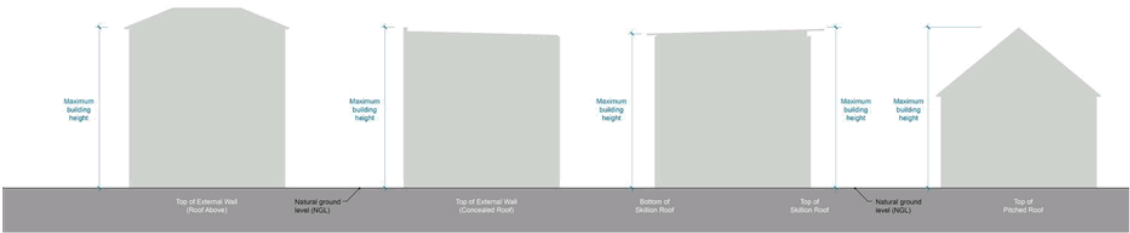


Figure 1-4.3 – Building Height and Measurement

4.4 Street Walls and Fences

Local Housing Objectives	Deemed-to-Comply
P4.4.1 Front fences and walls which enable surveillance and enhance streetscape.	C4.4.1 Street walls, street fences and gates are to be of a style and materials compatible with those of the development on site and/or walls, fences and gates of the immediate surrounding area excluding fibre cement.
P4.4.2 Development which adds interest to the street and minimises blank facades.	<p>C4.4.2 Street walls, fences and gates within the primary street setback area, including along the side boundaries, and front walls and fences to new dwellings fronting a right of way or dedicated road to be as follows:</p> <ul style="list-style-type: none"> (a) Maximum height of 1.8 metres above the natural ground level; (b) Maximum height of piers with decorative capping to be 2 metres above the natural ground level; (c) Maximum height of solid portion of wall to be 1.2 metres above adjacent footpath level and are to be visually permeable above 1.2 metres; (d) Posts and piers are to have a maximum width 400 millimetres and a maximum diameter of 500 millimetres; and (e) The distance between piers should not be less than the height of the piers except where pedestrian gates are proposed. <p>C4.4.3 Street walls, fences and gates to secondary streets, behind the primary street setback line, or walls, fences and gates to the primary streets where those streets are district distributor roads to be as follows:</p> <ul style="list-style-type: none"> (a) Solid portion of wall may increase to a maximum height of 1.8 metres above adjacent footpath level provided that the wall or fence has at least two significant appropriate design features (to the satisfaction of the City of Vincent) to reduce the visual impact – for example, significant open

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	<p>structures, recesses and/or planters facing the road at regular intervals and varying materials, finishes and/or colours; and</p> <p>(b) Maximum height of piers with decorative capping to be 2 metres above adjacent footpath level.</p> <p>C4.4.4 Exposed boundary walls visible to the street are to incorporate the following design features: Indentations; Varying heights; Varying materials, colours and textures; or Public artwork.</p> <p>C4.4.5 Any proposed vehicular or pedestrian entry gates shall be visually permeable.</p> <p>C4.4.6 Walls and fences on the side boundaries, only within the primary street setback area, constructed from metal sheeting are permitted provided they meet all other requirements relating to height, provide adequate sight lines and are not a side boundary fence facing a secondary street.</p>
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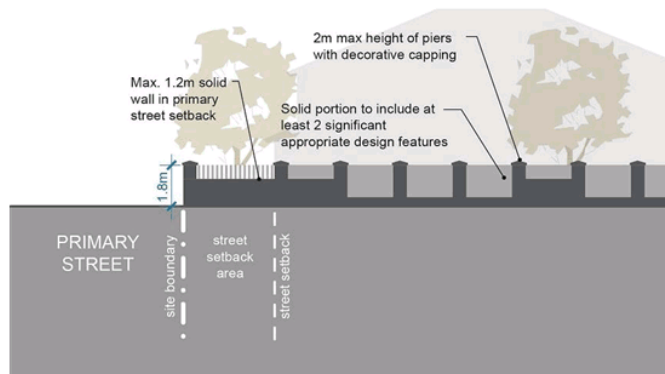


Figure 1-4.4 – Street walls and fences

4.5 Landscaping

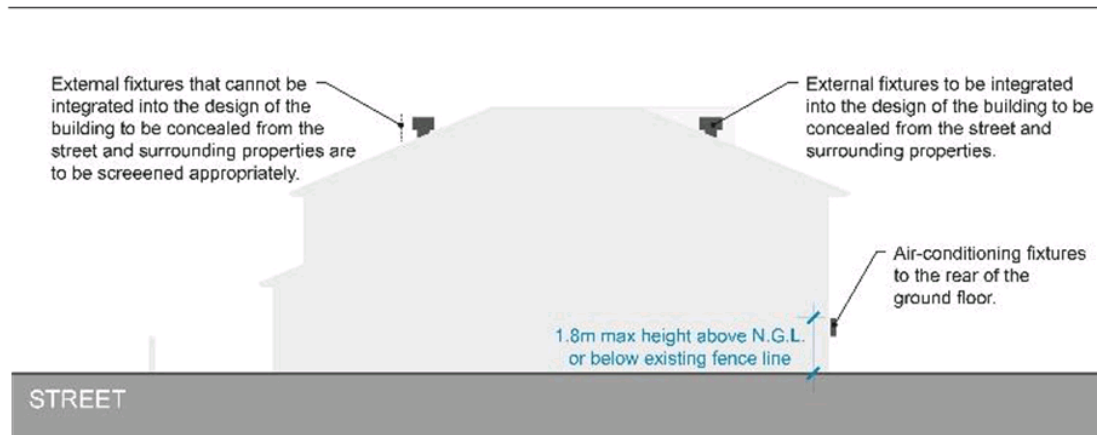
Local Housing Objectives		Deemed-To-Comply													
P4.5.1	Landscaping is to be designed to reduce the impact of development on adjoining residential zones and public spaces.	C4.5.1	Deep Soil Areas shall be provided in accordance with the following requirements:												
P4.5.2	Landscaping should provide increased urban air quality, tree and vegetation coverage and a sense of open space between buildings.		<table><tr><th>Site Area</th><th>Minimum Area & Minimum Dimensions</th><th>Deep Soil Areas (minimum % of site)</th></tr><tr><td><650m²</td><td>1m² 1m x 1m</td><td>12%</td></tr><tr><td>650m² – 1,500m²</td><td>1m² 1m x 1m</td><td>12%</td></tr><tr><td>>1,500m²</td><td>1m² 1m x 1m</td><td>12%</td></tr></table>	Site Area	Minimum Area & Minimum Dimensions	Deep Soil Areas (minimum % of site)	<650m ²	1m ² 1m x 1m	12%	650m ² – 1,500m ²	1m ² 1m x 1m	12%	>1,500m ²	1m ² 1m x 1m	12%
Site Area	Minimum Area & Minimum Dimensions	Deep Soil Areas (minimum % of site)													
<650m ²	1m ² 1m x 1m	12%													
650m ² – 1,500m ²	1m ² 1m x 1m	12%													
>1,500m ²	1m ² 1m x 1m	12%													
P4.5.3	The integration of sustainable landscape design with the building creating a greater landscaping amenity for residents and occupants and the community.	C4.5.2	A minimum of 50% of the front setback shall be provided as soft landscaping.												
P4.5.4	The provision of landscaping that will make an effective and demonstrated contribution to the City's green canopy to reduce the impact of the urban heat island effect.	C4.5.3	Planting Areas shall be provided in accordance with the following requirements:												
P4.5.5	Development that offsets the impact of removing existing trees.		<table><tr><th>Site Area</th><th>Minimum Area & Minimum Dimensions</th><th>Planting Area (minimum % of site)</th></tr><tr><td><650m²</td><td>1m² 1m x 1m</td><td>3%</td></tr><tr><td>650m² – 1,500m²</td><td>1m² 1m x 1m</td><td>3%</td></tr><tr><td>>1,500m²</td><td>1m² 1m x 1m</td><td>3%</td></tr></table>	Site Area	Minimum Area & Minimum Dimensions	Planting Area (minimum % of site)	<650m ²	1m ² 1m x 1m	3%	650m ² – 1,500m ²	1m ² 1m x 1m	3%	>1,500m ²	1m ² 1m x 1m	3%
Site Area	Minimum Area & Minimum Dimensions	Planting Area (minimum % of site)													
<650m ²	1m ² 1m x 1m	3%													
650m ² – 1,500m ²	1m ² 1m x 1m	3%													
>1,500m ²	1m ² 1m x 1m	3%													
P4.5.6	Landscaping at the rear of the property should not negatively impact on the use and activation of a right of way.	C4.5.4	The required Deep Soil Area may be reduced to 10% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.												
P4.5.7	Open air car parks should be appropriately landscaped to provide adequate shading and reduce the impact on adjoining properties.														

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	<p>C4.5.5 At least 30% of the site area is provided as canopy coverage at maturity.</p> <p>C4.5.6 Open air car parks, including accessways, shall have a minimum of 60% canopy coverage at maturity.</p> <p>C4.5.7 All open-air parking areas shall be landscaped at a minimum rate of one tree per four car bays.</p> <p>C4.5.8 The perimeter of all open-air parking areas shall be landscaped by a planting strip with a minimum dimension of 1.5m.</p> <p>C4.5.9 Existing trees shall be retained where they are: (a) Healthy specimens with ongoing viability; and (b) Species not included on an applicable weed register.</p>
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4.6 External Fixtures, Utilities and Facilities

Local Housing Objectives	Deemed-to-Comply
<p>P4.6.1 Where Part 5 of the R Codes applies all Design Principles of clause 5.4.4 of the R Codes apply. Where Part 6 of the R Codes applies, and for all other development, all Design Principles of clause 6.4.5 of the R Codes apply.</p>	<p>C4.6.1 External fixtures are permitted where they are: not visible from the street and surrounding properties; or integrated with the design of the building.</p> <p>C4.6.2 If external fixtures cannot be integrated into the design of the building to be concealed from the street and surrounding properties they will be required to be screened as follows: continuous vertical or horizontal opaque material more than 50mm in width, occupying a minimum of three quarters of the total surface area in aggregate; or a surface offering equal or more obstruction to view which does not compromise ventilation.</p> <p>C4.6.3 For single houses and grouped dwellings, air conditioning fixtures are to be placed at the rear of the ground floor. The highest point of the air conditioning fixture is to be a maximum 1.8 metres above natural ground level or below the existing fence line.</p>

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4.7 Environmentally Sustainable Design

4.7.1 Clause 1.8 of this Policy applies to development in the Transit Corridor Built Form Area.

4.8 Urban Design Study

4.8.1 Clause 1.9 of this Policy applies to development in the Transit Corridor Built Form Area.

SECTION 5 – RESIDENTIAL**5.1 Street Setback (Primary and Secondary)**

Local Housing Objectives	Deemed-to-Comply
P5.1.1 Development which is consistent with the established street setback .	<u>Street setback</u>
P5.1.2 Development which incorporates predominant features of the streetscape.	C5.1.1 The primary street setback is to be calculated by averaging the setback of the five adjoining properties both side lot boundaries of the proposed development.
P5.1.3 Development which clearly distinguishes all upper floors from lower storeys to clearly distinguish the parts of the dwelling.	C5.1.2 For the purpose of averaging, the primary street setback is to be measured from the street alignment to the nearest wall of the dwelling excluding porches, verandahs, carports and balconies.
P5.1.4 Development which minimises the visual bulk of the buildings through articulation of larger wall lengths and the stepping back of upper storeys walls.	C5.1.3 Walls on upper floors setback a minimum of 2 metres behind the ground floor predominant building line (excluding any porch or verandah), as determined by the City.
	C5.1.4 Balconies on upper floors setback a minimum of 1 metre behind the ground floor predominant building line (excluding any porch or verandah), as determined by the City.
	<u>Dual frontage</u> C5.1.4 The above setback distances also apply to development which has an elevation to a road which does not intersect or adjoin the primary or secondary streets.

5.2 Lot Boundary Setback

Local Housing Objectives		Deemed-to-Comply																																																																																																																										
P5.2.1	Development which preserves and enhances the visual character of the existing streetscape by considering building setbacks.	C5.2.1 Clause 5.1.3 C3.2 of the R Codes Volume 1 applies to walls and is acceptable up to two side boundaries.																																																																																																																										
		C5.2.2 Lot boundary setbacks are to be in accordance with tables 1-5.2a and 1-5.2c:																																																																																																																										
		Table 1-1.5a																																																																																																																										
		<table><tr><th colspan="2" rowspan="2"></th><th colspan="10">Subject Property</th></tr><tr><th>R20</th><th>R30</th><th>R40</th><th>R50</th><th>R60</th><th>R80</th><th>R100+</th><th>R – AC3</th><th>No R-Code</th></tr><tr><th rowspan="9">Neighbouring Property</th><th rowspan="8">Residential Built Form Area</th><th>R20</th><td>A</td><td>A</td><td>A</td><td>C</td><td>C</td><td>C</td><td>C</td><td>C</td><td>C</td></tr><tr><th>R30</th><td>A</td><td>A</td><td>A</td><td>B</td><td>C</td><td>C</td><td>C</td><td>C</td><td>C</td></tr><tr><th>R40</th><td>A</td><td>A</td><td>A</td><td>B</td><td>B</td><td>C</td><td>C</td><td>C</td><td>C</td></tr><tr><th>R50</th><td>A</td><td>A</td><td>A</td><td>A</td><td>B</td><td>B</td><td>C</td><td>C</td><td>C</td></tr><tr><th>R60</th><td>A</td><td>A</td><td>A</td><td>A</td><td>A</td><td>B</td><td>B</td><td>B</td><td>B</td></tr><tr><th>R80</th><td>A</td><td>A</td><td>A</td><td>A</td><td>A</td><td>D</td><td>D</td><td>D</td><td>D</td></tr><tr><th>R100+</th><td>A</td><td>A</td><td>A</td><td>A</td><td>A</td><td>D</td><td>D</td><td>D</td><td>D</td></tr><tr><th>No R-Code</th><td>A</td><td>A</td><td>A</td><td>A</td><td>A</td><td>D</td><td>D</td><td>D</td><td>D</td></tr><tr><th>Non-Residential Built Form Area</th><td>A</td><td>A</td><td>A</td><td>A</td><td>A</td><td>D</td><td>D</td><td>D</td><td>D</td></tr></table>												Subject Property										R20	R30	R40	R50	R60	R80	R100+	R – AC3	No R-Code	Neighbouring Property	Residential Built Form Area	R20	A	A	A	C	C	C	C	C	C	R30	A	A	A	B	C	C	C	C	C	R40	A	A	A	B	B	C	C	C	C	R50	A	A	A	A	B	B	C	C	C	R60	A	A	A	A	A	B	B	B	B	R80	A	A	A	A	A	D	D	D	D	R100+	A	A	A	A	A	D	D	D	D	No R-Code	A	A	A	A	A	D	D	D	D	Non-Residential Built Form Area	A	A	A	A	A	D	D	D	D
		Subject Property																																																																																																																										
		R20	R30	R40	R50	R60	R80	R100+	R – AC3	No R-Code																																																																																																																		
Neighbouring Property	Residential Built Form Area	R20	A	A	A	C	C	C	C	C	C																																																																																																																	
		R30	A	A	A	B	C	C	C	C	C																																																																																																																	
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		Setback for ground floor, second storey and third storey	Setback for the fourth storey and above
	A	R Codes Volume 1 table 2a and 2b;	R Codes Volume 1 table 2a and 2b;
	B	4.5m	6.5m
	C	6.5m	12.5
	D	Table 1-1.2c	Table 1-1.2c
Table 1-1.5c			
		Width of lot in metres	
		≤14	≥14
Setback in metres		3	4
<p>C5.2.3 Where development adjoins a right of way the setback shall be measured from the midpoint of the right of way.</p>			

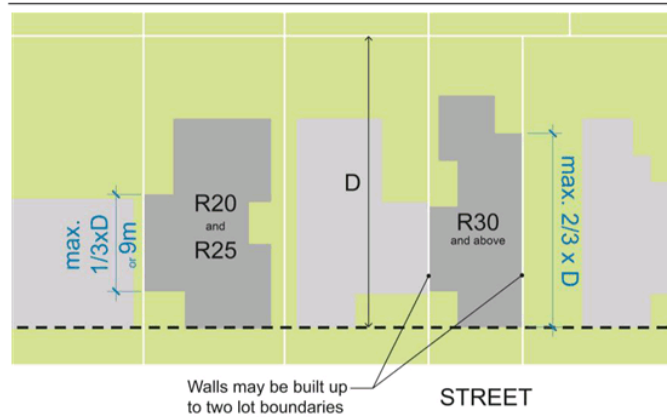


Figure 1-5.2 – Residential lot boundary setbacks

5.3 Building Height

Local Housing Objectives	Deemed-to-Comply
P5.3.1 Buildings which respond and contribute to neighbourhood context and streetscape character, and do not overwhelm or dominate existing development.	C5.3.1 Development that is consistent with the building heights provided in Table 1-5.3 and Figure 2.
P5.3.2 Design which is complimentary to existing developments.	C5.3.2 External fixtures may extend beyond the maximum height in Table 1-5.3 and Figure 2 where they are not visible from the street or neighbouring properties.
P5.3.3 Development that considers and responds to the natural features of the site and requires minimal excavation/fill.	C5.3.3 The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this Policy.
P5.3.4 Design which minimises overlooking and overshadowing.	C5.3.4 The City may approve development which exceeds the maximum height stated in table 1-5.3 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P5.3.1 – P5.3.5.
P5.3.5 Development which preserves and enhances the visual character of the existing streetscape by considering building bulk and scale.	

TABLE 1-5.3: Building Height – Residential Area

Maximum No. of Storeys as per Figure 2	Maximum Building Height				
	Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
1 storey*	3m	4m	3m	4m	6m
2 storeys	6m	7m	6m	7m	9m
3 storeys	9m	10m	9m	10m	12m
4 storeys	12m	13m	12m	13m	15m
5 storeys	16m	17m	16m	17m	18m

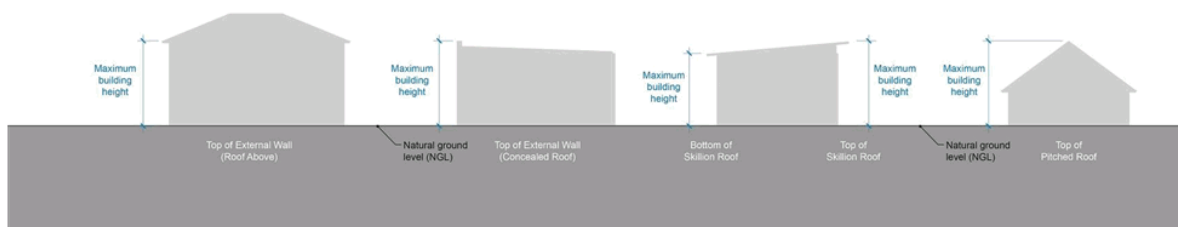


Figure 1-5.3 – Residential Building Heights

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5.4 Setback of Garages and Carports

Local Housing Objectives	Deemed-to-Comply
<p>P5.4.1 The setting back of carports and garages to maintain clear sight lines along the street and not to detract from the streetscape or appearance of dwellings; or dominate views of dwellings from the street and vice versa.</p> <p>P5.4.2 Development which preserves and enhances the visual character of the existing streetscape by considering building bulk, scale, setbacks and design.</p>	<p>C5.4.1 Vehicular access to car parking, carports and garages from the street are subject to compliance with clause 5.3.5 of the R Codes.</p> <p>C5.4.2 Garages are to be setback a minimum of 500mm behind the dwelling alignment (excluding any porch portico verandah or balcony or the like).</p> <p>C5.4.3 Carports shall be setback in accordance with Clause C5.2.1 of this Policy. This setback may be reduced in accordance with Clause 5.1.2 C2.1 iii of the R Codes Volume 1.</p> <p>C5.4.4 Garages and carports must match the existing dwellings predominant colour, scale and materials and must be complementary and subservient to the dwelling.</p> <p>C5.4.5 Carports must provide an unobstructed view to major openings of the dwelling from the street. Gates or doors to carports are required to be visually permeable.</p> <p>C5.4.6 Carports shall allow light and ventilation to the major openings of the dwelling.</p> <p>C5.4.7 The total width of any carport within the street setback area is not to exceed 50 per cent of the frontage (including strata lots) of the lot or six metres whichever is the lesser.</p>



Figure 1-5.4.1 – Garage Street Setback

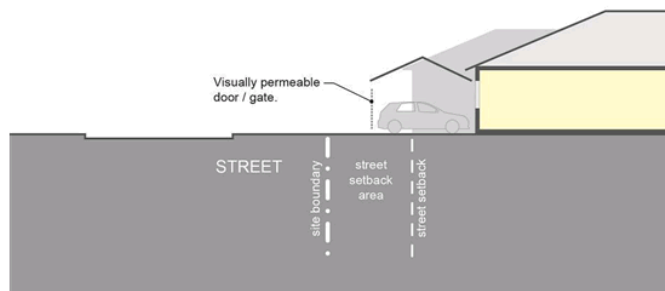


Figure 1-5.4.2 – Carports within Street Setback

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5.5 Garage Width

Local Housing Objectives	Deemed-to-Comply
P5.5.1 Development which preserves and enhances the visual character of the existing streetscape.	C5.5.1 Garages which are 50% or less than the width of the lot. C5.5.2 For lots less than 10 metres wide, garages which are a maximum of 4 metres wide.

5.6 Street Surveillance

Local Housing Objectives	Deemed-to-Comply
P5.6.1 Where Part 5 of the R Codes applies, and for all other development, all Design Principles of clause 5.2.3 of the R Codes apply. Where Part 6 of the R Codes applies all Design Principles of clause 6.2.1 of the R Codes apply.	C5.6.1 The primary street elevation of the dwelling is to address the street and shall include the main entry (front door) to the dwelling. Sites which abut a right-of-way and do not designate another primary street shall address the right-of-way as though it were its primary street for the purposes of this clause.

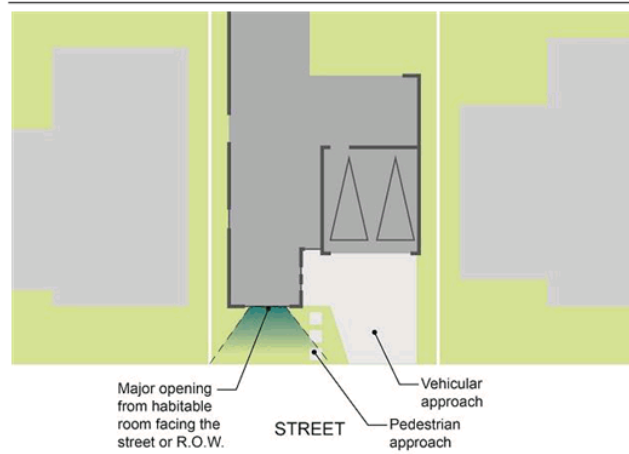


Figure 1-5.9 – Street Surveillance

5.7 Street Walls and Fences

Local Housing Objectives	Deemed-to-Comply
<p>P5.7.1 Development which preserves and enhances the visual character of the existing streetscape by considering bulk, scale, setbacks, design, relationship between the private and public domain, and fencing styles.</p>	<p>C5.7.1 Street walls, street fences and gates are to be of a style and materials compatible with those of the dwelling on site and/or walls, fences and gates of the immediate surrounding area excluding fibre cement and metal sheeting.</p> <p>C5.7.2 Street walls, fences and gates within the primary street setback area, including along the side boundaries, and front walls and fences to new dwellings fronting a right of way or dedicated road to be as follows:</p> <ul style="list-style-type: none"> (a) Maximum height of 1.8 metres above the natural ground level; (b) Maximum height of piers with decorative capping to be 2 metres above the natural ground level; (c) Maximum height of solid portion of wall to be 1.2 metres above adjacent footpath level and are to be visually permeable above 1.2 metres; (d) Posts and piers are to have a maximum width 400 millimetres and a maximum diameter of 500 millimetres; and (e) The distance between piers should not be less than the height of the piers except where pedestrian gates are proposed. <p>C5.7.3 Street walls, fences and gates to secondary streets, behind the primary street setback line, or walls, fences and gates to the primary streets where those streets are district distributor roads to be as follows:</p> <ul style="list-style-type: none"> (a) Solid portion of wall may increase to a maximum height of 1.8 metres above adjacent footpath level provided that the wall or fence has at least two significant appropriate design features (to the satisfaction of the City of Vincent) to reduce the

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	<p>visual impact – for example, significant open structures, recesses and/or planters facing the road at regular intervals and varying materials, finishes and/or colours; and</p> <p>(b) Maximum height of piers with decorative capping to be 2 metres above adjacent footpath level.</p> <p>Note: The measurement of street walls, fences and gates is to include any retaining walls and is to be measured from the natural ground level immediately below the base of the wall to the top of the wall above, within the development site. In the case of primary street frontage the measurement of street walls, fences and gates is to be measured from the natural ground level of the footpath immediately below the base of the wall to the top of the wall above.</p> <p>C5.7.4 Walls, fences and gates on the side boundaries within the primary street setback area, constructed from metal sheeting are permitted provided they meet all other requirements relating to height, provide adequate sight lines and are not a side boundary fence facing a secondary street.</p>
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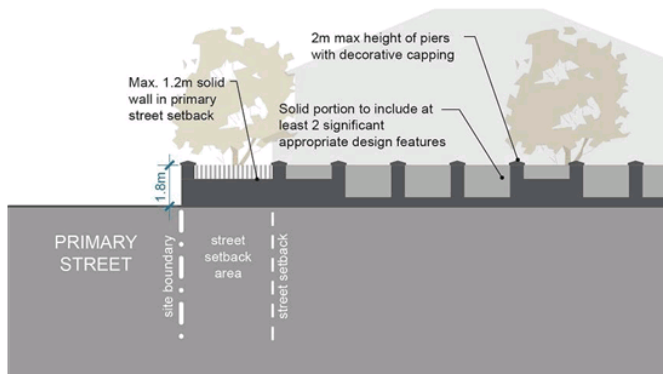


Figure 1-5.7 – Street Walls and Fences

5.7 Sight Lines

Local Housing Objectives	Deemed-to-Comply
<p>P5.7.1 Development which allows safe vehicle movement between the private and public domain.</p>	<p>C5.7.1 Walls, fences and other structures truncated or reduced to no higher than 0.75m within 1.5m of where walls, fences and other structures adjoin vehicle access points, where a driveway meets a public street and where two streets intersect, with the exception of:</p> <p>One pier/pillar with a maximum width and depth of 400 millimetres and 1.8 metres height above NGL, or 2.0 metres tall to the top of decorative capping above the NGL; Fence slats or infill higher than 0.75 metres above NGL that provides a Clear Sight Line; If a gate is proposed across a vehicle access point where a driveway meets a public street and where two streets intersect, the gate must provide:</p> <ul style="list-style-type: none"> ○ When Closed: a minimum of 50 per cent unobstructed view; ○ When Open: a Clear Sight Line from 0.75m above the NGL within 1.5m of where the vehicle access way joins the street; <p>For the purposes of this clause a Clear Sight Line means:</p> <p>Continuous horizontal or vertical gaps that constitute a minimum of 50% of the total surface area; A minimum gap size of 40mm; If slats are orientated to be deeper than they are wide - the distance between the slats must be no less than two-times the depth of the slat; Clear non-reflective glass.</p>

5.8 Landscaping

Local Housing Objectives		Deemed-To-Comply		
P5.8.1	Landscaping is to be designed to reduce the impact of development on adjoining residential zones and public spaces.	C5.8.1	Deep Soil Areas shall be provided in accordance with the following requirements:	
P5.8.2	Landscaping should provide increased urban air quality, tree and vegetation coverage and a sense of open space between buildings.		Site Area	Minimum Area & Minimum Dimensions
P5.8.3	The integration of sustainable landscape design with the building creating a greater landscaping amenity for residents and occupants and the community.		<650m ²	1m ² 1m x 1m
P5.8.4	The provision of landscaping that will make an effective and demonstrated contribution to the City's green canopy to reduce the impact of the urban heat island effect.		650m ² – 1,500m ²	1m ² 1m x 1m
P5.8.5	Development that offsets the impact of removing existing trees.		>1,500m ²	1m ² 1m x 1m
P5.8.6	Landscaping at the rear of the property should not negatively impact on the use and activation of a right of way.	C5.8.2	Planting Areas shall be provided in accordance with the following requirements:	
P5.8.7	Open air car parks should be appropriately landscaped to provide adequate shading and reduce the impact on adjoining properties.		Site Area	Minimum Area & Minimum Dimensions
P5.8.8	Design which retains existing mature trees on site.		<650m ²	1m ² 1m x 1m
			650m ² – 1,500m ²	1m ² 1m x 1m
			>1,500m ²	1m ² 1m x 1m
		C5.8.3	The required Deep Soil Area may be reduced to 10% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.	

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	<p>C5.8.4 At least 30% of the site area is provided as canopy coverage at maturity.</p> <p>C5.8.5 Open air car parks, including access ways, shall have a minimum of 60% canopy coverage at maturity.</p> <p>C5.8.7 The perimeter of all open-air parking areas shall be landscaped by a planting strip with a minimum dimension of 1.5m.</p> <p>C5.8.8 Existing trees shall be retained where they are: (a) Healthy specimens with ongoing viability; and (b) Species not included on an applicable weed register.</p> <p>C5.8.9 The above landscaping provisions apply to additions and alterations that affect an existing Deep Soil Area, canopy cover or tree on the subject lot.</p>
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5.9 External Fixtures, Utilities and Facilities

Local Housing Objectives	Deemed-to-Comply
<p>P5.9.1 Development which preserves and enhances the visual character of the existing streetscape by considering building bulk, scale and design.</p>	<p>C5.9.1 External fixtures are permitted where they are: not visible from the street and surrounding properties; or integrated with the design of the building.</p> <p>C5.9.2 If external fixtures cannot be integrated into the design of the building to be concealed from the street and surrounding properties they will be required to be screened as follows: continuous vertical or horizontal opaque material more than 50mm in width, occupying a minimum of three quarters of the total surface area in aggregate; or a surface offering equal or more obstruction to view which does not compromise ventilation.</p> <p>C5.9.3 For single houses and grouped dwellings, air conditioning fixtures are to be placed at the rear of the ground floor. The highest point of the air conditioning fixture is to be a maximum 1.8 metres above natural ground level or below the existing fence line.</p>

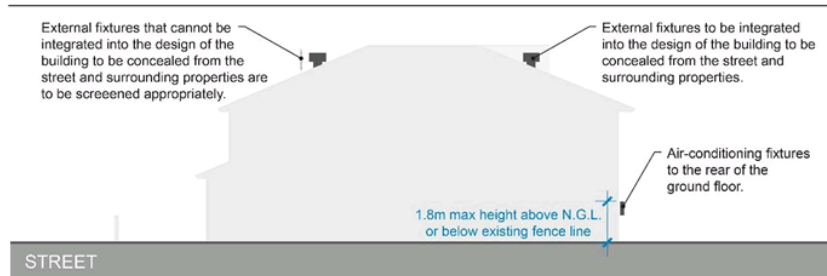
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Figure 1-5.9.1 – External Fixtures

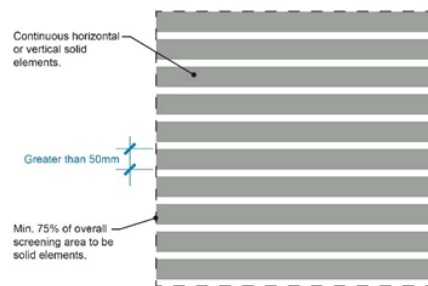


Figure 1-5.9.2 – Screening of External Fixtures

5.10 Environmentally Sustainable Design

5.10.1 Clause 1.8 of this Policy applies to development in the Residential Built Form Area.

5.11 Urban Design Study

5.11.1 Clause 1.9 of this Policy applies to development in the Transit Corridor Built Form Area.

5.12 Development on Rights of Way**Local Housing Objectives**

- P5.12.1** Development which appropriately addresses rights of way to facilitate spaces which are welcoming and safe for residents and visitors.
- P5.12.2** Development which provides appropriate pedestrian access to a dedicated road with suitable space for service areas and waste management.
- P5.12.3** Development which provides suitable space for safe vehicle movement in the right of way.
- P5.12.4** Development on rights of ways is to be in accordance with the Western Australian Planning Commission's Planning Bulletin 33 Rights of Way or Laneways in Established Areas – Guidelines.

Orientation

- P5.12.5** Where a dwellings' primary street frontage is a right of way, or where no primary street or secondary street frontage exists, it is to be oriented to address the right of way using clearly defined entry points and major openings as if it were a primary street.

Setbacks

- P5.12.6** Development must be setback 1 metre from a right of way. If the site is subject to right of way widening, the setback is measured from the new lot boundary after the widening is applied. Clause C5.2.1 is replaced by this clause where development has its primary street frontage to a right of way.

Access

- P5.12.7** Each lot that does not have direct frontage to a dedicated road is to be provided with a pedestrian access way to a dedicated road. The width of the pedestrian access way shall be 1.5 metres.
- P5.12.8** Access to a right of way is required to be trafficable to the nearest dedicated road. The cost to upgrade a right of way to make it trafficable is to be borne by the applicant.

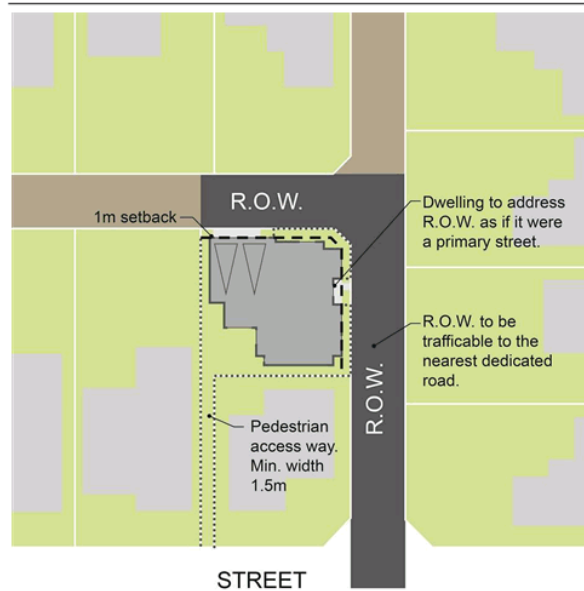


Figure 1-5.12.1 – Corner development on rights of way

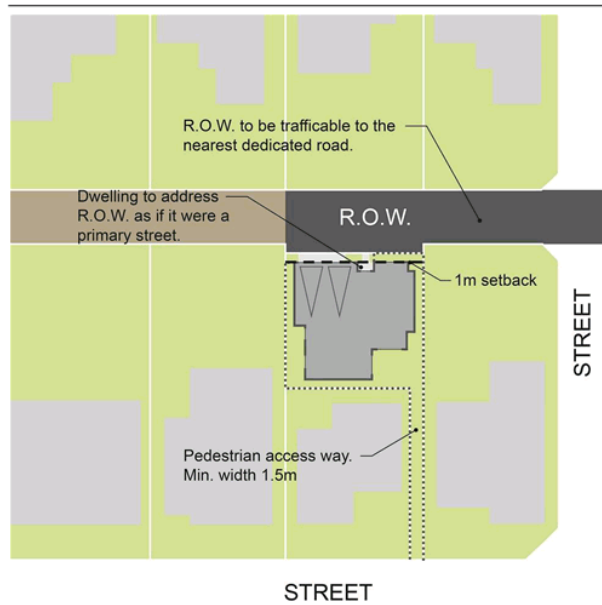


Figure 1-5.12.2 – Development on rights of way

VOLUME 2, MULTIPLE DWELLINGS AND MIXED USE - POLICY PROVISIONS**SECTION 1 – TOWN CENTRE****1.1 Building Height****Acceptable Outcomes**

- | | |
|---------------|--|
| A1.1.1 | Development that is consistent with the building heights provided in Table 2-1.1 and Figure 2. |
| A1.1.2 | External fixtures may extend beyond the maximum height in Table 2-1.1 and Figure 2 where they are not visible from the street or neighbouring properties. |
| A1.1.3 | The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height. |
| A1.1.4 | The City may approve development which exceeds the maximum height stated in Table 2-1.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan, Master Plan or Structure Plan. |

TABLE 2-1.1: Building Height – Town Centres

Location	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Leederville	In accordance with the Leederville Masterplan, and where no height is stated the maximum is to be 6 storeys, with the exception of the below requirements.:	19.5m	20.5m	19.5m	20.5m	22.5m
	Vincent Street – 5 storeys					
	Carr Place – 4 storeys					
North Perth	Vincent Street – 5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
	Carr Place – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
	Fitzgerald Street – 6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Perth	Angove Street – 4 storeys					
	Angove Street – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Perth		19.5m	20.5m	19.5m	20.5m	22.5m

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Location	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
	6 storeys					
Mount Lawley / Highgate	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Mount Hawthorn	5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
Glendalough	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m

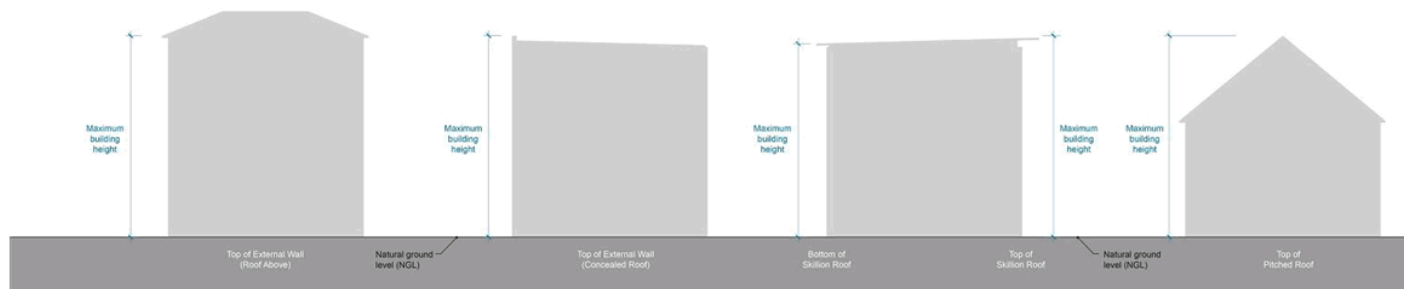


Figure 2-1.1 – Building Height Measurement

1.2 Street Setbacks

Acceptable Outcomes	
A1.2.1	Primary and secondary street setback is nil.

1.3 Side and rear setbacks**Acceptable Outcomes****A1.3.1** Side and rear setbacks in accordance with Tables 1.3a, 1.3b and 1.3c.**Development Adjoining Rights of Way****A1.3.2** Where development adjoins a right of way the setback shall be measured from the midpoint of the right of way.**A1.3.3** Development must address adjoining rights of way by providing passive surveillance and openings to the right of way.

Table 1.3a

			Subject Property								
			R20	R30	R40	R50	R60	R80	R100+	R – AC3	No R-Code
Neighbouring Property	Residential Built Form Area	R20	A	A	A	C	C	C	C	C	C
		R30	A	A	A	B	C	C	C	C	C
		R40	A	A	A	B	B	C	C	C	C
		R50	A	A	A	A	B	B	C	C	C
		R60	A	A	A	A	A	B	B	B	B
		R80	A	A	A	A	A	D	D	D	D
		R100+	A	A	A	A	A	D	D	D	D
		No R-Code	A	A	A	A	A	D	D	D	D
	Non-Residential Built Form Area	E	E	E	E	E	F	F	F	F	

Table 1.3b

	Setback for ground floor, second storey and third storey	Setback for the fourth storey and above
A	Table 1.3c	Table 1.3c
B	4.5m	6.5m
C	6.5m	12.5
D	R Codes Volume 2 Table 2.1	R Codes Volume 2 Table 2.1
E	Nil	Table 1.3c
F	Nil	R Codes Volume 2 Table 2.1

Table 1.3c

	Wall length (m)													
	9 or less	10	11	12	13	14	15	16	17	18	19	20	25	Over 25
Wall height (m)														
3.5 or less	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
4	1.1	1.5	1.5	1.5	1.5	1.5	1.5	1.6	1.6	1.6	1.6	1.7	1.7	1.8
4.5	1.1	1.5	1.5	1.5	1.5	1.5	1.6	1.7	1.7	1.7	1.7	1.7	1.8	2.0
5	1.1	1.5	1.5	1.5	1.5	1.6	1.7	1.8	1.8	1.8	1.8	1.9	2.0	2.3
5.5	1.2	1.5	1.5	1.5	1.6	1.7	1.8	1.9	1.9	2.0	2.0	2.1	2.3	2.5
6	1.2	1.5	1.5	1.5	1.6	1.8	1.9	2.0	2.0	2.1	2.1	2.2	2.4	2.8
6.5	1.2	1.5	1.5	1.6	1.7	1.9	2.0	2.1	2.1	2.2	2.2	2.3	2.7	3.0
7	1.2	1.5	1.5	1.6	1.8	2.0	2.1	2.2	2.2	2.3	2.4	2.5	2.8	3.3
7.5	1.3	1.5	1.6	1.7	1.9	2.1	2.2	2.3	2.3	2.4	2.5	2.6	3.0	3.5
8	1.3	1.5	1.6	1.7	1.9	2.1	2.2	2.4	2.4	2.5	2.6	2.7	3.1	3.8
8.5	1.4	1.6	1.7	1.8	2.0	2.2	2.3	2.5	2.6	2.7	2.8	2.9	3.3	4.1

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9	1.4	1.7	1.7	1.8	2.0	2.3	2.4	2.6	2.7	2.8	2.9	3.0	3.6	4.3
9.5	1.4	1.7	1.8	1.9	2.1	2.4	2.5	2.7	2.8	2.9	3.0	3.2	3.8	4.6
10	1.5	1.8	1.9	2.0	2.2	2.4	2.6	2.8	2.9	3.0	3.1	3.3	4.0	4.8

1.4 Tree Canopy and Deep Soil Areas**Acceptable Outcomes**

- A1.4.1** Deep soil areas are provided as a minimum of 12% of the site area. Deep soil areas are to be co-located with existing trees for retention and/or adjoining trees, or alternatively provided in a location that is conducive to tree growth and suitable for communal open space.
- A1.4.2** If existing trees, which meet the criteria of A 3.3.1 of the R Codes Volume 2, are retained on site the minimum deep soil area is to be 10% of the site area.
- A1.4.3** Planting Areas are provided as a minimum of 3% of the site area.
- A1.4.4** Landscaping includes existing and new trees with shade producing canopies in accordance with Tables 3.3a and 3.3b of the R Codes Volume 2 to achieve canopy coverage of 80% in the ground floor lot boundary setback.
- A1.4.5** Evergreen tree species where landscaping is used to reduce the impact of building bulk.
- A1.4.6** Deciduous tree species to the north and south of development to allow natural light penetration to the development and adjoining buildings.
- A1.4.7** Where the required deep soil areas cannot be provided due to site restrictions, planting on structure with an area equivalent to two times the shortfall in deep soil area provision is provided to a minimum depth and dimension of 1 metre.

1.5 Pedestrian access and entries**Acceptable Outcomes**

- A1.5.1** Pedestrian access which is identifiable from the street and visitor car parking areas and other public areas.
- A1.5.2** Access for pedestrians which directly fronts the primary street.
- A1.5.3** Developments shall distinguish residential entries from retail and other commercial entries.
- A1.5.4** Internal ground floor level to be at grade.
- A1.5.5** Design of balustrades to be integrated into the design of the development.
- A1.5.6** Ramps are not to exceed 50% of the active frontage.

1.6 Vehicle Access**Acceptable Outcomes**

- A1.6.1** Service areas and vehicular access shall be:
 (a) Taken from the rear laneway or secondary street in the first instances; or
 (b) Collocated where taken from the primary street to maximise the width of active frontages.
- A1.6.2** Access to on-site car parking spaces to be provided:
 where available, from a right of way available for lawful use to access the relevant lot and which is adequately paved and drained from the property boundary to a dedicated road;
 from a secondary street where no right of way exists; or
 from the primary street frontage where no secondary street or right-of way exists.
- A1.6.3** Access to a right of way is required to be trafficable to the nearest dedicated road. The cost to upgrade a right of way to make it trafficable is to be borne by the applicant.
- A1.6.4** Where vehicular access is provided from a street, all vehicles are required to enter and exit the site in forward gear.
- A1.6.5** Roller shutters and screens are to be visually permeable.
- A1.6.6** Onsite parking for a development shall be located beneath or at the rear of buildings.
- A1.6.7** In a mixed-use development, car bays should be clearly signposted differentiating between the residential car bays and the commercial car bays.
- A1.6.8** Where on-site parking provided for customer/client use is not directly visible from the adjacent street, adequate signage is to be provided to promote public knowledge of and direction to the car park. This signage is to comply with the requirements of the City's Policy relating to Signs and Advertising.
- A1.6.9** Existing trees must not be removed to provide for vehicle access.
- A1.6.10** Each lot is to provide a maximum of one crossover.
- A1.6.11** The maximum width of a single crossover is 3m. The maximum width of a double crossover is 5m.
- A1.6.12** The location of crossovers should maximize the ability to provide on-street car parking spaces.

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| <p>A1.6.13 Where a crossover meets a pedestrian path there must be clear communication of pedestrian priority.</p> <p>A1.6.14 Crossovers must be setback a minimum of 0.5m from the lot boundary.</p> |
|---|

1.7 Car and bicycle parking

Acceptable Outcomes

- A1.7.1** Uncovered at-grade parking is planted with trees at a minimum rate of one tree per four bays to achieve canopy coverage of 60% of the site.

1.8 Façade design**Acceptable Outcomes**

- A1.8.1** Commercial Development which fronts the public realm shall provide active frontages including glazing, openings and operable windows to ensure activity, interaction and surveillance of the street.
- A1.8.2** Commercial Ground floor spaces shall have a maximum width of 9m and a finished floor level to finished ceiling level height of a minimum of 3.5m.
- A1.8.4** Development shall identify key design elements in the local area and streetscape through an Urban Design Study and integrate and acknowledge these design elements where possible whilst avoiding the use of faux materials.
- A1.8.5** Development which incorporates the design elements of the predominant streetscape character of the urban design study area outlined in Appendix 2.
- A1.8.6** Commercial Building facades visible from the public realm shall:
- (a) Incorporate a variety of materials, colours, textures and depths;
 - (b) Not present a blank, monotonous, repetitious or dominant building treatment;
 - (c) Incorporate architectural or functional elements integrated into the façade, rather than cosmetic or superficial attachments to the building;
 - (d) Incorporate vertical articulation by using tall and narrow façade treatments;
 - (e) Incorporate articulation such as doorways, windows, seating ledges, sills, stall risers and other detailing;
 - (f) Minimise use of shallow framings systems and thin wall/glazing systems;
 - (g) Integrate fire boosters, mail boxes and external fixtures into the building design or screen them so they appear as part of the façade; and
 - (h) Integrate signage into the design and articulation on the ground floor.
- A1.8.7** Where provided, doorways shall have a depth between 500mm and 1.5m to clearly articulate entrances to commercial buildings and tenancies.
- A1.8.7** Where provided, windows, seating ledges, sills, stall risers and other detailing shall have a minimum depth of 300mm.
- A1.8.8** Where provided, stall risers shall be a minimum height of 450mm.
- A1.8.9** Commercial Ground floor glazing and/or tinting shall have a minimum of 70% visible light transmission to provide unobscured visibility.

- A1.8.10** Security measures shall be:
- (a) Located and installed internally behind the glazing line or recessed between elements in the façade such as columns or doorway recesses; and
 - (b) Transparent and visually permeable to allow views inside the building and enable internal light sources to be seen from the street.
- A1.8.11** Commercial Development shall provide a protective awning over the pedestrian footpath, which shall :
- (a) Be minimum height of 3.5m and a maximum height of 4m from finished floor level to the underside of the awning to accommodate under awning signage;
 - (b) Be setback a minimum of 600mm from the face of kerb;
 - (c) Respond to any existing and/or proposed verge trees;
 - (d) Respond to the height, depth and form of existing awnings on the subject and adjoining buildings;
 - (e) Respond to the slope of the site; and
 - (f) Integrated with the design of the façade
- A1.8.12** Verandahs and collonades are only permitted where they are constructed wholly within the lot boundaries of development site.

1.9 Roof design**Acceptable Outcomes**

- A1.9.1** Flat roof structures that are not visible from the street or adjacent properties shall have a maximum solar absorptance rating of 0.4.
- A1.9.2** Pitched roof structures or roof structures that are visible from the street or adjacent properties shall have a maximum solar absorptance rating of 0.5, unless a suitable alternative is identified in the Urban Design Study (A1.10.4).

1.10 Energy efficiency**Objectives**

- 1.10.1** Development that considers the whole of life environmental impact of the building and incorporates measures to reduce this impact.

Acceptable Outcomes

- A1.10.1** Development shall incorporate:
(a) Site planning principles that maximise solar passive design opportunities for both summer and winter; and
(b) Recovery and re-use of rainwater, storm water, grey water and/or black water for non-potable water applications.
- A1.10.2** Development achieves the environmental performance standards shown in the below table, or their equivalent*.

Accepted Rating Framework	Specification / Compliance Requirements	Minimum Requirement to be Achieved	Evidence
Green Building Council of Australia's <i>Green Star</i> Rating System	Current Design and As-Built rating tool	5 star Green Star rating	Preliminary Sustainable Design Report prepared by a Green Star Accredited Professional using the current Green Star Design and As-Built rating tool scorecard to demonstrated eligibility for 5 star Green Star rating.
Life Cycle Assessment in Accordance with <i>EN15978-Sustainability of construction works – Assessment of environmental performance of buildings – Calculation method</i> .	System Boundary must include all Life Cycle Modules (A1-2, B1-7, C1-4 and D) in addition to non-integrated energy (plug loads)	Global Warming Potential and Net Fresh Water Use Performance Reduction as per Table *** below.	Independently Reviewed EN15978 Compliant Target Setting LCA with a 20% factor of safety applied to improvement strategies

Building Type	Performance Requirement	
	Global Warming Potential	Net Fresh Water Use

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Residential (BCA Class 1-3)	< 2,250 kgCO ₂ e / Occupant / Year (50% saving against Perth statistical average residences)	< 57m ³ / Occupant / Year (50% saving against Perth statistical average residences)
Commercial Office (BCA Class 5)	< 104 kgCO ₂ e / m ² Net Lettable Area / year (30% saving against Perth statistical average office)	< 1.25 m ³ / m ² Net Lettable Area / year (25% saving against Perth statistical average office)
All Other Building Types	30% saving against Code-Compliant design	25% saving against Code-Compliant design

*The City accepts sustainability assessment frameworks and mechanisms that are nationally or internationally recognised, compliant with applicable Australian/international standards and subject to oversight by a certifying body.

SECTION 2 – ACTIVITY CORRIDORS**2.1 Building Height****Acceptable Outcomes**

- | | |
|---------------|---|
| A2.1.1 | Development that is consistent with the building heights provided in Table 2-2.1 and Figure 2. |
| A2.1.2 | External fixtures may extend beyond the maximum height in Table 2-2.1 and Figure 2 where they are not visible from the street or neighbouring properties. |
| A2.1.3 | The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height. |
| A2.1.4 | The City may approve development which exceeds the maximum height stated in Table 2-2.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan. |

TABLE 2-2.1: Building Height – Activity Corridors

Activity Corridors	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Oxford Street	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Scarborough Beach Road	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Fitzgerald Street (Newcastle St to Vincent St)	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Fitzgerald Street (Vincent St to Raglan Road)	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Newcastle Street	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Beaufort Street (Newcastle St to Lincoln St)	5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
Beaufort Street (Lincoln St to Walcott St)	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m

2.2 Activity Corridor Development Requirements

2.2.1 All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1.

SECTION 3 – MIXED USE**3.1 Building Height****Acceptable Outcomes**

- A3.1.1** Development that is consistent with the building heights provided in Table 2-3.1 and Figure 2.
- A3.1.2** External fixtures may extend beyond the maximum height in Table 2-3.1 and Figure 2 where they are not visible from the street or neighbouring properties.
- A3.1.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height.
- A3.1.4** The City may approve development which exceeds the maximum height stated in Table 2-3.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan.

TABLE 2-3.1: Building Height – Mixed Use Areas

Mixed Use Area	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Area bounded by Newcastle St, Loftus St, Mitchell Freeway and Charles St	7 storeys	22.6m	23.6m	22.6m	23.6m	25.6m
Area bounded by Carr St, Charles St, Newcastle St and Fitzgerald St	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Between Fitzgerald St and William St	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Brisbane St						
Bulwer St						
Charles St						
Green St						
Walcott St						
William St						
Between William St and Lord St						
North Perth	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Area bounded by Summers St, Lord St, Graham Farmer Freeway and East						

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Parade (Except where defined below)						
Edward St South	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m
Edward St North	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Caversham South	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m
Caversham North	10 storeys	31.9m	32.9m	31.9m	32.9m	34.9m
Cheriton South	10 storeys	31.9m	32.9m	31.9m	32.9m	34.9m
Cheriton North	12 storeys	38.1m	39.1m	38.1m	39.1m	41.1m

3.2 Mixed Use Development Requirements

3.2.1 All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1.

SECTION 4 – TRANSIT CORRIDORS**4.1 Building Height****Acceptable Outcomes**

- A4.1.1** Development that is consistent with the building heights provided in Table 2-4.1 and Figure 2.
- A4.1.2** External fixtures may extend beyond the maximum height in Table 2-4.1 and Figure 2 where they are not visible from the street or neighbouring properties.
- A4.1.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height.
- A4.1.4** The City may approve development which exceeds the maximum height stated in Table 2-4.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan.

TABLE 2-4.1: Building Height – Transit Corridors

Transit Corridors	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Loftus Street	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Charles Street: Between Newcastle St and Carr St						
West side and lots fronting Newcastle	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
East side	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Charles Street (Carr Street to Walcott St)	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R80 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Fitzgerald Street (Angove St to Walcott St)	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Walcott Street	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Lord Street	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
East Parade	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
William Street	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m

Transit Corridors	Maximum No. of Storeys		Maximum Building Height			
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
(Vincent St to Walcott St)						

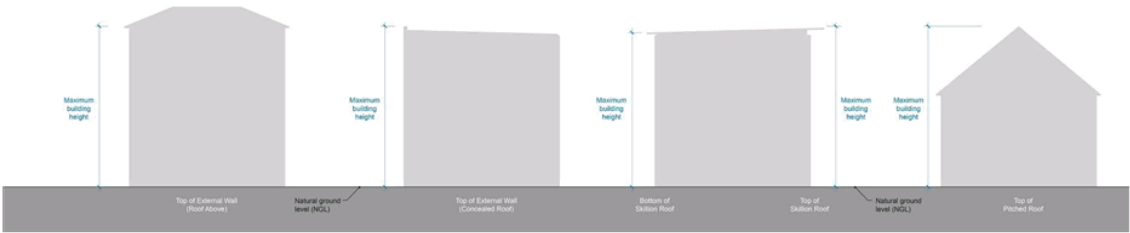


Figure 2-4.2 – Building Height and Measurement

4.2 Street Setbacks**Acceptable Outcomes**

- A4.2.1** Development complies with the street setback set out in Table 2.1 of the R Codes Volume 2.
- A4.2.2** Primary and secondary street setback for the third storey and above must incorporate articulation and the use of varying colours and materials which minimise the bulk and scale of the building on the streetscape.

4.3 Tree canopy and deep soil areas**Acceptable Outcomes**

- A4.3.1** Deep soil areas are provided as a minimum of 12% of the site area. Deep soil areas are to be co-located with existing trees for retention and/or adjoining trees, or alternatively provided in a location that is conducive to tree growth and suitable for communal open space.
- A4.3.2** If existing trees, which meet the criteria of A 3.3.1 of the R Codes Volume 2, are retained on site the minimum deep soil area is to be 10% of the site area.
- A4.3.3** Planting Areas are provided as a minimum of 3% of the site area.
- A4.3.4** Landscaping includes existing and new trees with shade producing canopies in accordance with Tables 3.3a and 3.3b of the R Codes Volume 2 to achieve canopy coverage of 30% of the site area.
- A4.3.5** Evergreen tree species where landscaping is used to reduce the impact of building bulk.
- A4.3.6** Deciduous tree species to the north and south of development to allow natural light penetration to the development and adjoining buildings.
- A4.3.7** Where the required deep soil areas cannot be provided due to site restrictions, planting on structure with an area equivalent to two times the shortfall in deep soil area provision is provided to a minimum depth and dimension of 1 metre.
- A4.3.8** A minimum of 50% of the front setback shall be provided as soft landscaping.

4.4 Public domain interface**Acceptable Outcomes**

- A4.4.1** Street walls, fences and gates are to be of a style and materials compatible with those of the development on site and/or walls, fences and gates of the immediate surrounding area excluding fibre cement.
- A4.4.2** Street walls, fences and gates within the primary street setback area, including along the side boundaries, and front walls and fences to new dwellings fronting a right of way or dedicated road to be as follows:
- (a) Maximum height of 1.8 metres above the natural ground level;
 - (b) Maximum height of piers with decorative capping to be 2 metres above the natural ground level;
 - (c) Maximum height of solid portion of wall to be 1.2 metres above adjacent footpath level and are to be visually permeable above 1.2 metres;
 - (d) Posts and piers are to have a maximum width 400 millimetres and a maximum diameter of 500 millimetres; and
 - (e) The distance between piers should not be less than the height of the piers except where pedestrian gates are proposed.
- A4.4.3** Street walls, fences and gates to secondary streets, behind the primary street setback line, or walls, fences and gates to the primary streets where those streets are district distributor roads to be as follows:
- (a) Solid portion of wall may increase to a maximum height of 1.8 metres above adjacent footpath level provided that the wall or fence has at least two significant appropriate design features (to the satisfaction of the City of Vincent) to reduce the visual impact – for example, significant open structures, recesses and/or planters facing the road at regular intervals and varying materials, finishes and/or colours; and
 - (b) Maximum height of piers with decorative capping to be 2 metres above adjacent footpath level.
- A4.4.4** Exposed boundary walls visible to the street are to incorporate the following design features:
- Indentations;
 - Varying heights;
 - Varying materials, colours and textures; or
 - Public artwork.
- A4.4.5** Any proposed vehicular or pedestrian entry gates shall be visually permeable.
- A4.4.6** Walls and fences on the side boundaries, only within the primary street setback area, constructed from metal sheeting are permitted provided they meet all other requirements relating to height, provide adequate sight lines and are not a side boundary fence facing a secondary street.

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4.5 Vehicle Access**Acceptable Outcomes**

- A4.5.1** Garages which are 50% or less than the width of the lot.
- A4.5.2** For lots less than 10 metres wide, garages which are a maximum of 4 metres wide.
- A4.5.3** Access to a right of way is required to be trafficable to the nearest dedicated road. The cost to upgrade a right of way to make it trafficable is to be borne by the applicant.

4.6 Transit Corridor Development Requirements

4.6.1 All development requirements of Section 1 – Town Centres apply with the exception of Clause 1.1, 1.2 and 1.4.

SECTION 5 - RESIDENTIAL**5.1 Building Height****Acceptable Outcomes**

- A5.1.1** Development that is consistent with the building heights provided in Table 2-5.1 and Figure 2.
- A5.1.2** External fixtures may extend beyond the maximum height in Table 2-5.1 and Figure 2 where they are not visible from the street or neighbouring properties.
- A5.1.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height.
- A5.1.4** The City may approve development which exceeds the maximum height stated in Table 2-5.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan.

TABLE 2-5.1: Building Height – Residential Area

Maximum No. of Storeys as per Figure 2	Maximum Building Height				
	Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
1 storey*	3m	4m	3m	4m	6m
2 storeys	6m	7m	6m	7m	9m
3 storeys	9m	10m	9m	10m	12m
4 storeys	12m	13m	12m	13m	15m
5 storeys	16m	17m	16m	17m	18m

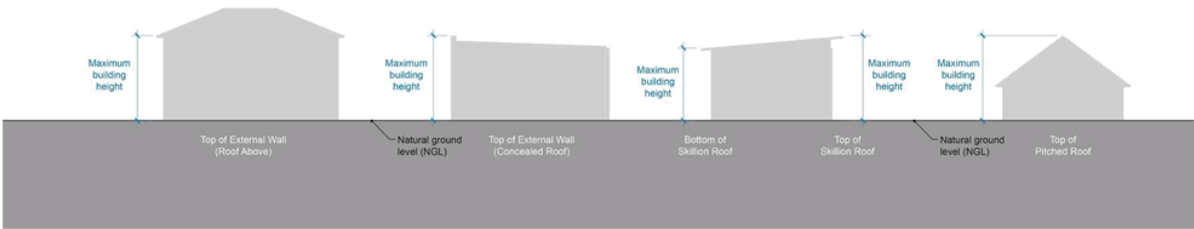


Figure 2-5.1 – Residential Building Heights

5.2 Street setbacks**Acceptable Outcomes**

- A5.2.1** The primary street setback is to be calculated by averaging the setback of the five dwellings adjoining both side lot boundaries of the proposed development.
- A5.2.2** For the purpose of averaging, the primary street setback is to be measured from the street alignment to the nearest wall of the dwelling excluding porches, verandahs, carports and balconies.
- A5.2.3** Walls on upper floors setback a minimum of 2 metres behind the ground floor predominant building line (excluding any porch or verandah), as determined by the City.
- A5.2.4** Balconies on upper floors setback a minimum of 1 metre behind the ground floor predominant building line (excluding any porch or verandah), as determined by the City.

Dual frontage

- A5.2.6** The above setback distances also apply to development which has an elevation to a road which does not intersect or adjoin the primary or secondary streets.

5.3 Tree canopy and deep soil areas**Acceptable Outcomes**

- A5.3.1** Deep soil areas are provided as a minimum of 12% of the site area. Deep soil areas are to be co-located with existing trees for retention and/or adjoining trees, or alternatively provided in a location that is conducive to tree growth and suitable for communal open space.
- A5.3.2** If existing trees, which meet the criteria of A 3.3.1 of the R Codes Volume 2, are retained on site the minimum deep soil area is to be 10% of the site area.
- A5.3.3** Planting Areas are provided as a minimum of 3% of the site area.
- A5.3.4** Landscaping includes existing and new trees with shade producing canopies in accordance with Tables 3.3a and 3.3b of the R Codes Volume 2 to achieve canopy coverage of 30% of the site area.
- A5.3.5** Evergreen tree species where landscaping is used to reduce the impact of building bulk.
- A5.3.6** Deciduous tree species to the north and south of development to allow natural light penetration to the development and adjoining buildings.
- A5.3.7** Where the required deep soil areas cannot be provided due to site restrictions, planting on structure with an area equivalent to two times the shortfall in deep soil area provision is provided to a minimum depth and dimension of 1 metre.

5.4 Public domain interface**Acceptable Outcomes**

- A5.4.1** Street walls, fences and gates are to be of a style and materials compatible with those of the development on site and/or walls, fences and gates of the immediate surrounding area excluding fibre cement.
- A5.4.2** Street walls, fences and gates within the primary street setback area, including along the side boundaries, and front walls and fences to new dwellings fronting a right of way or dedicated road to be as follows:
- (a) Maximum height of 1.8 metres above the natural ground level;
 - (b) Maximum height of piers with decorative capping to be 2 metres above the natural ground level;
 - (c) Maximum height of solid portion of wall to be 1.2 metres above adjacent footpath level and are to be visually permeable above 1.2 metres;
 - (d) Posts and piers are to have a maximum width 400 millimetres and a maximum diameter of 500 millimetres; and
 - (e) The distance between piers should not be less than the height of the piers except where pedestrian gates are proposed.
- A5.4.3** Street walls, fences and gates to secondary streets, behind the primary street setback line, or walls, fences and gates to the primary streets where those streets are district distributor roads to be as follows:
- (a) Solid portion of wall may increase to a maximum height of 1.8 metres above adjacent footpath level provided that the wall or fence has at least two significant appropriate design features (to the satisfaction of the City of Vincent) to reduce the visual impact – for example, significant open structures, recesses and/or planters facing the road at regular intervals and varying materials, finishes and/or colours; and
 - (b) Maximum height of piers with decorative capping to be 2 metres above adjacent footpath level.
- Note: The measurement of street walls, fences and gates is to include any retaining walls and is to be measured from the natural ground level immediately below the base of the wall to the top of the wall above, within the development site. In the case of primary street frontage the measurement of street walls, fences and gates is to be measured from the natural ground level of the footpath immediately below the base of the wall to the top of the wall above.
- A5.4.4** Walls, fences and gates on the side boundaries within the primary street setback area, constructed from metal sheeting are permitted provided they meet all other requirements relating to height, provide adequate sight lines and are not a side boundary fence facing a secondary street

A5.4.5 Walls, fences and other structures truncated or reduced to no higher than 0.75m within 1.5m of where walls, fences and other structures adjoin vehicle access points, where a driveway meets a public street and where two streets intersect, with the exception of:

One pier/pillar with a maximum width and depth of 400 millimetres and 1.8 metres height above NGL, or 2.0 metres tall to the top of decorative capping above the NGL;

Fence slats or infill higher than 0.75 metres above NGL that provides a Clear Sight Line;

If a gate is proposed across a vehicle access point where a driveway meets a public street and where two streets intersect, the gate must provide:

- When Closed: a minimum of 50 per cent unobstructed view;
- When Open: a Clear Sight Line from 0.75m above the NGL within 1.5m of where the vehicle access way joins the street;

For the purposes of this clause a Clear Sight Line means:

Continuous horizontal or vertical gaps that constitute a minimum of 50% of the total surface area;

A minimum gap size of 40mm;

If slats are orientated to be deeper than they are wide - the distance between the slats must be no less than two-times the depth of the slat;

Clear non-reflective glass.

5.5 Vehicle Access

5.5.1 Clause 4.6 applies to development in the Residential Built Form Area.

5.6 Residential Built Form Area Development Requirements

5.6.1 All development requirements of Section 1 – Town Centres apply with the exception of Clause 1.1, 1.2 and 1.4.

VOLUME 3, COMMERCIAL – POLICY PROVISIONS**SECTION 1 – TOWN CENTRE****1.1 Building Height**

Element Objectives	
O1.1.1	Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.
O1.1.2	Development that incorporates design measures to reduce the impact of height, bulk and scale on neighbouring properties and the streetscape.
O1.1.3	Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
O1.1.4	Design which minimises overlooking and overshadowing where it impacts residential development.
O1.1.5	The height of development responds to the desired future scale and character of the street and local area, including existing buildings that are unlikely to change.
O1.1.6	The height of buildings within a development responds to changes in topography.
O1.1.7	Development incorporates articulated roof design.
O1.1.8	The height of development recognises the need for daylight and solar access to adjoining and nearby residential development.
Acceptable Outcomes	
A1.1.1	Development that is consistent with the building heights provided in Table 3-1.1 and Figure 2.
A1.1.2	External fixtures may extend beyond the maximum height in Table 3-1.1 and Figure 2 where they are not visible from the street or neighbouring properties.
A1.1.3	The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this Policy.
A1.1.4	The City may approve development which exceeds the maximum height stated in Table 3-1.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P1.1.1 – P1.1.4.

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TABLE 3-1.1: Building Height – Town Centres

Location	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Leederville	In accordance with the Leederville Masterplan, and where no height is stated the maximum is to be 6 storeys, with the exception of the below requirements.: Vincent Street – 5 storeys Carr Place – 4 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
	Vincent Street – 5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
	Carr Place – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
North Perth	Fitzgerald Street – 6 storeys Angove Street – 4 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
	Angove Street – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Perth	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Mount Lawley / Highgate	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Mount Hawthorn	5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
Glendalough	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m

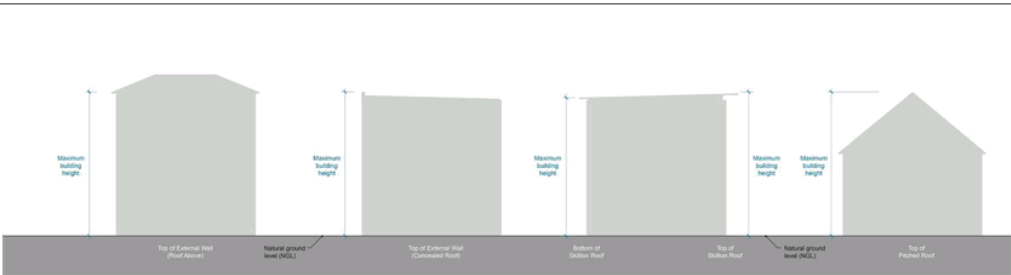


Figure 3-1.1 – Building Height Measurement

1.2 Street Setbacks (Primary and Secondary)**Element Objectives**

- O1.2.1** Development which incorporates design elements that reduce the impact of building bulk.
- O1.2.2** Development which maximises natural light access, natural ventilation and, internal and external privacy.
- O1.2.3** Development which activates and addresses rights of way.
- O1.2.4** Street setbacks that facilitate the provision of useable open space, alfresco dining opportunities and landscaping which contributes to canopy coverage.
- O1.2.5** The setback of the development from the street reinforces and/or complements the character of the street.
- O1.2.6** The street setback provides a clear transition between the public and private realm.
- O1.2.7** The setback of the development enables passive surveillance and outlook to the street.

Acceptable Outcomes

- A1.2.1** Primary and secondary street setback is nil.

1.3 Side and rear setbacks**Element Objectives**

- O1.3.1** Development which incorporates design elements that reduce the impact of building bulk.
- O1.3.2** Development which maximises natural light access, natural ventilation and, internal and external privacy.
- O1.3.3** Setbacks that facilitate the provision of landscaping.
- O1.3.4** Development which activates and addresses rights of way.
- O1.3.5** Building boundary setbacks provide for adequate separation between neighbouring properties.
- O1.3.6** Building boundary setbacks are consistent with the existing streetscape pattern or the desired streetscape character.
- O1.3.7** The setback of development from side and rear boundaries enables retention of existing trees and provision of deep soil areas that reinforce the landscape character of the area, support tree canopy and assist with stormwater management.
- O1.3.8** The setback of development from side and rear boundaries provides a transition between sites with different land uses or intensity of development.

Acceptable Outcomes

- A1.2.1** Development complies with the side and rear setbacks set out in table 1.3a, 1.3b and 1.3c.

Table 1.3a

Neighbourhood	Residential	Built Form	Subject Property							
			R20	R30	R40	R50	R60	R80	R100+	R – AC3
			No R-Code							
		R20	A	A	A	C	C	C	C	C
		R30	A	A	A	B	C	C	C	C
		R40	A	A	A	B	B	C	C	C
		R50	A	A	A	A	B	B	C	C

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	R60	A	A	A	A	A	B	B	B	B
	R80	A	A	A	A	A	D	D	D	D
	R100+	A	A	A	A	A	D	D	D	D
	No R-Code	A	A	A	A	A	D	D	D	D
	Non-Residential Built Form Area	E	E	E	E	E	F	F	F	F

Table 1.3b

	Setback for ground floor, second storey and third storey	Setback for the fourth storey and above
A	Table 1.3c	Table 1.3c
B	4.5m	6.5m
C	6.5m	12.5
D	R Codes Volume 2 Table 2.1	R Codes Volume 2 Table 2.1
E	Nil	Table 1.3c
F	Nil	R Codes Volume 2 Table 2.1

Table 1.3c

Wall length (m)

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	9 or less	10	11	12	13	14	15	16	17	18	19	20	25	Over 25
Wall height (m)														
3.5 or less	1	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
4	1.1	1.5	1.5	1.5	1.5	1.5	1.5	1.6	1.6	1.6	1.6	1.7	1.7	1.8
4.5	1.1	1.5	1.5	1.5	1.5	1.5	1.6	1.7	1.7	1.7	1.7	1.7	1.8	2.0
5	1.1	1.5	1.5	1.5	1.5	1.6	1.7	1.8	1.8	1.8	1.8	1.9	2.0	2.3
5.5	1.2	1.5	1.5	1.5	1.6	1.7	1.8	1.9	1.9	2.0	2.0	2.1	2.3	2.5
6	1.2	1.5	1.5	1.5	1.6	1.8	1.9	2.0	2.0	2.1	2.1	2.2	2.4	2.8
6.5	1.2	1.5	1.5	1.6	1.7	1.9	2.0	2.1	2.1	2.2	2.2	2.3	2.7	3.0
7	1.2	1.5	1.5	1.6	1.8	2.0	2.1	2.2	2.2	2.3	2.4	2.5	2.8	3.3
7.5	1.3	1.5	1.6	1.7	1.9	2.1	2.2	2.3	2.3	2.4	2.5	2.6	3.0	3.5
8	1.3	1.5	1.6	1.7	1.9	2.1	2.2	2.4	2.4	2.5	2.6	2.7	3.1	3.8
8.5	1.4	1.6	1.7	1.8	2.0	2.2	2.3	2.5	2.6	2.7	2.8	2.9	3.3	4.1
9	1.4	1.7	1.7	1.8	2.0	2.3	2.4	2.6	2.7	2.8	2.9	3.0	3.6	4.3
9.5	1.4	1.7	1.8	1.9	2.1	2.4	2.5	2.7	2.8	2.9	3.0	3.2	3.8	4.6
10	1.5	1.8	1.9	2.0	2.2	2.4	2.6	2.8	2.9	3.0	3.1	3.3	4.0	4.8

Development Adjoining Rights of Way

A1.2.2 Where development adjoins a right of way the setback shall be measured from the midpoint of the right of way.

A1.2.3 Development must address adjoining rights of way by providing passive surveillance and openings to the right of way.

1.4 Orientation**Element Objectives**

- O1.4.1** Building layouts respond to the streetscape, topography and site attributes while optimising solar and daylight access within the development.
- O1.4.2** Building form and orientation minimises overshadowing of the habitable rooms, open space and solar collectors of neighbouring properties during mid-winter.

Acceptable Outcomes

- A1.4.1** Buildings are oriented to maximise northern solar access.
- A1.4.2** Development shall be designed such that the shadow cast at midday on 21st June onto any adjoining property does not exceed:
adjoining properties coded R25 and lower – 25% of the site area;
adjoining properties coded R30 – R40 - 35% of the site area;
adjoining properties coded R50 – R60 – 50% of the site area; or
adjoining properties coded R80 or higher – Nil requirements.
- A1.4.3** Where adjoining sites are coded R40 or less, buildings are oriented to maintain 4 hours per day solar access on 21 June for existing solar collectors on neighbouring sites.

1.5 Tree canopy and deep soil areas**Element Objectives**

- O1.5.1** Landscaping is to be designed to reduce the impact of development on adjoining residential zones and public spaces.
- O1.5.2** Landscaping should provide increased urban air quality, tree and vegetation coverage and a sense of open space between buildings.
- O1.5.3** The provision of landscaping that will make an effective and demonstrated contribution to the City's green canopy to reduce the impact of the urban heat island effect.
- O1.5.4** Development that offsets the impact of removing existing trees.
- O1.5.5** Open air car parks should be appropriately landscaped to provide adequate shading and reduce the impact on adjoining properties.
- O1.5.6** Development includes deep soil areas, or other infrastructure to support planting on structures, with sufficient area and volume to sustain healthy plant and tree growth.

Acceptable Outcomes

- A1.5.1** Deep Soil Areas shall be provided in accordance with the following requirements:

Site Area	Minimum Area & Minimum Dimensions	Deep Soil Areas (minimum % of site)
<650m ²	1m ² 1m x 1m	12%
650m ² – 1,500m ²	1m ² 1m x 1m	12%
>1,500m ²	1m ² 1m x 1m	12%

- A1.5.2** The required Deep Soil Area may be reduced to 10% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.

A1.5.3 Planting Areas shall be provided in accordance with the following requirements:

Site Area	Minimum Area & Minimum Dimensions	Planting Area (minimum % of site)
<650m ²	1m ² 1m x 1m	3%
650m ² – 1,500m ²	1m ² 1m x 1m	3%
>1,500m ²	1m ² 1m x 1m	3%

A1.5.4 At least 80%* of the lot boundary setback area at ground level shall be provided as canopy coverage at maturity.

A1.5.5 Evergreen tree species where landscaping is used to reduce the impact of building bulk.

A1.5.6 Deciduous tree species to the north and south of development to allow natural light penetration to the development and adjoining buildings.

A1.5.7 Open air car parks, including access ways, shall have a minimum of 60% canopy coverage at maturity.

A1.5.8 All open-air parking areas shall be landscaped at a minimum rate of one tree per four car bays.

A1.5.9 The perimeter of all open-air parking areas shall be landscaped by a planting strip with a minimum dimension of 1.5m.

A1.5.10 Existing trees shall be retained where they are:
(a) Healthy specimens with ongoing viability; and
(b) Species not included on an applicable weed register

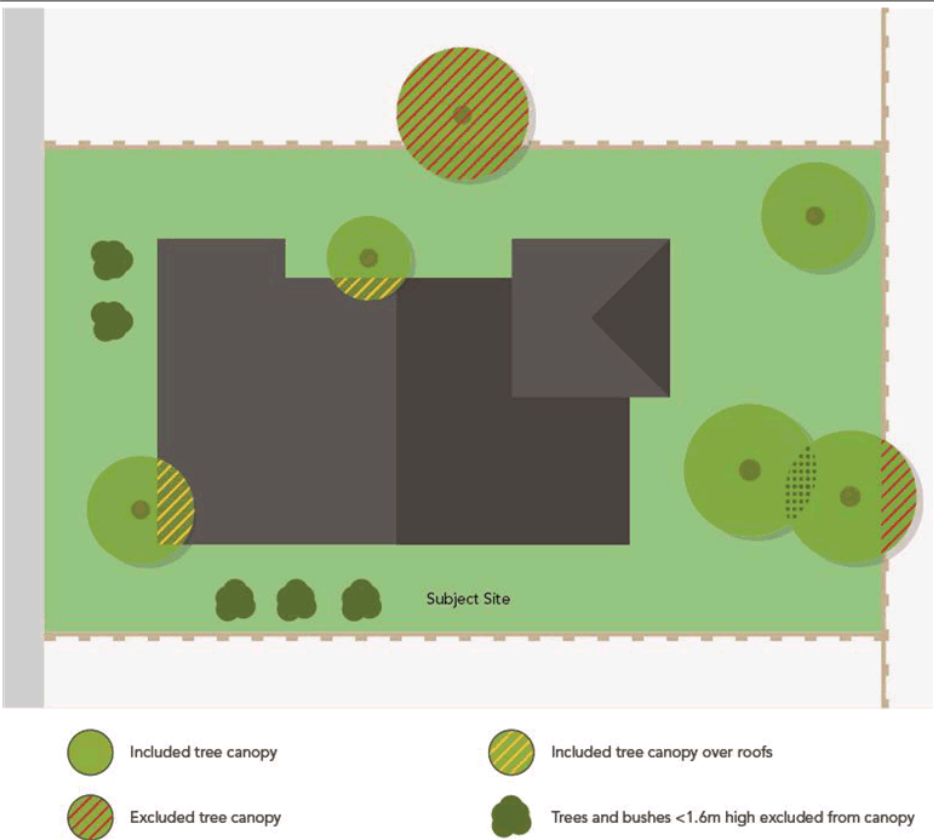
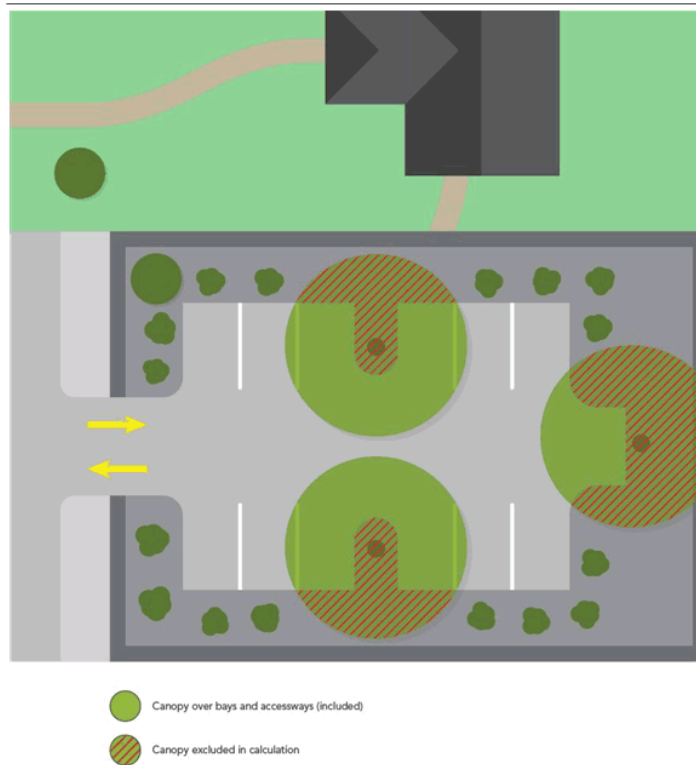


Figure 3-1.5.1

*Figure 3-1.5.2*

1.6 Visual Privacy**Element Objectives**

- O1.6.1** The orientation and design of buildings, windows and balconies minimises direct overlooking of habitable rooms and private outdoor living areas of neighbouring properties.

1.7 Public domain interface**Element Objectives**

- O1.7.1** The transition between the private and public domain enhances the privacy and safety of residents.
- O1.7.2** Street facing development and landscape design retains and enhances the amenity and safety of the adjoining public domain, including the provision of shade.

Acceptable Outcomes

- A1.7.1** Car-parking is not located within the primary street setback; and where car parking is located at ground level behind the street setback it is designed to integrate with landscaping and the building façade (where part of the building).
- A1.7.2** Upper level balconies and/or windows overlook the street and public domain areas.
- A1.7.3** Balustrading includes a mix of visually opaque and visually permeable materials to provide residents with privacy while maintaining casual surveillance of adjoining public domain areas.
- A1.7.4** Changes in level between the ground floor level of the building and the street level average less than 1m and do not exceed 1.2m.
- A1.7.5** Front fencing includes visually permeable materials above 1.2m and the average height of solid walls or fences to the street does not exceed 1.2m.
- A1.7.6** Fencing, landscaping and other elements on the frontage are designed to eliminate opportunities for concealment.
- A1.7.7** Bins are not located within the primary street setback or in locations visible from the primary street.
- A1.7.8** Services and utilities that are located in the primary street setback are integrated into the design of the development and do not detract from the amenity and visual appearance of the street frontage.

1.8 Pedestrian access and entries**Element Objectives**

- O1.8.1** Entries and pathways are universally accessible, easy to identify and safe for residents and visitors.
- O1.8.2** Entries to the development connect to and address the public domain with an attractive street presence.

Acceptable Outcomes

- A1.8.1** Pedestrian access which is identifiable from the street and visitor car parking areas and other public areas.
- A1.8.2** Access for pedestrians which directly fronts the primary street.
- A1.8.3** Developments shall distinguish residential entries from retail and other commercial entries.
- A1.8.4** Internal ground floor level to be at grade.
- A1.8.5** Design of balustrades to be integrated into the design of the development.
- A1.8.6** Ramps are not to exceed 50% of the active frontage.

1.9 Vehicle Access**Element Objectives**

- O1.9.1** Vehicle access points are designed and located to provide safe access and egress for vehicles and to avoid conflict with pedestrians, cyclists and other vehicles.
- O1.9.2** Vehicle access points are designed and located to reduce visual impact on the streetscape.

Acceptable Outcomes

- A1.9.1** Service areas and vehicular access shall be:
(a) Taken from the rear laneway or secondary street in the first instances; or
(b) Collocated where taken from the primary street to maximise the width of active frontages.
- A1.9.2** Access to on-site car parking spaces to be provided:
where available, from a right of way available for lawful use to access the relevant lot and which is adequately paved and drained from the property boundary to a dedicated road;
from a secondary street where no right of way exists; or
from the primary street frontage where no secondary street or right-of way exists.
- A1.9.3** Access to a right of way is required to be trafficable to the nearest dedicated road. The cost to upgrade a right of way to make it trafficable is to be borne by the applicant.
- A1.9.4** Where vehicular access is provided from a street, all vehicles are required to enter and exit the site in forward gear.
- A1.9.5** Roller shutters and screens are to be visually permeable.
- A1.9.6** Onsite parking for a development shall be located beneath or at the rear of buildings.
- A1.9.7** Where on-site parking provided for customer/client use is not directly visible from the adjacent street, adequate signage is to be provided to promote public knowledge of and direction to the car park. This signage is to comply with the requirements of the City's Policy relating to Signs and Advertising.
- A1.9.8** Existing trees must not be removed to provide for vehicle access.
- A1.9.9** Each lot is to provide a maximum of one crossover.

- A1.9.10** The maximum width of a single crossover is 3m. The maximum width of a double crossover is 5m.
- A1.9.11** The location of crossovers should maximize the ability to provide on-street car parking spaces.
- A1.9.12** Where a crossover meets a pedestrian path there must be clear communication of pedestrian priority.
- A1.9.13** Crossovers must be setback a minimum of 0.5m from the lot boundary.

1.10 Car and bicycle parking**Element Objectives**

- O1.10.1** Parking and facilities are provided for cyclists and other modes of transport.
- O1.10.2** Car parking provision is appropriate to the location, with reduced provision possible in areas that are highly walkable and/or have good public transport or cycle networks and/or are close to employment centres.
- O1.10.3** Car parking is designed to be safe and accessible.
- O1.10.4** The design and location of car parking minimises negative visual and environmental impacts on amenity and the streetscape.

Acceptable Outcomes

- A1.10.1** Uncovered at-grade parking is planted with trees at a minimum rate of one tree per four bays to achieve canopy coverage of 60% of the site.
- A1.10.2** Secure, undercover bicycle parking is provided in accordance with Local Planning Policy 7.7.1 – Non-Residential Development Parking Requirements.
- A1.10.3** Parking is provided for cars and motorcycles in accordance with Local Planning Policy 7.7.1 – Non-Residential Development Parking Requirements.
- A1.10.4** Car parking and vehicle circulation areas are designed in accordance with AS2890.1 (as amended).
- A1.10.5** Car parking areas are not located within the street setback and are not visually prominent from the street.

1.11 Managing the impact of noise**Element Objectives**

- O1.11.1** The siting and layout of development minimises the impact of external noise sources and provides appropriate acoustic privacy to dwellings on adjoining properties.
- O1.11.2** Acoustic treatments are used to reduce sound transfer within and between dwellings and to reduce noise transmission from external noise sources.

Acceptable Outcomes

- A1.11.1** Ground floor tenancies within new commercial buildings shall provide an acoustic report which demonstrates that they are capable of attenuating noise for a range of land uses including high intensity uses such as small bars, gyms and restaurants.
- A1.11.2** Potential noise sources such as garage doors, driveways, service areas, plant rooms, building services, mechanical equipment, active communal open space and refuse bins are not located adjacent to the external wall of dwellings on adjoining properties.

1.12 Universal Design

Element Objectives

- O1.12.1** Development includes universal design features providing options for people living with disabilities or limited mobility and/or to facilitate ageing in place.

1.13 Façade design**Element Objectives**

- O1.13.1** Building façades incorporate proportions, materials and design elements that respect and reference the character of the local area.
- O1.13.2** Building façades express internal functions and provide visual interest when viewed from the public realm.

Acceptable Outcomes

- A1.13.1** Commercial Development which fronts the public realm shall provide active frontages including glazing, openings and operable windows to ensure activity, interaction and surveillance of the street.
- A1.13.2** Commercial Ground floor spaces shall have a maximum width of 9m and a finished floor level to finished ceiling level height of a minimum of 3.5m.
- A1.13.3** Commercial Development shall provide a protective awning over the pedestrian footpath.
- A1.13.4** Development shall identify key design elements in the local area and streetscape through an Urban Design Study and integrate and acknowledge these design elements whilst avoiding the use of faux materials.
- A1.13.5** Commercial Building facades visible from the public realm shall:
- (a) Incorporate a variety of materials, colours, textures and depths;
 - (b) Not present a blank, monotonous, repetitious or dominant building treatment;
 - (c) Incorporate architectural or functional elements integrated into the façade, rather than cosmetic or superficial attachments to the building;
 - (d) Incorporate vertical articulation by using tall and narrow façade treatments;
 - (e) Incorporate articulation such as doorways, windows, seating ledges, sills, stall risers and other detailing;
 - (f) Minimise use of shallow framings systems and thin wall/glazing systems;
 - (g) Integrate fire boosters, mail boxes and external fixtures into the building design or screen them so they appear as part of the façade; and
 - (h) Integrate signage into the design and articulation on the ground floor.
- A1.13.6** Where provided, doorways shall have a depth between 500mm and 1.5m to clearly articulate entrances to commercial buildings and tenancies.

- A1.13.7** Where provided, windows, seating ledges, sills, stall risers and other detailing shall have a minimum depth of 300mm.
- A1.13.8** Where provided, stall risers shall be a minimum height of 450mm.
- A1.13.9** Commercial Ground floor glazing and/or tinting shall have a minimum of 70% visible light transmission to provide unobscured visibility.
- A1.13.10** Security measures shall be:
- (a) Located and installed internally behind the glazing line or recessed between elements in the façade such as columns or doorway recesses; and
 - (b) Transparent and visually permeable to allow views inside the building and enable internal light sources to be seen from the street.
- A1.13.11** Where provided, awnings shall be:
- (a) A minimum height of 3.5m and a maximum height of 4m from finished floor level to the underside of the awning to accommodate under awning signage;
 - (b) Be setback a minimum of 600mm from the face of kerb;
 - (c) Respond to any existing and/or proposed verge trees;
 - (d) Respond to the height, depth and form of existing awnings on the subject and adjoining buildings;
 - (e) Respond to the slope of the site; and
 - (f) Integrated with the design of the façade.
- A1.13.12** Verandahs and collonades are only permitted where they are constructed wholly within the lot boundaries of development site.

1.14 Roof design**Element Objectives**

- O1.14.1** Roof forms are well integrated into the building design and respond positively to the street.
- O1.14.2** Where possible, roof spaces are utilised to add open space, amenity, solar energy generation or other benefits to the development.

Acceptable Outcomes

- A1.14.1** The roof form or top of building complements the façade design and desired streetscape character.
- A1.14.2** Building services located on the roof are not visually obtrusive when viewed from the street.
- A1.14.3** Useable roof space is safe for users and minimises overlooking and noise impacts on adjoining sites.
- A1.14.4** Flat roof structures that are not visible from the street or adjacent properties shall have a maximum solar absorptance rating of 0.4.
- A1.14.5** Pitched roof structures or roof structures that are visible from the street or adjacent properties shall have a maximum solar absorptance rating of 0.5, unless a suitable alternative is identified in the Urban Design Study.

1.15 Landscape design**Element Objectives**

- O1.15.1** Landscape design enhances streetscape and pedestrian amenity, and improves the visual appeal of the development.
- O1.15.2** Plant selection is appropriate to the orientation, exposure and site conditions and is suitable for the adjoining uses.
- O1.15.3** Landscape design includes water efficient irrigation systems and where appropriate incorporates water harvesting or water re-use technologies.
- O1.15.4** Landscape design is integrated with the design intent of the architecture including its built form, materiality, key functional areas and sustainability strategies.

Acceptable Outcomes

- A1.15.1** Submission of a landscape plan prepared by a registered landscape architect. This is to include a species list and irrigation plan.
- A1.15.2** Landscaped areas are located and designed to support mature, shade-providing trees.
- A1.15.3** Building services fixtures are integrated in the design of the landscaping and are not visually intrusive.

1.16 Adaptive reuse**Element Objectives**

O1.16.1 New additions to existing buildings are contemporary and complementary and do not detract from the character and scale of the existing building.

Acceptable Outcomes

A1.16.1 New additions to buildings that have heritage value do not mimic the existing form and are clearly identifiable from the original building.

A1.16.2 New additions complement the existing building by referencing and interpreting the scale, rhythm and materiality of the building.

1.17 Environmentally Sustainable Design**Element Objectives**

O1.17.1 Development that considers the whole of life environmental impact of the building and incorporates measures to reduce this impact.

O1.17.2 Development which reduces the impact of solar radiation in summer and increase passive solar gain in winter.

Acceptable Outcomes

A1.17.1 Development shall incorporate:

- (a) Site planning principles that maximise solar passive design opportunities for both summer and winter;
- (b) Natural ventilation and daylight penetration to reduce energy consumption;
- (c) Daytime areas with north-facing glazing to allow passive solar heating during winter;
- (d) Openable windows and/or ceiling fans to habitable rooms or occupied spaces that allow natural and cross ventilation;
- (e) Recovery and re-use of rainwater, storm water, grey water and/or black water for non-potable water applications; and
- (f) Climate moderation devices to reduce passive solar gain in summer and increase passive solar gain in winter.

A1.17.2 Development achieves one of the environmental performance standards shown in the below table, or their equivalent*.

Accepted Rating Framework	Specification / Compliance Requirements	Minimum Requirement to be Achieved	Evidence
Green Building Council of Australia's <i>Green Star</i> Rating System	Current Design and As-Built rating tool	5 star Green Star rating	Preliminary Sustainable Design Report prepared by a Green Star Accredited Professional using the current Green Star Design and As-Built rating tool scorecard to demonstrated eligibility for 5 star Green Star rating.
Life Cycle Assessment in Accordance with EN15978-	System Boundary must include all Life Cycle Modules (A1-2, B1-7,	Global Warming Potential and Net Fresh Water Use	Independently Reviewed EN15978 Compliant

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<i>Sustainability of construction works – Assessment of environmental performance of buildings – Calculation method.</i>	C1-4 and D) in addition to non-integrated energy (plug loads)	Performance Reduction as per Table *** below.	Target Setting LCA with a 20% factor of safety applied to improvement strategies
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Building Type	Performance Requirement	
	Global Warming Potential	Net Fresh Water Use
Residential (BCA Class 1-3)	< 2,250 kgCO ₂ e / Occupant / Year (50% saving against Perth statistical average residences)	< 57m ³ / Occupant / Year (50% saving against Perth statistical average residences)
Commercial Office (BCA Class 5)	< 104 kgCO ₂ e / m ² Net Lettable Area / year (30% saving against Perth statistical average office)	< 1.25 m ³ / m ² Net Lettable Area / year (25% saving against Perth statistical average office)
All Other Building Types	30% saving against Code-Compliant design	25% saving against Code-Compliant design

*The City accepts sustainability assessment frameworks and mechanisms that are nationally or internationally recognised, compliant with applicable Australian/international standards and subject to oversight by a certifying body.

1.18 Water management and conservation**Element Objectives**

- O1.18.1** Minimise potable water consumption throughout the development.
- O1.18.2** Stormwater runoff from small rainfall events is managed on-site, wherever practical.
- O1.18.3** Reduce the risk of flooding so that the likely impacts of major rainfall events will be minimal.

Acceptable Outcomes

- A1.18.1** Stormwater runoff generated from small rainfall events is managed on-site.
- A1.18.2** Provision of an overland flow path for safe conveyance of runoff from major rainfall events to the local stormwater drainage system.

1.19 Waste Management**Element Objectives**

O1.19.1 Waste storage facilities minimise negative impacts on the streetscape and building entries.

O1.19.2 Waste to landfill is minimised by providing safe and convenient bins and information for the separation and recycling of waste.

Acceptable Outcomes

A1.19.1 Sufficient area is provided to accommodate the required number of bins for the separate storage of green waste, recycling and general waste.

A1.19.2 Communal waste storage is sited and designed to be screened from view from the street.

A1.19.3 Where there is an increased waste requirement, an area for waste management must be provided in accordance with the City's Waste Requirement Guidelines.

1.20 Utilities**Element Objectives**

- O1.20.1** The site is serviced with power, water, gas (where available), wastewater, fire services and telecommunications/broadband services that are fit for purpose and meet current performance and access requirements of service providers.
- O1.20.2** All utilities are located such that they are accessible for maintenance and do not restrict safe movement of vehicles or pedestrians.
- O1.20.3** Utilities, such as distribution boxes, power and water meters are integrated into design of buildings and landscape so that they are not visually obtrusive from the street.

Acceptable Outcomes

- A1.20.1** Utilities that must be located within the front setback, adjacent to the building entry or on visible parts of the roof are integrated into the design of the building, landscape and/or fencing such that they are accessible for servicing requirements but not visually obtrusive.

SECTION 2 – ACTIVITY CORRIDOR**2.1 Building Height****Element Objectives**

- O2.1.1** Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.
- O2.1.2** Development that incorporates design measures to reduce the impact of height, bulk and scale on neighbouring properties and the streetscape.
- O2.1.3** Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
- O2.1.4** Design which minimises overlooking and overshadowing where it impacts residential development.
- O2.1.5** The height of development responds to the desired future scale and character of the street and local area, including existing buildings that are unlikely to change.
- O2.1.6** The height of buildings within a development responds to changes in topography.
- O2.1.7** Development incorporates articulated roof design.
- O2.1.8** The height of development recognises the need for daylight and solar access to adjoining and nearby residential development.

Acceptable Outcomes

- A2.1.1** Development that is consistent with the building heights provided in Table 3-2.1 and Figure 2.
- A2.1.2** External fixtures may extend beyond the maximum height in Table 3-2.1 and Figure 2 where they are not visible from the street or neighbouring properties.
- A2.1.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this Policy.
- A2.1.4** The City may approve development which exceeds the maximum height stated in Table 3-2.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P1.1.1 – P1.1.4.

TABLE 3-2.1: Building Height – Activity Corridors

Activity Corridors	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Oxford Street	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Scarborough Beach Road	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Fitzgerald Street (Newcastle St to Vincent St)	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Fitzgerald Street (Vincent St to Raglan Road)	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Newcastle Street	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Beaufort Street (Newcastle St to Lincoln St)	5 storeys	16.4m	17.4m	16.4m	17.4m	19.4m
Beaufort Street (Lincoln St to Walcott St)	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m

2.2 Activity Corridor Development Requirements

- 2.2.1** All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1.

SECTION 3 – MIXED USE**3.1 Building Height****Element Objectives**

- O3.1.1** Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.
- O3.1.2** Development that incorporates design measures to reduce the impact of height, bulk and scale on neighbouring properties and the streetscape.
- O3.1.3** Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
- O3.1.4** Design which minimises overlooking and overshadowing where it impacts residential development.
- O3.1.5** The height of development responds to the desired future scale and character of the street and local area, including existing buildings that are unlikely to change.
- O3.1.6** The height of buildings within a development responds to changes in topography.
- O3.1.7** Development incorporates articulated roof design.
- O3.1.8** The height of development recognises the need for daylight and solar access to adjoining and nearby residential development.

Acceptable Outcomes

- A3.1.1** Development that is consistent with the building heights provided in Table 3-3.1 and Figure 2.
- A3.1.2** External fixtures may extend beyond the maximum height in Table 3-3.1 and Figure 2 where they are not visible from the street or neighbouring properties.
- A3.1.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this Policy.
- A3.1.4** The City may approve development which exceeds the maximum height stated in Table 3-3.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P1.1.1 – P1.1.4.

TABLE 3-3.1: Building Height – Mixed Use Areas

Mixed Use Area	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Area bounded by Newcastle St, Loftus St, Mitchell Freeway and Charles St	7 storeys	22.6m	23.6m	22.6m	23.6m	25.6m
Area bounded by Carr St, Charles St, Newcastle St and Fitzgerald St	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Between Fitzgerald St and William St	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Brisbane St						
Bulwer St						
Charles St						
Green St						
Walcott St						
William St						
Between William St and Lord St						
North Perth	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
Area bounded by Summers St, Lord St, Graham Farmer Freeway and East						

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Parade (Except where defined below)						
Edward St South	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m
Edward St North	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Caversham South	8 storeys	25.7m	26.7m	25.7m	26.7m	28.7m
Caversham North	10 storeys	31.9m	32.9m	31.9m	32.9m	34.9m
Cheriton South	10 storeys	31.9m	32.9m	31.9m	32.9m	34.9m
Cheriton North	12 storeys	38.1m	39.1m	38.1m	39.1m	41.1m

3.2 Mixed Use Development Requirements

3.2.1 All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1.

SECTION 4 – TRANSIT CORRIDOR**4.1 Building height****Element Objectives**

- O4.1.1** Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.
- O4.1.2** Development that incorporates design measures to reduce the impact of height, bulk and scale on neighbouring properties and the streetscape.
- O4.1.3** Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
- O4.1.4** Design which minimises overlooking and overshadowing where it impacts residential development.
- O4.1.5** The height of development responds to the desired future scale and character of the street and local area, including existing buildings that are unlikely to change.
- O4.1.6** The height of buildings within a development responds to changes in topography.
- O4.1.7** Development incorporates articulated roof design.
- O4.1.8** The height of development recognises the need for daylight and solar access to adjoining and nearby residential development.

Acceptable Outcomes

- A4.1.1** Development that is consistent with the building heights provided in Table 3-4.1 and Figure 2.
- A4.1.2** External fixtures may extend beyond the maximum height in Table 3-4.1 and Figure 2 where they are not visible from the street or neighbouring properties.
- A4.1.3** The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this Policy.
- A4.1.4** The City may approve development which exceeds the maximum height stated in Table 3-4.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Design Principles P1.1.1 – P1.1.4.

TABLE 3-4.1: Building Height – Transit Corridors

Transit Corridors	Maximum No. of Storeys	Maximum Building Height				
		Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
Loftus Street	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Charles Street: Between Newcastle St and Carr St						
West side and lots fronting Newcastle	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
East side	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Charles Street (Carr Street to Walcott St)	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R80 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Fitzgerald Street (Angove St to Walcott St)	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
Walcott Street	3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
Lord Street	6 storeys	19.5m	20.5m	19.5m	20.5m	22.5m
East Parade	R60 – 3 storeys	10.2m	11.2m	10.2m	11.2m	13.2m
	R100 – 4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m
William Street	4 storeys	13.3m	14.3m	13.3m	14.3m	16.3m

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Transit Corridors	Maximum No. of Storeys	Top of external wall (roof above)	Maximum Building Height			
			Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
(Vincent St to Walcott St)						

4.2 Street Setbacks (Primary and Secondary)**Element Objectives**

- O4.2.1** Development which incorporates design elements that reduce the impact of building bulk.
- O4.2.2** Development which maximises natural light access, natural ventilation and, internal and external privacy.
- O4.2.3** Development which activates and addresses rights of way.
- O4.2.4** Street setbacks that facilitate the provision of useable open space, alfresco dining opportunities and landscaping which contributes to canopy coverage.
- O4.2.5** The setback of the development from the street reinforces and/or complements the character of the street.
- O4.2.6** The street setback provides a clear transition between the public and private realm.
- O4.2.7** The setback of the development enables passive surveillance and outlook to the street.

Acceptable Outcomes

- A4.2.1** Primary and secondary street setback of 4m for development on sites coded R40.
- A4.2.2** Primary and secondary street setback of 4m for development on sites coded R50 and above and sites which do not have an R Code.
- A4.2.3** Primary and secondary street setback for the third storey and above must incorporate articulation and the use of varying colours and materials which minimise the bulk and scale of the building on the streetscape.

4.3 Landscaping**Element Objectives**

- O4.3.1** Landscaping is to be designed to reduce the impact of development on adjoining residential zones and public spaces.
- O4.3.2** Landscaping should provide increased urban air quality, tree and vegetation coverage and a sense of open space between buildings.
- O4.3.3** The provision of landscaping that will make an effective and demonstrated contribution to the City's green canopy to reduce the impact of the urban heat island effect.
- O4.3.4** Development that offsets the impact of removing existing trees.
- O4.3.5** Open air car parks should be appropriately landscaped to provide adequate shading and reduce the impact on adjoining properties.
- O4.3.6** Development includes deep soil areas, or other infrastructure to support planting on structures, with sufficient area and volume to sustain healthy plant and tree growth.

Acceptable Outcomes

- A4.3.1** Deep Soil Areas shall be provided in accordance with the following requirements:

Site Area	Minimum Area & Minimum Dimensions	Deep Soil Areas (minimum % of site)
<650m ²	1m ² 1m x 1m	12%
650m ² – 1,500m ²	1m ² 1m x 1m	12%
>1,500m ²	1m ² 1m x 1m	12%

A4.3.2 The required Deep Soil Area may be reduced to 10% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.

A4.3.3 A minimum of 50% of the front setback shall be provided as soft landscaping.

A4.3.4 Planting Areas shall be provided in accordance with the following requirements:

Site Area	Minimum Area & Minimum Dimensions	Planting Area (minimum % of site)
<650m ²	1m ² 1m x 1m	3%
650m ² – 1,500m ²	1m ² 1m x 1m	3%
>1,500m ²	1m ² 1m x 1m	3%

A4.3.5 At least 30% of the site area is provided as canopy coverage at maturity.

A4.3.6 Open air car parks, including access ways, shall have a minimum of 60% canopy coverage at maturity.

A4.3.7 All open-air parking areas shall be landscaped at a minimum rate of one tree per four car bays.

A4.3.8 The perimeter of all open-air parking areas shall be landscaped by a planting strip with a minimum dimension of 1.5m.

A4.3.9 Existing trees shall be retained where they are:
(a) Healthy specimens with ongoing viability; and
(b) Species not included on an applicable weed register

4.4 Street Walls and Fences**Element Objectives**

O4.4.1 Front fences and walls which enable surveillance and enhance streetscape.

O4.4.2 Development which adds interest to the street and minimises blank facades.

Acceptable Outcomes

- A4.4.1** Street walls, fences and gates are to be of a style and materials compatible with those of the development on site and/or walls, fences and gates of the immediate surrounding area excluding fibre cement.
- A4.4.2** Street walls, fences and gates within the primary street setback area, including along the side boundaries, and front walls and fences to new development fronting a right of way or dedicated road to be as follows:
- (a) Maximum height of 1.8 metres above the natural ground level;
 - (b) Maximum height of piers with decorative capping to be 2 metres above the natural ground level;
 - (c) Maximum height of solid portion of wall to be 1.2 metres above adjacent footpath level and are to be visually permeable above 1.2 metres;
 - (d) Posts and piers are to have a maximum width 400 millimetres and a maximum diameter of 500 millimetres; and
 - (e) The distance between piers should not be less than the height of the piers except where pedestrian gates are proposed.
- A4.4.3** Street walls, fences and gates to secondary streets, behind the primary street setback line, or walls, fences and gates to the primary streets where those streets are district distributor roads to be as follows:
- (a) Solid portion of wall may increase to a maximum height of 1.8 metres above adjacent footpath level provided that the wall or fence has at least two significant appropriate design features (to the satisfaction of the City of Vincent) to reduce the visual impact – for example, significant open structures, recesses and/or planters facing the road at regular intervals and varying materials, finishes and/or colours; and
 - (b) Maximum height of piers with decorative capping to be 2 metres above adjacent footpath level.
- A4.4.4** Exposed boundary walls visible to the street are to incorporate the following design features:
- Indentations;
 - Varying heights;
 - Varying materials, colours and textures; or
 - Public artwork.

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- A4.4.5** Any proposed vehicular or pedestrian entry gates shall be visually permeable.
- A4.4.6** Walls and fences on the side boundaries, only within the primary street setback area, constructed from metal sheeting are permitted provided they meet all other requirements relating to height, provide adequate sight lines and are not a side boundary fence facing a secondary street.

4.5 Transit Corridor Development Requirements

4.5.1 All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1, 1.2 and 1.15.

SECTION 5 – RESIDENTIAL**5.1 Building Height**

Element Objectives	
O5.1.1	Height that is situated on a site to minimise amenity impacts to neighbouring properties and the streetscape.
O5.1.2	Development that incorporates design measures to reduce the impact of height, bulk and scale on neighbouring properties and the streetscape.
O5.1.3	Development that considers and responds to the natural features of the site and requires minimal excavation/fill.
O5.1.4	Design which minimises overlooking and overshadowing where it impacts residential development.
O5.1.5	The height of development responds to the desired future scale and character of the street and local area, including existing buildings that are unlikely to change.
O5.1.6	The height of buildings within a development responds to changes in topography.
O5.1.7	Development incorporates articulated roof design.
O5.1.8	The height of development recognises the need for daylight and solar access to adjoining and nearby residential development.
Acceptable Outcomes	
A5.1.1	Development that is consistent with the building heights provided in Table 3-5.1 and Figure 2.
A5.1.2	External fixtures may extend beyond the maximum height in Table 3-5.1 and Figure 2 where they are not visible from the street or neighbouring properties.
A5.1.3	The lowest point of a skillion roof is to be a maximum of the 'Top of external wall (roof above)' height stated in Part 1 of this Policy.
A5.1.4	The City may approve development which exceeds the maximum height stated in Table 3-5.1 where it is stipulated in an approved Local Development Plan, Activity Centre Plan or Structure Plan and addresses Element Objectives O5.1.1 – O5.1.8.

TABLE 3-5.1: Building Height – Residential Area

Maximum No. of Storeys as per Figure 2	Maximum Building Height				
	Top of external wall (roof above)	Top of external wall (concealed roof)	Bottom of skillion roof	Top of skillion roof	Top of pitched roof
1 storey	3m	4m	3m	4m	6m
2 storeys	6m	7m	6m	7m	9m
3 storeys	9m	10m	9m	10m	12m
4 storeys	12m	13m	12m	13m	15m
5 storeys	16m	17m	16m	17m	18m

5.2 Street Setback (Primary and Secondary)**Element Objectives**

- O5.2.1** Development which incorporates design elements that reduce the impact of building bulk.
- O5.2.2** Development which maximises natural light access, natural ventilation and, internal and external privacy.
- O5.2.3** Development which activates and addresses rights of way.
- O5.2.4** Street setbacks that facilitate the provision of useable open space, alfresco dining opportunities and landscaping which contributes to canopy coverage.
- O5.2.5** The setback of the development from the street reinforces and/or complements the character of the street.
- O5.2.6** The street setback provides a clear transition between the public and private realm.
- O5.2.7** The setback of the development enables passive surveillance and outlook to the street.
- O5.2.8** Development which incorporates predominant features of the landscape.
- O5.2.9** Development which clearly distinguishes all upper floors from lower storeys to clearly distinguish the parts of the dwelling.
- O5.2.10** Development which minimises the visual bulk of the buildings through articulation of larger wall lengths and the stepping back of upper storeys walls.

Acceptable Outcomes

- A5.2.1** The primary street setback is to be calculated by averaging the setback of the five adjoining properties on both side lot boundaries of the proposed development.
- A5.2.2** For the purpose of averaging, the primary street setback is to be measured from the street alignment to the nearest wall of the building excluding porches, verandahs, carports and balconies.
- A5.1.3** Walls on upper floors setback a minimum of 2 metres behind the street setback.
- A5.1.4** Balconies on upper floors setback a minimum of 1 metre behind the ground floor setback.

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- | | |
|---------------|--|
| A5.2.4 | The above setback distances also apply to development which has an elevation to a road which does not intersect or adjoin the primary or secondary streets. |
| A5.2.5 | Primary and secondary street setback for the third storey and above must incorporate articulation and the use of varying colours and materials which minimise the bulk and scale of the building on the streetscape. |

5.3 Landscaping**Element Objectives**

- O5.3.1** Landscaping is to be designed to reduce the impact of development on adjoining residential zones and public spaces.
- O5.3.2** Landscaping should provide increased urban air quality, tree and vegetation coverage and a sense of open space between buildings.
- O5.3.3** The provision of landscaping that will make an effective and demonstrated contribution to the City's green canopy to reduce the impact of the urban heat island effect.
- O5.3.4** Development that offsets the impact of removing existing trees.
- O5.3.5** Open air car parks should be appropriately landscaped to provide adequate shading and reduce the impact on adjoining properties.
- O5.3.6** Development includes deep soil areas, or other infrastructure to support planting on structures, with sufficient area and volume to sustain healthy plant and tree growth.

Acceptable Outcomes

- A5.3.1** Deep Soil Areas shall be provided in accordance with the following requirements:

Site Area	Minimum Area & Minimum Dimensions	Deep Soil Areas (minimum % of site)
<650m ²	1m ² 1m x 1m	12%
650m ² – 1,500m ²	1m ² 1m x 1m	12%
>1,500m ²	1m ² 1m x 1m	12%

- A5.3.2** The required Deep Soil Area may be reduced to 10% where mature trees, which contribute to 30% or more of the required canopy coverage, are retained.

A5.3.3 Planting Areas shall be provided in accordance with the following requirements:

Site Area	Minimum Area & Minimum Dimensions	Planting Area (minimum % of site)
<650m ²	1m ² 1m x 1m	3%
650m ² – 1,500m ²	1m ² 1m x 1m	3%
>1,500m ²	1m ² 1m x 1m	3%

A5.3.4 At least 30% of the site area is provided as canopy coverage at maturity.

A5.3.5 Open air car parks, including access ways, shall have a minimum of 60% canopy coverage at maturity.

A5.3.6 All open-air parking areas shall be landscaped at a minimum rate of one tree per four car bays.

A5.3.7 The perimeter of all open-air parking areas shall be landscaped by a planting strip with a minimum dimension of 1.5m.

A5.3.8 Existing trees shall be retained where they are:
(a) Healthy specimens with ongoing viability; and
(b) Species not included on an applicable weed register

5.4 Setback of Garages and Carports**Element Objectives**

- O5.4.1** The setting back of carports and garages to maintain clear sight lines along the street and not to detract from the streetscape or appearance of buildings; or obstruct views of buildings from the street and vice versa.
- O5.4.2** Development which preserves and enhances the visual character of the existing streetscape by considering building bulk, scale, setbacks and design.

Acceptable Outcomes

- A5.4.1** Garages are to be setback a minimum of 500mm behind the building line.
- A5.4.2** Garages and carports must match the existing building's predominant colour, scale and materials and must be complementary and subservient to the building.
- A5.4.3** Carports must provide an unobstructed view to the building from the street. Gates or doors to carports are required to be visually permeable.
- A5.4.4** Carports shall allow light and ventilation to the building.
- A5.4.5** The total width of any carport within the street setback area is not to exceed 50 per cent of the frontage (including strata lots) of the lot or six metres whichever is the lesser.

5.5 Garage Width**Element Objectives**

O5.5.1 Development which preserves and enhances the visual character of the existing streetscape.

Acceptable Outcomes

A5.5.1 Garages which are 50% or less than the width of the lot.

A5.5.2 For lots which are 10 metres wide or less, a garage is to be a maximum width of 4 metres.

5.6 Development on Rights of Way**Element Objectives**

O5.6.1 Development which appropriately addresses rights of way to facilitate spaces which are welcoming and safe.

O5.6.2 Development which provides suitable space for safe vehicle movement in the right of way.

Acceptable Outcomes

A5.6.1 Development on rights of ways is to be in accordance with the Western Australian Planning Commission's Planning Bulletin 33 Rights of Way or Laneways in Established Areas – Guidelines.

Orientation

A5.6.2 Where a building's primary street frontage is a right of way, or where no primary street or secondary street frontage exists, it is to be oriented to address the right of way using clearly defined entry points and major openings as if it were a primary street.

Setbacks

A5.6.3 Development must be setback 1 metre from a right of way. If the site is subject to right of way widening, the setback is measured from the new lot boundary after the widening is applied.

Access

A5.6.4 Access to a right of way is required to be trafficable to the nearest dedicated road. The cost to upgrade a right of way to make it trafficable is to be borne by the applicant.

5.7 Residential Area Development Requirements

- 5.7.1** All development requirements of Section 1 – Town Centres applies with the exception of Clause 1.1, 1.2 and 1.15.
- 5.7.2** Volume 3, Section 4, Clause 4.4 applies to development in the Residential Built Form Area.

APPENDIX 1 – DESIGN PRINCIPLES

1. Context and character

Good design responds to and enhances the distinctive characteristics of a local area, contributing to a sense of place.

The distinctive characteristics of a local area include its prominent natural and built features, the overall qualities of its built environment, significant heritage elements, as well as social, economic and environmental conditions.

Good design responds intelligently and sensitively to these factors, interpreting rather than replicating existing features and enhancing the identity of the area, including the adjacent sites, streetscape and neighbourhood.

Good design also responds positively to the intended future character of an area. It delivers appropriate densities that are consistent with projected population growth, and are able to be sustained by existing or proposed transport, green networks and social infrastructure.

Consideration of local context is particularly important for sites in established areas that are undergoing change or identified for change.

2. Landscape quality

Good design recognises that together landscape and buildings operate as an integrated and sustainable system, within a broader ecological context.

Good landscape design protects existing environmental features and ecosystems, enhances the local environmental context and regenerates lost or damaged ecosystem functionality, where possible. It balances consideration of environmental factors such as water and soil management, ground conditions, solar access, microclimate, tree canopy, habitat creation and preservation of green infrastructure with social, cultural and economic conditions.

Good landscape design employs hard and soft landscape and urban design elements to create external environments that interact in a considered manner with built form, resulting in well-integrated, engaging places that contribute to local identity and streetscape character.

Good landscape design provides optimal levels of external amenity, functionality and weather protection while ensuring social inclusion, equitable access and respect for the public and neighbours. Well-designed landscape environments ensure effective establishment and facilitate ease of long term management and maintenance.

3. Built form and scale

Good design provides development with massing and height that is appropriate to its setting and successfully negotiates between existing built form and the intended future character of the local area.

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Good design achieves an appropriate built form by responding to its site, as well as surrounding built fabric, in a considered manner, mitigating negative impacts on the amenity of neighbouring properties and public realm.

Good design considers the orientation, proportion, composition, and articulation of built form elements, to deliver an outcome that is suited to the building's purpose, defines the public domain, respects important views, contributes to the character of adjacent streetscapes and parks, and provides a good pedestrian environment at ground level.

4. Functionality and build quality

Good design meets the needs of users efficiently and effectively, balancing functional requirements to deliver optimum benefit and performing well over the full life-cycle.

Designing functional environments involves ensuring that spaces are suited to their intended purpose and arranged to facilitate ease of use and good relationships to other spaces. Good design provides flexible and adaptable spaces, to maximise utilisation and accommodate appropriate future requirements without the need for major modifications.

Good build quality is achieved by using good quality and robust materials, finishes, elements and systems. Projects should be well-detailed, resilient to the wear and tear expected from its intended use, and easy to upgrade and maintain.

Good design accommodates required services in an integrated manner, without detriment to the overall design outcome.

5. Sustainability

Good design optimises the sustainability of the built environment, delivering positive environmental, social and economic outcomes.

Sustainable buildings incorporate effective environmental design measures that respond to local climate and site conditions by providing optimal orientation, shading, thermal performance and natural ventilation. Reducing reliance on energy intensive systems for heating and cooling improves energy efficiency, minimises resource consumption and reduces operating costs over the whole life-cycle of the building.

Other sustainable design measures may also include the use of sustainable construction materials, recycling, material re-use, harnessing of renewable energy sources, appropriate water management and/or adaptive re-use of existing buildings. Good design considers the ease with which sustainability initiatives can be maintained and managed.

Sustainable landscape and urban design adheres to established principles of water-sensitive urban design, and minimises negative impacts on existing natural features and ecological processes, as well as facilitating green infrastructure at all project scales.

6. Amenity

Good design optimises internal and external amenity for occupants, visitors and neighbours, contributing to living and working environments that are comfortable and productive.

Appendix 1 – Design Principles

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Good design provides internal rooms and spaces that are adequately sized, comfortable and easy to use and furnish, with good levels of daylight, natural ventilation and outlook. Delivering good levels of internal amenity also includes the provision of appropriate levels of acoustic protection and visual privacy, adequate storage space, and ease of access for all.

Well-designed external spaces provide welcoming, comfortable environments that are universally accessible, with effective shade as well as protection from unwanted wind, rain, traffic and noise. Good design mitigates negative impacts on surrounding buildings and places, including overshadowing, overlooking, glare, reflection and noise.

7. Legibility

Good design results in buildings and places that are legible, with clear connections and memorable elements to help people find their way around.

Good urban design makes places easy to navigate, with recognisable routes, intersections and landmarks while being well-connected to existing movement networks. Sightlines are well-considered, with built form responding to important vantage points.

Within buildings, legibility is served by a clear hierarchy of spaces with identifiable entries and clear wayfinding. Externally, buildings and spaces should allow their purpose to be easily understood, and provide clear distinction between public and private spaces.

Good design provides environments that are logical and intuitive, at the scale of building, site and precinct.

8. Safety

Good design optimises safety and security, minimising the risk of personal harm and supporting safe behaviour and use.

Safety and security is promoted by maximising opportunities for passive surveillance of public and communal areas and providing clearly defined, well-lit, secure access points that are easily maintained and appropriate to the purpose of the development.

Good design provides a positive, clearly defined relationship between public and private spaces and addresses the need to provide optimal safety and security both within a development and to adjacent public realm.

Designing for safety also involves mitigating any potential occupational safety and health hazards that might result from a development during its construction, maintenance and operation.

9. Community

Good design responds to local community needs as well as the wider social context, providing buildings and spaces that support a diverse range of people and facilitate social interaction.

Good design encourages social engagement and physical activity in an inclusive manner, enabling stronger communities and improved public health outcomes.

Appendix 1 – Design Principles

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CITY OF VINCENT PLANNING AND BUILDING POLICY MANUAL
POLICY NO. 7.1.1
BUILT FORM

In residential developments, good design achieves a mix of dwelling types, providing housing choice for different demographics, living needs and household budgets, and facilitating ageing-in-place.

10. Aesthetics

Good design is the product of a skilled, judicious design process that results in attractive and inviting buildings and places that engage the senses.

Good design resolves the many competing challenges of a project into an elegant and coherent outcome. A well-conceived design concept informs all scales, from the articulation of building form through to materiality and detail, enabling sophisticated, integrated responses to the complexities of local built form and landscape character.

In assessing design quality, consideration of aesthetics should not be limited to style and appearance; it should also account for design integrity, creativity, conceptual coherence and cultural relevance in a proposal.

APPENDIX 2 – STREETSCAPE CHARACTER

Housing Type	Key Features		
	Roof Form	Materials	Exterior Feature
Late Colonial Georgian Dwellings (pre-1890)	Low pitched roof.	Corrugated iron roofing. Painted wall finish or smooth textured walling of stucco, painted white or yellow. Simple, double-hung sash windows.	Verandah erected around the dwelling, often to the rear skillion, to protect the principal rooms from the penetrating sun. Verandah usually a lower pitched extension of the main roof.
Queen Anne Federation (1895-1915)	Dominant roof form, often broken by false gables.	Roof capped by terracotta frilled ridges. Red brick walls (though some built of stone or timber). Leadlight windows. Use of subtle colours such as cream and brown or cream and red.	Verandah under the main roof, featuring decorative timber work and floor tiles.
Federation Bungalows (1890-1915)	Simple hipped roofs often with a protecting gable. Witches hats, gablets and various gables feature in grander bungalows. Roofs are usually steeply sloped with wide eaves.	Tuck pointed brick material for the dwelling. Roofs are covered in terracotta tiles or painted corrugated metal. Round bullseye to multi-paned and coloured casement sash window, often with leadlights featuring Australian flora or fauna.	Verandah ornamented with turned timber or cast iron columns, balustrades and a frieze.

Appendix 2 – Streetscape Character**180**

CITY OF VINCENT PLANNING AND BUILDING POLICY MANUAL
POLICY NO. 7.1.1
BUILT FORM

Weatherboard Dwelling (1900-1930s)	Simple hipped roofs.	Modest structure of simple design with no ornamentation. Corrugated iron roofs. Weatherboard walls, painted in whites, creams and green colours. Timber sash windows placed in the middle of each room often flanking a central doorway.	Full width verandah or no verandah.
Inter-War Californian Bungalows (1920s-1945)	Low-pitched roofs emphasising horizontal lines.	Lower portion of wall brown brick, roughcast or pebble dash render or weatherboard walls. Upper portion of wall rendered and painted in off-white, beige or cream. Roofs are covered in terracotta tiles. Windows either double hung or casement, with panes in small rectangles or diamonds or featuring Art Nouveau or Arts and Crafts patterned stained glass.	Deep, shady verandah under a low pitch or flat roof. Verandah posts are heavily built.
Post War Bungalows (1945-1960s)	Hipped/gabled roofs with a low-lying gable of around 30 degrees. Flat roofs introduced in more contemporary designs.	Plain red brick or fibro walls and chimneys with minimal exterior decorative elements. Plain timber or aluminium windows. Cement roof tiles.	Rectangular or L-shaped house, with minimal or no verandah.




Appendix 2 – Streetscape Character

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7 COMMUNITY AND BUSINESS SERVICES

7.2 AUTHORISATION OF EXPENDITURE FOR THE PERIOD 1 JUNE 2019 TO 30 JUNE 2019

TRIM Ref: D19/99603
Author: Nikki Hirrill, Accounts Payable Officer
Authoriser: John Corbellini, A/Executive Director Community and Business Services
Attachments:

1. Payments by EFT, BPAY and Payroll June 19 [↓](#) 
2. Payments by Cheque June 19 [↓](#) 
3. Payments by Direct Debit June 19 [↓](#) 

RECOMMENDATION:

That Council RECEIVES the list of accounts paid under delegated authority for the period 1 June 2019 to 30 June 2019 as detailed in Attachments 1, 2 and 3 as summarised below:

EFT and BPAY payments, including payroll	\$6,260,258.34
Cheques	\$7,527.58
Direct debits, including credit cards	\$246,743.42
Total payments for June 2019	\$6,514,529.34

PURPOSE OF REPORT:

To present to Council the expenditure and list of accounts paid for the period 1 June 2019 to 30 June 2019.

BACKGROUND:

Council has delegated to the Chief Executive Officer (Delegation No. 1.14) the power to make payments from the City's Municipal and Trust funds. In accordance with *Regulation 13(1) of the Local Government (Financial Management) Regulations 1996* a list of accounts paid by the Chief Executive Officer is to be provided to Council, where such delegation is made.

The list of accounts paid must be recorded in the minutes of the Council Meeting.

DETAILS:

The Schedule of Accounts paid for the period 1 June 2019 to 30 June 2019, covers the following:

FUND	CHEQUE NUMBERS/ BATCH NUMBER	AMOUNT
Municipal Account (Attachment 1, 2 and 3)		
EFT and BPAY Payments	2413 - 2426	\$5,045,895.46
Payroll by Direct Credit	June 2019	\$1,214,362.88
Sub Total		\$6,260,258.34
Cheques		
Cheques	82519 - 82525	\$8,894.62
Cancelled cheques	81005, 81091, 81149, 81192, 81287, 81417, 81457, 81497, 81531, 81630, 81702, 81758, 81765, 81772, 81844, 81845, 81876, 81887 and 81942	-\$1,367.04

Sub Total	\$7,527.58
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Direct Debits, including credit cards

Lease Fees	\$385.00
Loan Repayments	\$149,998.93
Bank Charges – CBA	\$88,929.72
Credit Cards	\$7,429.77
Sub Total	\$246,743.42

Total Payments	\$6,514,529.34
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CONSULTING/ADVERTISING:

Not applicable.

LEGAL/POLICY:

Regulation 12(1) and (2) of the *Local Government (Financial Management) Regulations 1996* refers, i.e. -

12. *Payments from municipal fund or trust fund, restrictions on making*

- (1) *A payment may only be made from the municipal fund or the trust fund —*
 - *if the local government has delegated to the CEO the exercise of its power to make payments from those funds — by the CEO; or*
 - *otherwise, if the payment is authorised in advance by a resolution of Council.*
- (2) *Council must not authorise a payment from those funds until a list prepared under regulation 13(2) containing details of the accounts to be paid has been presented to Council.*

Regulation 13(1) and (3) of the *Local Government (Financial Management) Regulations 1996* refers, i.e. -

13. *Lists of Accounts*

- (1) *If the local government has delegated to the CEO the exercise of its power to make payments from the municipal fund or the trust fund, a list of accounts paid by the CEO is to be prepared each month showing for each account paid since the last such list was prepared -*
 - *the payee's name;*
 - *the amount of the payment;*
 - *the date of the payment; and*
 - *sufficient information to identify the transaction.*
- (3) *A list prepared under sub regulation (1) is to be —*
 - *presented to Council at the next ordinary meeting of Council after the list is prepared; and*
 - *recorded in the minutes of that meeting.*

RISK MANAGEMENT IMPLICATIONS:

Low: Management systems are in place which establish satisfactory controls, supported by the internal and external audit functions. Financial reporting to Council increases transparency and accountability.

STRATEGIC IMPLICATIONS:

This is in keeping with the City's *Strategic Community Plan 2018-2028*:

Innovative and Accountable

Our resources and assets are planned and managed in an efficient and sustainable manner.

Our community is aware of what we are doing and how we are meeting our goals.

Our community is satisfied with the service we provide.

We are open and accountable to an engaged community.

SUSTAINABILITY IMPLICATIONS:

Not applicable.

FINANCIAL/BUDGET IMPLICATIONS:

All municipal fund expenditure included in the list of payments is in accordance with Council's annual budget.

Creditors Report - Payments by EFT, BPAY and Payroll 01/06/19 to 30/06/19			
<i>Date</i>	<i>Payee</i>	<i>Description</i>	<i>Amount</i>
04/06/2019	The Trustee for Fergco Family Super Fund	Superannuation	\$ 2,138.48
04/06/2019	The Trustee for Guild Retirement Fund	Superannuation	\$ 442.95
04/06/2019	SuperChoice Services Pty Ltd	Superannuation	\$ 208,184.84
11/06/2019	Australian Services Union	Payroll deduction	\$ 310.80
11/06/2019	Child Support Agency	Payroll deduction	\$ 831.49
11/06/2019	L.G.R.C.E.U.	Payroll deduction	\$ 20.50
11/06/2019	City of Vincent	Payroll deduction - staff contributions to vehicles	\$ 1,352.67
11/06/2019	City of Vincent Staff Social Club	Payroll deduction	\$ 486.00
11/06/2019	Depot Social Club	Payroll deduction	\$ 80.00
11/06/2019	Health Insurance Fund of WA	Payroll deduction	\$ 260.60
11/06/2019	Selectus Employee Benefits Pty Ltd	Payroll deduction	\$ 1,416.60
11/06/2019	Australian Taxation Office	Payroll deduction	\$ 189,157.50
11/06/2019	M Slater	Fitness instructor fees	\$ 602.90
11/06/2019	PerthGrub	Instagram influencer - Beaufort Street campaign	\$ 250.00
11/06/2019	BOS Civil Pty Ltd	Streetscape improvement - North Perth Common (4th claim)	\$ 208,916.05
11/06/2019	Rhys Scott	Graphic design services - various locations	\$ 1,500.00
11/06/2019	Geared Construction Pty Ltd	Refurbishment - Mount Hawthorn Lesser Hall (3rd claim)	\$ 90,209.33
11/06/2019	A Haebich	Library presentation - Close the Gap	\$ 350.00
11/06/2019	Oz Washroom	Washroom consumables - Admin	\$ 1,259.95
11/06/2019	V Hansen	Bush medicine workshop - Reconciliation week	\$ 1,500.00
11/06/2019	Maxima Group Training	School based trainees - Apprenticeship Cert II in business	\$ 2,397.35
11/06/2019	Mobile Dustless Blasting Services Pty Limited	Line marking removal - Emmerson Street	\$ 357.50
11/06/2019	Jansen Audio	Audio system upgrade - Loftus Recreation Centre	\$ 1,936.00
11/06/2019	Expo Signage and Digital Pty Ltd	Printing services - various departments	\$ 303.60
11/06/2019	Productology Pty Ltd	Supply of dashboard protectors	\$ 1,210.00
11/06/2019	Leytan Family Trust	Fitness instructor fees	\$ 420.00
11/06/2019	Objective Corporation Limited	Software licences and maintenance - Trapeze	\$ 7,379.01
11/06/2019	C Henderson	Artist fee - Platform art project	\$ 500.00
11/06/2019	C de Sira	Artist fee - Platform art project	\$ 500.00
11/06/2019	Tim Keevil	Artist fee - Platform art project	\$ 500.00
11/06/2019	C Corr	Fitness instructor fees	\$ 120.00
11/06/2019	A Austin	Fitness instructor fees	\$ 113.68
11/06/2019	Trophy Choice	Supply of trophy and medals - Youth events	\$ 137.75
11/06/2019	L Vlatko	Artist fee - Platform art project	\$ 500.00
11/06/2019	Reconciliation Western Australia Inc	Annual membership renewal	\$ 1,880.98

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Date	Payee	Description	Amount
11/06/2019	B MacIntyre	Refund for Seniors bus outing - cancelled by COV	\$ 39.00
11/06/2019	K Drummond	Rates refund - overpayment	\$ 656.52
11/06/2019	J L Jamieson	Refund for return of bokashi bin	\$ 25.00
11/06/2019	QTM Pty Ltd	Traffic management services - Fairfield Street	\$ 1,870.00
11/06/2019	NoiseNet Operations Pty Ltd	Trial of noise monitoring device	\$ 550.00
11/06/2019	The Trustee for RAW Family Trust	Plant repairs and maintenance	\$ 10,296.00
11/06/2019	D MacLennan	Expense reimbursement - purchase of catering and coffee	\$ 143.30
11/06/2019	C McPhillips	Part refund of Beatty Park Leisure Centre fees	\$ 108.00
11/06/2019	George and Gina	Artist fee - painting transformer box	\$ 500.00
11/06/2019	R E Stevenson	Part refund of Beatty Park Leisure Centre fees	\$ 136.42
11/06/2019	P Byrne	Part refund of Beatty Park Leisure Centre fees	\$ 97.61
11/06/2019	L Trettel	Crossover subsidy	\$ 640.00
11/06/2019	C A Sweeney	Refund for Seniors bus outing - cancelled by COV	\$ 39.00
11/06/2019	The Owners of Beaufort Central	Refund of planning application fee	\$ 147.00
11/06/2019	St Vincent De Paul Society (WA) Incorporated	Refund of archive search fees	\$ 140.00
11/06/2019	Villa Plunge Pools	Refund of infrastructure bond	\$ 2,000.00
11/06/2019	Broadway Homes Pty Ltd	Refund of infrastructure bond	\$ 3,000.00
11/06/2019	M Hales	Refund of infrastructure bond	\$ 3,000.00
11/06/2019	M Williams	Refund of infrastructure bond	\$ 3,000.00
11/06/2019	N Jacobs	Cultural kickstart grant - Local film making Q and A session	\$ 5,000.00
11/06/2019	M R Bredmeyer	Reimbursement from heritage assistance fund	\$ 5,000.00
11/06/2019	Legacy Developments Pty Ltd	Refund of infrastructure bond	\$ 5,000.00
11/06/2019	Aline Brick Paving	Brick paving services - various locations	\$ 38,244.25
11/06/2019	Australia Post (Agency Commission)	Commission charges	\$ 7.68
11/06/2019	Chadson Engineering Pty Ltd	Pool repair supplies - BPLC	\$ 107.80
11/06/2019	Cobblestone Concrete	Concrete intersection works - various streets	\$ 38,733.09
11/06/2019	Landgate	Land valuation - 245 Vincent Street	\$ 990.00
11/06/2019	Programmed Integrated Workforce Ltd	Temporary staff - Waste	\$ 5,026.65
11/06/2019	Line Marking Specialists	Line marking services - various locations	\$ 5,489.00
11/06/2019	LO-GO Appointments	Temporary staff - Waste	\$ 1,653.91
11/06/2019	Bucher Municipal Pty Ltd	Plant repairs and maintenance	\$ 383.96
11/06/2019	Major Motors Pty Ltd	Truck repairs and maintenance	\$ 448.80
11/06/2019	Mayday Earthmoving	Bobcat, truck and mini excavator hire - various locations	\$ 13,466.75
11/06/2019	Midland Brick Company	Supply of brick pavers	\$ 992.14
11/06/2019	Mindarie Regional Council	Processable and non processable waste	\$ 240,982.96
11/06/2019	Pets Meat Suppliers	Pet food supplies for dog pound	\$ 350.00
11/06/2019	Pro Turf Services	Plant repairs and maintenance	\$ 2,875.18
11/06/2019	SAS Locksmiths	Key cutting and lock maintenance service - various locations	\$ 18.00
11/06/2019	Telstra Corporation Ltd	Telephone and internet charges - various locations	\$ 767.14

Date	Payee	Description	Amount
11/06/2019	Turfmaster Facility Management	Turf maintenance and weed control - various locations	\$ 10,378.50
11/06/2019	W.A. Hino Sales & Service	Plant repairs and maintenance	\$ 1,663.80
11/06/2019	Water Corporation	Water charges - various locations	\$ 8,952.34
11/06/2019	The Royal Life Saving Society Western Australia Inc	Watch around water wristbands - BPLC	\$ 660.00
11/06/2019	Sam's Repairs & Maintenance	Sign installation and maintenance - various locations	\$ 2,442.00
11/06/2019	Toolmart Australia Pty Ltd	Hardware supplies - Depot	\$ 145.00
11/06/2019	Intersectional Linemarkers Pty Ltd	Purchase of temporary reflective line marking tape	\$ 1,041.81
11/06/2019	KS Black Pty Ltd	Bore static water level readings - various locations	\$ 12,226.50
11/06/2019	Elliotts Irrigation Pty Ltd	Reticulation repairs and maintenance - various locations	\$ 1,160.93
11/06/2019	Domus Nursery	Supply of plants	\$ 2,841.69
11/06/2019	Award Contracting	Locating services - Robertson Park	\$ 517.00
11/06/2019	RPG Auto Electrics	Plant repairs and maintenance	\$ 746.63
11/06/2019	West Australian Newspapers Limited	Newspapers for resale - BPLC	\$ 228.12
11/06/2019	Orbit Health & Fitness Solutions Pty Ltd	Gym equipment supplies - BPLC	\$ 1,320.00
11/06/2019	City of Stirling	Green waste tipping fees	\$ 15,104.60
11/06/2019	Winc Australia Pty Ltd	Office supplies and consumables	\$ 1,881.75
11/06/2019	Western Resource Recovery Pty Ltd	Grease trap maintenance - Loftus Recreation Centre	\$ 128.70
11/06/2019	Woodlands Distributors & Agencies Pty Ltd	Compostable dog waste bags	\$ 9,896.70
11/06/2019	Chittering Valley Worm Farm	Worms and castings	\$ 550.00
11/06/2019	Modern Teaching Aids Pty Ltd	Purchase of educational toys - Library	\$ 36.25
11/06/2019	Trisley's Hydraulic Services Pty Ltd	Pool equipment maintenance - BPLC	\$ 1,137.90
11/06/2019	G Burgess	Distribution services - Name the Lanes flyers	\$ 408.00
11/06/2019	The Children's Book Council Of Australia (WA Branch)	Library supplies - promotional materials	\$ 187.00
11/06/2019	Kerbing West	Kerbing services - various locations	\$ 7,039.62
11/06/2019	Ken Spillman	Speaker fee - Swimming in WA	\$ 349.80
11/06/2019	Academy Services WA Pty Ltd	Cleaning services - various locations	\$ 10,254.68
11/06/2019	Blackwoods	Hardware supplies - Depot	\$ 670.63
11/06/2019	Tom Lawton - Bobcat Hire	Bobcat hire and tipping fees for verges	\$ 10,838.30
11/06/2019	Flexi Staff Pty Ltd	Temporary staff - various departments	\$ 22,984.76
11/06/2019	Dunbar Services (WA) Pty Ltd	Café canopy clean - BPLC	\$ 297.00
11/06/2019	Professional Tree Surgeons	Tree pruning and removal services - various locations	\$ 10,345.50
11/06/2019	Optus Billing Services Pty Ltd	Telephone and internet charges - various locations	\$ 12,588.30
11/06/2019	Totally Workwear	Uniform supplies - parks and gardens	\$ 509.17
11/06/2019	Mt Hawthorn Primary School Parent & Citizens Association Inc.	Donation - Amazing Race	\$ 500.00
11/06/2019	Bolinda Publishing Pty Ltd	Library books	\$ 57.42
11/06/2019	ATF Services Pty Ltd	Security fence - Cheriton Street	\$ 144.21
11/06/2019	Earlybirds Playgroup Inc	Donation towards plumbing expenses	\$ 500.00
11/06/2019	Protector Fire Services Pty Ltd	Fire equipment maintenance - various locations	\$ 522.50
11/06/2019	DiskBank Pty Ltd	Supply of CD folders - Library	\$ 340.34

Date	Payee	Description	Amount
11/06/2019	Tamala Park Regional Council	Account for GST for sale of land	\$ 2,245.33
11/06/2019	CVP Electrical Co	Pool pump maintenance - BPLC	\$ 672.10
11/06/2019	Belgravia Health & Leisure Group Pty Ltd	Netball court hire - staff competition	\$ 720.00
11/06/2019	Massey's Herd	Milk supplies	\$ 642.60
11/06/2019	Lion Dairy and Drinks (LD&D) Australia Pty Ltd	Milk supplies	\$ 414.24
11/06/2019	PFD Food Services Pty Ltd	Beatty Park Café supplies	\$ 1,913.05
11/06/2019	Boral Construction Materials Group Limited	Concrete supplies - various locations	\$ 521.46
11/06/2019	Devco Builders	Maintenance and repairs - various locations	\$ 25,845.55
11/06/2019	Australian HVAC Services Pty Ltd	Airconditioning maintenance and repairs - various locations	\$ 3,821.95
11/06/2019	KP Bardon	Expense reimbursement - gift vouchers for rewards & recognition	\$ 300.00
11/06/2019	MizCo	Air conditioning repairs and maintenance - DSR	\$ 5,698.00
11/06/2019	Scarboro Motors Pty Ltd	Vehicle service and repairs	\$ 1,064.98
11/06/2019	Repeat Plastics WA	Supply of free standing bench seat	\$ 715.53
11/06/2019	McIntosh & Son WA	Plant repairs and maintenance	\$ 957.25
11/06/2019	Joe Crisafio Kia	Vehicle service and repairs	\$ 425.00
11/06/2019	Workpower Incorporated	Catering services - Council meetings	\$ 255.00
11/06/2019	Action Asbestos Removals	Asbestos removal services	\$ 429.00
11/06/2019	Green Building Council of Australia	Annual membership renewal	\$ 2,695.00
11/06/2019	Truck Centre (WA) Pty Ltd	Truck repairs and maintenance	\$ 9,055.28
11/06/2019	Bridgestone Australia LTD	Tyre services	\$ 801.20
11/06/2019	APARC	Meter maintenance and purchase of 4 parking meters	\$ 56,430.00
11/06/2019	JBA Surveys	Surveying services - Newcastle Street	\$ 638.00
11/06/2019	Atom Supply	Supply of absorbent granules for liquid spills	\$ 849.16
11/06/2019	Hudson Global Resources (Aust) Pty Ltd	Recruitment fee - HR	\$ 12,650.02
11/06/2019	C Wood Distributors	Beatty Park Café supplies	\$ 299.20
11/06/2019	FE Technologies Pty Ltd	Annual software maintenance - Circulation Assist	\$ 495.00
11/06/2019	Steann Pty Ltd	Collect and dispose of illegally dumped goods	\$ 1,320.00
11/06/2019	Department of Transport	Annual jetty fee	\$ 40.70
11/06/2019	Leederville Cameras	Purchase of cameras - Building Services	\$ 319.90
11/06/2019	LGISWA	Staff training - Workforce risk forum	\$ 418.00
11/06/2019	Briskleen Supplies	Toiletry and cleaning products - BPLC	\$ 1,889.62
11/06/2019	Regents Commercial	Variable outgoings - Barlee Street car park	\$ 6,988.26
11/06/2019	Imagesource	Printing services - BPLC	\$ 1,590.60
11/06/2019	Compu-Stor	Records digitisation and off-site storage	\$ 126.13
11/06/2019	Yoshino Sushi	Beatty Park Café supplies	\$ 300.30
11/06/2019	Centropak	Beatty Park Café supplies	\$ 984.23
11/06/2019	Anna Cappelletta	Fitness instructor fees	\$ 482.32
11/06/2019	Soundtown	Repairs to PA system - BPLC	\$ 66.00
11/06/2019	Advancetag Pty Ltd	Gate service - BPLC	\$ 385.00

Date	Payee	Description	Amount
11/06/2019	Bent Logic	RFID cards and wristbands for swim school	\$ 1,993.75
11/06/2019	North Perth Community Garden	Community precinct group annual grant	\$ 323.00
11/06/2019	Transsoft Solutions	Licence renewal - AutoTurn software	\$ 660.00
11/06/2019	Richard Harrison	Bee removal services - various locations	\$ 450.00
11/06/2019	Allerding & Associates	Professional fees - SAT appeal	\$ 26,865.64
11/06/2019	Rawlicious Delights	Beatty Park Café supplies	\$ 169.40
11/06/2019	Synergy	Electricity and gas charges - various locations	\$ 39,171.15
11/06/2019	CS Legal	Debt recovery services	\$ 6,768.80
11/06/2019	Marketforce Pty Ltd	Advertising services - various departments	\$ 4,818.00
11/06/2019	Wilson Security	Security services - various locations	\$ 2,453.00
11/06/2019	Michael Page International Australia Pty Limited	Temporary staff - IT	\$ 3,306.38
11/06/2019	Leo Heaney Pty Ltd	Street tree services - various locations	\$ 73,987.05
11/06/2019	MESA Australia	Plant room maintenance - BPLC	\$ 1,997.60
11/06/2019	Allpipe Technologies	CCTV drainage inspection works - various locations	\$ 1,722.53
11/06/2019	OSHGROUP Pty Ltd	Fitness for work assessments	\$ 1,728.00
11/06/2019	3 Monkeys Audiovisual Pty Ltd	Supply of handheld portable microphone - Library	\$ 369.00
11/06/2019	Yoga Inspiration	Fitness instructor fees	\$ 663.19
11/06/2019	Charmaine Amanda Magness	Fitness instructor fees	\$ 454.72
11/06/2019	Courtney Hahipene	Fitness instructor fees	\$ 180.87
11/06/2019	Property Council of Australia	Staff training - Build to rent	\$ 500.00
11/06/2019	Corsign WA Pty Ltd	Sign supplies - various locations	\$ 1,555.57
11/06/2019	Innovations Catering	Catering services - various meetings	\$ 1,141.50
11/06/2019	Landmark Products Pty Ltd	Supply of general waste bins	\$ 21,604.00
11/06/2019	Wheeler's Books	Library books	\$ 17.24
11/06/2019	AWB Building Co.	Plumbing services - various locations	\$ 3,624.69
11/06/2019	Tree Amigos	Street trees and parks pruning/removal - various locations	\$ 1,626.72
11/06/2019	Boyan Electrical Services	Electrical services - North Perth Lesser Hall	\$ 2,699.40
11/06/2019	Domain Catering Pty Ltd	Catering services - Urban mobility advisory group	\$ 200.00
11/06/2019	Design Right Pty Ltd	Design services - various locations	\$ 4,455.00
11/06/2019	Brownes Foods Operations Pty Ltd	Beatty Park Café supplies	\$ 1,140.89
11/06/2019	Six Sigma Phoenix	Seniors computer workshop - Library	\$ 600.00
11/06/2019	Unilever Australia Ltd	Beatty Park Café supplies	\$ 428.57
11/06/2019	Yolande Gomez	Fitness instructor fees	\$ 90.00
11/06/2019	Bowden Tree Consultancy	Arboricultural services - various locations	\$ 1,716.00
11/06/2019	Nightlife Music Pty Ltd	Crowd DJ - BPLC	\$ 568.09
11/06/2019	Australia Post	Postage charges	\$ 4,905.30
11/06/2019	My Media Intelligence Pty Ltd	Media monitoring	\$ 694.72
11/06/2019	Gymcare	Gym equipment repairs and maintenance	\$ 1,262.80
11/06/2019	Tyres 4U Pty Ltd	Tyre replacements and maintenance	\$ 3,950.65

Date	Payee	Description	Amount
11/06/2019	Bladon WA Pty Ltd	Supply of promotional material - Share, learn and connect	\$ 4,236.65
11/06/2019	SJR Civil Consulting Pty Ltd	Consultancy services - Local roads program	\$ 968.00
11/06/2019	Atmos Foods Pty Ltd	Beatty Park Café supplies	\$ 237.60
11/06/2019	KP Electric (Australia) Pty Ltd	Electrical services - various locations	\$ 6,486.88
11/06/2019	New Dimension Mechanical Services	Cool room and freezer room maintenance - BPLC	\$ 1,237.50
11/06/2019	GTA Consultants (WA) Pty Ltd	Traffic study - North Perth precinct report	\$ 1,883.75
11/06/2019	Stott Hoare	Supply of computer monitor	\$ 225.50
11/06/2019	Perth Marquees	Hire of marquees and heaters - North Perth Common opening	\$ 730.00
11/06/2019	Allflow Industrial	Repairs to oil/water separator	\$ 309.05
11/06/2019	Securus	Security services - various locations	\$ 3,971.25
11/06/2019	Fiona Oakshott	Fitness instructor fees	\$ 56.84
11/06/2019	Danica Zuks Photography	Photographic services - Platform art project	\$ 420.00
11/06/2019	The Fabric Printer	Supply of custom t-shirts - Vincent youth network	\$ 520.30
11/06/2019	Vigilant Traffic Management Group Pty Ltd	Traffic management services - various locations	\$ 8,735.08
11/06/2019	Signbiz WA Pty Ltd	Sign supplies - various locations	\$ 968.00
11/06/2019	EcoAdvance	Post installation inspection of solar PV systems	\$ 3,197.70
11/06/2019	Daniel Bullen	Fitness instructor fees	\$ 435.78
11/06/2019	Allwest Plant Hire Australia Pty Ltd	Drainage works - Newcastle/Oxford Streets	\$ 34,861.86
11/06/2019	Radiant Earth Creations	COV composting workshops	\$ 1,013.60
11/06/2019	Annabel Smith	Presentation fee - The plotting triangle workshop	\$ 550.00
11/06/2019	Mental Health First Aid Australia	Annual membership renewal	\$ 110.00
11/06/2019	K Roach	Fitness instructor fees	\$ 341.04
11/06/2019	Bindi Bindi Dreaming	Speaker fee - Aboriginal youth workshops	\$ 550.00
11/06/2019	V McGuire	Smoking ceremony - Kaya Wandjoo festival	\$ 1,250.00
11/06/2019	City Motors	Vehicle service and repairs	\$ 186.45
11/06/2019	L F Media	Supply of signage - Pop up play park and Platform art project	\$ 1,430.00
11/06/2019	Cormac Cashen	Fitness instructor fees	\$ 170.52
11/06/2019	Department of Planning Lands and Heritage	Amended DAP fees	\$ 241.00
11/06/2019	Nexus Home Improvements	Refund of infrastructure bond	\$ 3,000.00
11/06/2019	Flick Anticimex Pty Ltd	Pest control services - various locations	\$ 6,045.49
11/06/2019	AMS Installation & Maintenance Solutions WA	Upgrade of main boiler - BPLC progress claim	\$ 35,191.24
11/06/2019	Australian Swim Schools Management Pty Ltd	ASSA conference attendance - BPLC staff	\$ 396.00
11/06/2019	Grand Toyota	Purchase of vehicle	\$ 30,550.95
11/06/2019	B Fiebig	Fitness instructor fees	\$ 113.68
11/06/2019	M Humich	Fitness instructor fees	\$ 227.36
11/06/2019	S Patchett	Fitness instructor fees	\$ 315.00
11/06/2019	Far Lane	Professional fee - Economic development strategy	\$ 8,230.20
11/06/2019	Peak Consultants Pty Ltd	Lighting audit - Avenue and Frame Court car parks	\$ 2,623.50
11/06/2019	Matt O'Mara	Developing an information management strategy workshop	\$ 750.00

Date	Payee	Description	Amount
13/06/2019	Matt O'Mara	Developing an information management strategy workshop	\$ 750.00
13/06/2019	Mercer Spectrum	Superannuation	\$ 6,778.30
14/06/2019	Cr J Topelberg	Council meeting fee	\$ 1,916.66
14/06/2019	Cr R Harley	Council meeting fee	\$ 1,916.66
14/06/2019	Mayor E Cole	Mayoral allowance	\$ 7,797.33
14/06/2019	Cr D Loden	Council meeting fee	\$ 1,916.66
14/06/2019	Cr S Gontaszewski	Deputy Mayoral allowance	\$ 3,223.49
14/06/2019	Cr J Murphy	Council meeting fee	\$ 1,916.66
14/06/2019	Cr J Hallett	Council meeting fee	\$ 1,916.66
14/06/2019	Cr A Castle	Council meeting fee	\$ 1,916.66
14/06/2019	Cr J Fotakis	Council meeting fee	\$ 1,916.66
19/06/2019	Australian Taxation Office	Payroll deduction	\$ 191,460.00
19/06/2019	Australian Services Union	Payroll deduction	\$ 310.80
19/06/2019	Child Support Agency	Payroll deduction	\$ 831.49
19/06/2019	L.G.R.C.E.U.	Payroll deduction	\$ 20.50
19/06/2019	City of Vincent	Payroll deduction - staff contributions to vehicles	\$ 1,336.69
19/06/2019	City of Vincent Staff Social Club	Payroll deduction	\$ 480.00
19/06/2019	Depot Social Club	Payroll deduction	\$ 80.00
19/06/2019	Health Insurance Fund of WA	Payroll deduction	\$ 260.60
19/06/2019	Selectus Employee Benefits Pty Ltd	Payroll deduction	\$ 1,416.60
19/06/2019	T Patrucco	Expense reimbursement - two jute rugs for North Perth Common launch	\$ 178.00
19/06/2019	Cleantex Pty Ltd	Washroom consumables - Admin	\$ 686.40
19/06/2019	S Jamieson	Expense reimbursement - catering for TravelSmart breakfast	\$ 81.90
19/06/2019	Kymberley Ritchie & Denae Brown	6 week wellness challenge for BPLC members	\$ 2,360.00
19/06/2019	A Bosich	Refund for Seniors bus outing - cancelled by COV	\$ 32.00
19/06/2019	N Shah	Expense reimbursement - CPA membership	\$ 735.00
19/06/2019	Alinta Energy	Electricity and gas charges - various locations	\$ 66.80
19/06/2019	Department of Fire and Emergency Services (DFES)	Emergency services levy - 4th quarter 2018/19	\$ 738,517.31
19/06/2019	Telstra Corporation Ltd	Telephone and internet charges - various locations	\$ 404.28
19/06/2019	Caltex Australia Petroleum Pty Ltd	Fuel and oils	\$ 34,637.67
19/06/2019	Northshore Unit Inc. - SES	FESA contribution - 4th quarter	\$ 17,468.00
19/06/2019	E Bentley	Expense reimbursement - Digital music kit	\$ 112.45
19/06/2019	Department of Mines, Industry Regulation and Safety	Building services levy collection	\$ 13,546.54
19/06/2019	A Radici	Expense reimbursement - Planning rewards and recognition	\$ 100.00
19/06/2019	Sonic HealthPlus Pty Ltd	Employee medical assessment	\$ 176.50
19/06/2019	J Lowther	Expense reimbursement - staff rewards and recognition	\$ 146.03
19/06/2019	Leederville Hotel (T/A Pent Pty Ltd)	Parking revenue distribution	\$ 18,523.19
19/06/2019	Allerding & Associates	Professional fees - SAT appeal	\$ 23,042.97
19/06/2019	Synergy	Electricity and gas charges - various locations	\$ 6,276.45

Date	Payee	Description	Amount
19/06/2019	Vendpro	Vending machine hire - BPLC	\$ 235.40
19/06/2019	OSHGROUP Pty Ltd	Fitness for work assessments	\$ 410.14
19/06/2019	Work Metrics Pty Ltd	Online inductions - BPLC	\$ 110.00
19/06/2019	Gymcare	Purchase of gym equipment - pump class bars and weights	\$ 11,616.00
25/06/2019	M Slater	Fitness instructor fees	\$ 120.58
25/06/2019	Scene in Perth	Instagram influencer - Beaufort Street campaign	\$ 350.00
25/06/2019	The Naturopath Shop	Fitness instructor fees	\$ 60.29
25/06/2019	Eclipse Soils Pty Ltd	Supply of mulch	\$ 12,980.00
25/06/2019	Out And About Perth	Instagram influencer - Beaufort Street campaign	\$ 700.00
25/06/2019	WA Profiling & Stabilisation Pty Ltd	Profiling services - various locations	\$ 12,248.50
25/06/2019	Geared Construction Pty Ltd	Refurbishment - Mount Hawthorn Lesser Hall (4th claim)	\$ 703.01
25/06/2019	Print and Sign Co	Printing services - various events	\$ 1,907.08
25/06/2019	L Ward	Fitness instructor fees	\$ 56.84
25/06/2019	Expo Signage and Digital Pty Ltd	Printing services - various departments	\$ 1,584.00
25/06/2019	C de Sira	Artist fee - Platform art project	\$ 500.00
25/06/2019	O'Brien Harrop Access	Performance solution report - Hyde Park toilet refurbishment	\$ 1,320.00
25/06/2019	QTM Pty Ltd	Traffic management services - Fairfield Street	\$ 7,270.73
25/06/2019	West Coast Rock Supplies	Supply of moss rocks - Beatty Park Reserve	\$ 1,100.00
25/06/2019	Inscope Training	Online training to obtain white card - Rangers	\$ 315.00
25/06/2019	W Urquhart	Refund for cost of sign pole	\$ 30.00
25/06/2019	B Jones	Refund of parking ticket	\$ 12.50
25/06/2019	G Mallett	Refund of liquor licence application	\$ 73.00
25/06/2019	S Pilot	Smoking ceremony - North Perth Common	\$ 500.00
25/06/2019	R Hilleard	Refund of parking ticket	\$ 24.07
25/06/2019	G Griffin	Refund of parking ticket	\$ 6.10
25/06/2019	A J Uchanski	Part refund of building permit	\$ 54.00
25/06/2019	Autism Association of WA	Rates refund - due to exemption	\$ 11,081.69
25/06/2019	D Lam	Refund of development application fee	\$ 295.00
25/06/2019	D B Green	Part refund of Beatty Park Leisure Centre fees	\$ 137.43
25/06/2019	G Loo	Artist fee - Platform art project	\$ 695.68
25/06/2019	W E Galloway	Part refund of dog registration	\$ 150.00
25/06/2019	M Epiro	Part refund of Beatty Park Leisure Centre fees	\$ 646.53
25/06/2019	Artisan Garments	Fitted tablecloth for community events	\$ 610.50
25/06/2019	Cole Workwear Pty Ltd	Supply of scarves and ties - gifts for Elders	\$ 4,086.50
25/06/2019	Ian Wilkes	Story telling session - Kaya Wandjoo festival	\$ 300.00
25/06/2019	M Purdom	Part refund of Beatty Park Leisure Centre fees	\$ 15.20
25/06/2019	W Ng	Refund of hall bond	\$ 1,000.00
25/06/2019	Youth Affairs Council Of WA	Refund of hall bond	\$ 100.00
25/06/2019	K C Ng	Refund of duplicate parking ticket	\$ 8.40

Date	Payee	Description	Amount
25/06/2019	R S Seehra	Refund of parking ticket	\$ 31.08
25/06/2019	WA Roofcoat Pty Ltd	Refund of duplicate parking ticket	\$ 2.00
25/06/2019	R E Gadsdon	Part refund of Beatty Park Leisure Centre fees	\$ 796.35
25/06/2019	Maar Koodjal Aboriginal Corporation	Dance performance - Kaya Wandjoo festival	\$ 1,500.00
25/06/2019	K Ng	Part refund of Beatty Park Leisure Centre fees	\$ 63.00
25/06/2019	A Olszewski	Refund of nomination bond	\$ 80.00
25/06/2019	V Chapman	Refund of part dog registration	\$ 30.00
25/06/2019	L Hooyer	Refund of parking permit	\$ 175.30
25/06/2019	Cool Perth Nights	Performance fee - North Perth Common launch	\$ 660.00
25/06/2019	Alinta Energy	Electricity and gas charges - various locations	\$ 36.30
25/06/2019	Bunnings Trade	Hardware supplies - various departments	\$ 1,063.11
25/06/2019	Benara Nurseries	Supply of plants	\$ 1,499.96
25/06/2019	BOC Limited	Oxygen supplies & CO2 for beverage - BPLC; forklift gas - Depot	\$ 591.68
25/06/2019	Chadson Engineering Pty Ltd	Repair to aquatic wheel chair - BPLC	\$ 29.00
25/06/2019	City Of Perth	Collection of food waste bins - Admin; BA/DA archive retrievals	\$ 117.55
25/06/2019	Cobblestone Concrete	Concrete path repairs - Loftus Street	\$ 16,385.05
25/06/2019	Coca-Cola Amatil (Aust) Pty Limited	Beatty Park Café supplies	\$ 3,388.16
25/06/2019	D & A Hot Water And Heating	Boiler repairs - BPLC	\$ 462.00
25/06/2019	Landgate	Land enquiries and full valuation roll for audit requirements	\$ 360.75
25/06/2019	Farinosi & Sons Pty Ltd	Hardware supplies	\$ 81.00
25/06/2019	Programmed Integrated Workforce Ltd	Temporary staff - Waste	\$ 6,369.87
25/06/2019	Kleenheat Gas	Forklift gas supplies - Depot	\$ 529.08
25/06/2019	Line Marking Specialists	Line marking services - various locations	\$ 2,167.00
25/06/2019	LO-GO Appointments	Temporary staff - Waste	\$ 5,241.29
25/06/2019	Bucher Municipal Pty Ltd	Plant repairs and maintenance	\$ 8,783.03
25/06/2019	Major Motors Pty Ltd	Truck repairs and maintenance	\$ 1,170.70
25/06/2019	Mayday Earthmoving	Bobcat, truck and mini excavator hire - various locations	\$ 27,130.40
25/06/2019	Mindarie Regional Council	Processable and non processable waste	\$ 56,762.65
25/06/2019	Perth Patterned Concrete Pty Ltd	Concrete stencilling services	\$ 9,824.10
25/06/2019	Pro Turf Services	Plant repairs and maintenance	\$ 797.39
25/06/2019	SAS Locksmiths	Key cutting and lock maintenance service - various locations	\$ 773.10
25/06/2019	Sigma Chemicals	Pool chemicals	\$ 5,673.11
25/06/2019	Civica Pty Limited	Authority and customer relationship management licence renewals	\$ 104,020.54
25/06/2019	Speedo Australia Pty Ltd	Merchandise - BPLC	\$ 874.50
25/06/2019	Telstra Corporation Ltd	Telephone and internet charges - various locations	\$ 512.60
25/06/2019	Water Corporation	Water charges - various locations	\$ 941.03
25/06/2019	Ausrecord	Box file supplies - Records	\$ 174.90
25/06/2019	Otis Elevator Company Pty Ltd	Lift service - Admin	\$ 2,195.96
25/06/2019	Sanax Medical & First Aid Supplies	First aid supplies - BPLC	\$ 163.39

Date	Payee	Description	Amount
25/06/2019	European Foods Wholesalers Pty Ltd	Beatty Park Café supplies	\$ 3,781.72
25/06/2019	The Royal Life Saving Society Western Australia Inc	Service of AIDS memorial fountain	\$ 792.00
25/06/2019	Sam's Repairs & Maintenance	Sign installation and maintenance - various locations	\$ 3,135.00
25/06/2019	Total Packaging WA Pty Ltd	Supply of bin liners	\$ 4,259.20
25/06/2019	TJ Depiazzi & Sons	Supply of mulch	\$ 1,379.62
25/06/2019	Intersectional Linemarkers Pty Ltd	Removal of line marking - Loftus Street	\$ 2,488.97
25/06/2019	KS Black Pty Ltd	Electrical works - Robertson Park	\$ 321.75
25/06/2019	PPG Industries Australia Pty Ltd	Graffiti removal supplies	\$ 891.81
25/06/2019	Elliotts Irrigation Pty Ltd	Reticulation repairs and maintenance - various locations	\$ 1,092.87
25/06/2019	Local Government Professionals Australia WA	Staff training - various courses	\$ 6,805.00
25/06/2019	Coates Hire Operations Pty Ltd	Hire of road cutter	\$ 180.69
25/06/2019	Initial Hygiene	Sharps disposal services	\$ 2,145.08
25/06/2019	Domus Nursery	Supply of plants	\$ 1,566.40
25/06/2019	Les Mills Asia Pacific	Licence fees for fitness classes	\$ 1,585.49
25/06/2019	My Best Friend Veterinary Centre	Vet services	\$ 2,224.00
25/06/2019	Award Contracting	Locating services - various locations	\$ 4,306.50
25/06/2019	Ellenby Tree Farm Pty Ltd	Supply of plants and trees	\$ 4,961.00
25/06/2019	Baileys Fertilisers	Supply of turf - Britannia Road Reserve	\$ 5,552.25
25/06/2019	RPG Auto Electrics	Plant repairs and maintenance	\$ 3,997.30
25/06/2019	Ed Art Supplies	Supply of badges - various departments	\$ 264.00
25/06/2019	Allmark and Associates Pty Ltd	Supply of signs - various locations	\$ 902.00
25/06/2019	Australasian Performing Right Association Ltd	Music licence fees - BPLC	\$ 4,802.92
25/06/2019	CSP Group Pty Ltd	Plant repairs and maintenance	\$ 326.85
25/06/2019	West Australian Newspapers Limited	Newspapers for resale - BPLC; library newspaper delivery	\$ 619.33
25/06/2019	Orbit Health & Fitness Solutions Pty Ltd	Gym equipment repairs - BPLC	\$ 175.49
25/06/2019	City of Stirling	Meals on Wheels and green waste tipping fees	\$ 2,945.10
25/06/2019	Winc Australia Pty Ltd	Office supplies and consumables	\$ 2,119.22
25/06/2019	Aquawellbeing.com	Fitness instructor fees	\$ 390.00
25/06/2019	Heavy Automatics Pty Ltd - WA	Plant repairs and maintenance	\$ 1,197.36
25/06/2019	Donegan Enterprises Pty Ltd	Playground inspections and maintenance - various locations	\$ 1,980.00
25/06/2019	Crommelins Machinery	Plant repairs and maintenance	\$ 435.20
25/06/2019	Western Resource Recovery Pty Ltd	Grease trap maintenance - various locations	\$ 738.76
25/06/2019	Sports Turf Technology Pty Ltd	Annual groundwater monitoring report and water analysis	\$ 12,263.90
25/06/2019	J & K Hopkins	Office furniture supplies - various departments	\$ 17,486.00
25/06/2019	Kennards Hire	Equipment hire - message boards	\$ 2,360.00
25/06/2019	Cleanaway	Recycling contract - 3 months	\$ 133,939.76
25/06/2019	Trisley's Hydraulic Services Pty Ltd	Pool equipment maintenance - BPLC	\$ 715.00
25/06/2019	Asphalttech Pty Ltd	Asphalt supplies - various locations	\$ 4,125.97
25/06/2019	Instant Windscreens	Vehicle repairs and maintenance	\$ 265.00

Date	Payee	Description	Amount
25/06/2019	W.A. Limestone Co	Limestone supplies	\$ 1,592.15
25/06/2019	Kerbing West	Kerbing services - various locations	\$ 7,901.85
25/06/2019	Suez Recycling & Recovery Pty Ltd	Waste collection - BPLC	\$ 809.62
25/06/2019	Academy Services WA Pty Ltd	Cleaning services and cleaning materials - various locations	\$ 56,476.96
25/06/2019	Curtin University	Sponsorship - Curtin ignition program 2019	\$ 3,250.00
25/06/2019	West-Sure Group Pty Ltd	Cash collection services - various locations	\$ 4,435.70
25/06/2019	Blackwoods	Hardware supplies - Depot	\$ 1,072.94
25/06/2019	Main Roads WA	Line marking - Bulwer Street	\$ 3,909.07
25/06/2019	Tom Lawton - Bobcat Hire	Bobcat hire and tipping fees for verges	\$ 16,123.80
25/06/2019	Flexi Staff Pty Ltd	Temporary staff - various departments	\$ 18,186.34
25/06/2019	Fulton Hogan Industries Pty Ltd	Asphalt supplies	\$ 3,722.40
25/06/2019	Professional Tree Surgeons	Tree pruning and removal services - various locations	\$ 8,074.00
25/06/2019	Carrington's Traffic Services	Traffic management services - various locations	\$ 10,010.83
25/06/2019	Schindler Lifts Australia Pty Ltd	Lift maintenance - DSR	\$ 4,156.54
25/06/2019	Optus Billing Services Pty Ltd	Telephone and internet charges - various locations	\$ 9,146.52
25/06/2019	Cockburn Cement Limited	Cement and pallets	\$ 885.72
25/06/2019	Officeworks Ltd	Office supplies and consumables	\$ 1,844.05
25/06/2019	David Gray & Co Pty Ltd	Supply of bin tow hitches	\$ 85.80
25/06/2019	Totally Workwear	Uniform supplies - various departments	\$ 814.95
25/06/2019	Alsco Pty Ltd	Mat supplies	\$ 373.79
25/06/2019	Statewide Oil Distributors	Supply of hydraulic oil	\$ 2,082.17
25/06/2019	Repco	Auto part supplies	\$ 166.76
25/06/2019	ATF Services Pty Ltd	Security fence - Cheriton Street	\$ 144.21
25/06/2019	Holcim (Australia) Pty Ltd	Concrete supplies	\$ 3,610.86
25/06/2019	Bullivants	Supply of chains	\$ 330.00
25/06/2019	Subaru Osborne Park	Vehicle service and repairs	\$ 1,441.30
25/06/2019	T-Quip	Plant repairs and maintenance	\$ 614.95
25/06/2019	Workwear Group Pty Ltd	Uniform supplies - Customer Services	\$ 187.86
25/06/2019	Belgravia Health & Leisure Group Pty Ltd	Room hire - Livelighter seniors activity and information day	\$ 488.00
25/06/2019	Walter & Doolan - Leisha Eatts	Welcome to Country ceremony - North Perth Common	\$ 600.00
25/06/2019	Total Eden Pty Ltd	Hot water pump repairs - BPLC	\$ 1,304.53
25/06/2019	Foundation Housing Limited	Rates refund - due to exemption	\$ 178,685.15
25/06/2019	Kleen West Distributors	Graffiti removal supplies	\$ 1,793.06
25/06/2019	Replants.com Pty Ltd	Design advisory fee	\$ 440.00
25/06/2019	Lion Dairy and Drinks (LD&D) Australia Pty Ltd	Milk supplies	\$ 295.58
25/06/2019	PFD Food Services Pty Ltd	Beatty Park Café supplies	\$ 3,483.45
25/06/2019	Boral Construction Materials Group Limited	Concrete supplies - various locations	\$ 4,105.34
25/06/2019	The Poster Girls	Distribution services - posters and flyers	\$ 433.95
25/06/2019	Devco Builders	Maintenance and repairs - various locations	\$ 135,252.93

Date	Payee	Description	Amount
25/06/2019	Australian HVAC Services Pty Ltd	Airconditioning maintenance and repairs - various locations	\$ 24,765.95
25/06/2019	Light Application Pty Ltd	Installation of lighting - North Perth Common artwork	\$ 644.53
25/06/2019	T&H Wilkes Pty Ltd	Gravel supplies	\$ 7,806.70
25/06/2019	The BBQ Man	BBQ, bin and pressure cleaning services - various locations	\$ 7,290.68
25/06/2019	Department of Transport	Vehicle ownership searches	\$ 2,878.20
25/06/2019	Blue Heeler Trading	Uniform supplies - BPLC	\$ 824.34
25/06/2019	Shop for Shops	Retail shop fittings - BPLC	\$ 475.10
25/06/2019	Disco Cantito Association	Circus workshop - North Perth Common	\$ 400.00
25/06/2019	McIntosh & Son WA	Plant repairs and maintenance	\$ 154.70
25/06/2019	Workpower Incorporated	Catering services - Council meetings	\$ 170.00
25/06/2019	Action Asbestos Removals	Asbestos removal services	\$ 484.00
25/06/2019	Truck Centre (WA) Pty Ltd	Truck repairs and maintenance	\$ 1,411.56
25/06/2019	Bridgestone Australia LTD	Tyre services	\$ 801.20
25/06/2019	APARC	Central management system and software licensing; meter and sensor maintenance; supply of ticket rolls for parking meters	\$ 21,286.37
25/06/2019	Mackay Urban Design	Design advisory fees	\$ 880.00
25/06/2019	JBA Surveys	Surveying services - Loftus Street bike lane	\$ 1,760.00
25/06/2019	Australian Paper	Envelope supplies	\$ 506.88
25/06/2019	C Wood Distributors	Beatty Park Café supplies	\$ 700.15
25/06/2019	Catek Equipment Repairs	Dishwasher repairs - BPLC	\$ 355.66
25/06/2019	FE Technologies Pty Ltd	Annual software maintenance - Mobile scanning 2019/20	\$ 722.70
25/06/2019	Christou Nominees Pty Ltd	Design advisory fee	\$ 1,540.00
25/06/2019	Steann Pty Ltd	Collect and dispose of illegally dumped goods	\$ 825.00
25/06/2019	Chindarsi Architects	Design advisory fees	\$ 880.00
25/06/2019	Marshall Beattie Pty Ltd	Automatic door repairs - BPLC exit gate	\$ 4,532.00
25/06/2019	Indigenous Economic Solutions Pty Ltd	Consultancy service - Leederville Oval master plan	\$ 1,501.50
25/06/2019	Canningvale Flooring Xtra	Supply and install carpet - DSR (progress payment)	\$ 22,000.00
25/06/2019	Turf Developments (WA) Pty Ltd	Turf maintenance - various locations	\$ 8,899.54
25/06/2019	Briskleen Supplies	Toiletry and cleaning products - BPLC	\$ 5,033.39
25/06/2019	Northsands Resources	Construction waste disposal services and sand supplies	\$ 8,251.98
25/06/2019	Compu-Stor	Records digitisation and off-site storage	\$ 429.69
25/06/2019	Yoshino Sushi	Beatty Park Café supplies	\$ 531.74
25/06/2019	Centropak	Beatty Park Café supplies	\$ 2,115.25
25/06/2019	Revelation Perth International Film Festival Inc.	Sponsorship - Revelation Perth International Film Festival	\$ 4,400.00
25/06/2019	Worldwide East Perth	Printing services - business cards for various departments	\$ 693.00
25/06/2019	Raymond Sleeman	Fitness instructor fees	\$ 682.08
25/06/2019	Anna Cappelletta	Fitness instructor fees	\$ 482.32
25/06/2019	Acurix Networks Pty Ltd	Public Wi Fi service - various locations	\$ 2,319.90
25/06/2019	Soundtown	Repairs to PA system - BPLC	\$ 429.50

Date	Payee	Description	Amount
25/06/2019	Daniela Toffali	Fitness instructor fees	\$ 325.00
25/06/2019	Rainbird Australia Pty Ltd	Annual data plan for irrigation system	\$ 2,352.90
25/06/2019	Alerton Australia	Building management system contract - BPLC 2 months; sensor repairs	\$ 9,534.36
25/06/2019	Garrards Pty Ltd	Supply of rat bait	\$ 217.45
25/06/2019	Rawlicious Delights	Beatty Park Café supplies	\$ 254.10
25/06/2019	Synergy	Electricity and gas charges - various locations	\$ 84,864.05
25/06/2019	Cat Haven	Cat impound fees	\$ 100.00
25/06/2019	Marketforce Pty Ltd	Advertising services - various departments	\$ 2,845.48
25/06/2019	Michael Page International Australia Pty Limited	Temporary staff - IT	\$ 1,653.19
25/06/2019	Leo Heaney Pty Ltd	Street tree services - various locations	\$ 33,058.68
25/06/2019	SimplePay Solutions Pty Ltd	Credit card transactions - parking terminals	\$ 10,200.80
25/06/2019	C Mooney	Expense reimbursement - Planoly subscription	\$ 279.99
25/06/2019	Noongar Media Enterprises	Community funding grant - Kaya Wandjoo Festival	\$ 10,000.00
25/06/2019	OSHGROUP Pty Ltd	Fitness for work assessments	\$ 1,362.93
25/06/2019	Gallery 360	Purchase of click rails - Local History Centre	\$ 135.40
25/06/2019	Yoga Inspiration	Fitness instructor fees	\$ 542.61
25/06/2019	Charmaine Amanda Magness	Fitness instructor fees	\$ 284.20
25/06/2019	MessageMedia	SMS integrating for Phoenix	\$ 158.68
25/06/2019	Courtney Hahipene	Fitness instructor fees	\$ 120.58
25/06/2019	Technology One Ltd	GIS consulting services	\$ 1,804.00
25/06/2019	Clever Patch	Library supplies	\$ 81.35
25/06/2019	Jean-Paul Barbier	Fitness instructor fees	\$ 238.00
25/06/2019	Corsign WA Pty Ltd	Sign supplies - various locations	\$ 9,849.51
25/06/2019	Innovations Catering	Catering services - various meetings	\$ 2,230.00
25/06/2019	Capic	Water treatment services - BPLC	\$ 211.20
25/06/2019	Wheelers Books	Library books	\$ 807.63
25/06/2019	Window Shading Solutions Pty Ltd	Supply and install blinds - Admin (50% deposit)	\$ 4,815.00
25/06/2019	AWB Building Co.	Plumbing services - various locations	\$ 10,342.12
25/06/2019	Solo Resource Recovery	Pressure cleaning services	\$ 6,699.00
25/06/2019	ECE Fast	Purchase of food thermometers - Health	\$ 317.90
25/06/2019	Tree Amigos	Street trees and parks pruning/removal - various locations	\$ 1,774.61
25/06/2019	Colleagues Nagels	Integrated transferable parking permits	\$ 660.53
25/06/2019	Bang The Table	Consultation website licence and subscription	\$ 25,575.00
25/06/2019	Boyan Electrical Services	Electrical services - various locations	\$ 24,592.70
25/06/2019	Central Regional Tafe	Staff training - Rangers	\$ 1,469.20
25/06/2019	GC Sales (WA)	Supply of 120L bins	\$ 1,210.00
25/06/2019	All Aussie Carpet Clean	Carpet cleaning services - BPLC	\$ 990.00
25/06/2019	Amer Sports Australia Pty Ltd	Gym equipment repairs - bicycle clips	\$ 162.36
25/06/2019	Zumba Fitness Patricia Rojo	Fitness instructor fees	\$ 1,116.00

Date	Payee	Description	Amount
25/06/2019	Design Right Pty Ltd	Design services - COV community hub	\$ 3,300.00
25/06/2019	Brownes Foods Operations Pty Ltd	Beatty Park Café supplies	\$ 1,686.11
25/06/2019	Ip Khalsa Pty Ltd	Mail delivery service	\$ 173.32
25/06/2019	Infocouncil Pty Ltd	Annual licence, helpdesk and web hosting	\$ 18,584.50
25/06/2019	Nordic Fitness Equipment	Cleaning wipes for gym	\$ 995.00
25/06/2019	Roof Safety Solutions Pty Ltd	Roof guard rail installation - Library	\$ 495.00
25/06/2019	HWL Ebsworth Lawyers	Professional services - verification of identity	\$ 135.30
25/06/2019	Unilever Australia Ltd	Beatty Park Café supplies	\$ 1,707.26
25/06/2019	Konica Minolta Business Solutions Australia Pty Ltd	Copy cost - various departments	\$ 2,063.40
25/06/2019	Protonic Personal Training	Fitness instructor fees	\$ 497.36
25/06/2019	Yolande Gomez	Fitness instructor fees	\$ 497.36
25/06/2019	Jackie Barron	Fitness instructor fees	\$ 260.00
25/06/2019	StrataGreen	Garden equipment supplies - Depot	\$ 7,079.14
25/06/2019	Safari Building Products	Hardware supplies - Depot	\$ 191.40
25/06/2019	InterStream Pty Ltd	Webcast and hosting service	\$ 1,386.00
25/06/2019	Noma Pty Ltd	Design advisory fee	\$ 440.00
25/06/2019	Tyres 4U Pty Ltd	Tyre replacements and maintenance	\$ 24.20
25/06/2019	Bladon WA Pty Ltd	Supply of reusable bags	\$ 1,083.50
25/06/2019	Urban Indigenous	Community canvas - Kaya Wandjoo Festival	\$ 1,485.00
25/06/2019	Benerin Electrical Services	Supply and install mesh panels - Axford Park	\$ 6,820.00
25/06/2019	Yelakitj Moort Nyungar Association Inc.	Welcome to Country ceremony - Interschool debating competition	\$ 500.00
25/06/2019	Plantrite	Supply of plants	\$ 1,419.00
25/06/2019	Quayclean Australia Pty Ltd	Cleaning services - BPLC	\$ 10,420.81
25/06/2019	Atmos Foods Pty Ltd	Beatty Park Café supplies	\$ 237.60
25/06/2019	WA Library Supplies	Library supplies	\$ 399.00
25/06/2019	Source Separation Systems Pty Ltd	Supply of 60L bins	\$ 590.94
25/06/2019	KP Electric (Australia) Pty Ltd	Electrical services - various locations	\$ 21,727.91
25/06/2019	New Dimension Mechanical Services	Cool room and freezer room maintenance - BPLC	\$ 1,237.50
25/06/2019	Gay and Lesbian Singers of Western Australia	Vocal performance - Citizenship ceremony	\$ 400.00
25/06/2019	GTA Consultants (WA) Pty Ltd	Traffic study - North Perth precinct report	\$ 3,432.00
25/06/2019	Stott Hoare	Supply of computers and accessories	\$ 18,386.50
25/06/2019	Perth Marquees	Hire of marquees - Kaya Wandjoo Festival	\$ 1,550.00
25/06/2019	Securus	Security services - BPLC	\$ 212.50
25/06/2019	The Event Mill	Hire of furniture - North Perth Common launch	\$ 731.50
25/06/2019	Dalin Electrical Controls	Repairs to geothermal system - BPLC	\$ 560.80
25/06/2019	Vigilant Traffic Management Group Pty Ltd	Traffic management services - Vincent Street	\$ 289.20
25/06/2019	Workshop Planning	Design consultancy - Admin refurbishment	\$ 2,392.50
25/06/2019	Daniel Bullen	Fitness instructor fees	\$ 447.64
25/06/2019	J D Penangke	Art mentoring workshop	\$ 2,407.00

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Date	Payee	Description	Amount
25/06/2019	Zimbulis Foods	Beatty Park Café supplies	\$ 1,369.73
25/06/2019	SpacetoCo Pty Ltd	Facilities weekly reporting and financial handling	\$ 1,320.00
25/06/2019	Sid Thoo	Design advisory fee	\$ 1,320.00
25/06/2019	Bonfire Digital Pty Ltd	Marketing services - BPLC	\$ 8,547.00
25/06/2019	K Roach	Fitness instructor fees	\$ 113.68
25/06/2019	Bindi Bindi Dreaming	Presentation fees - Makuru seasons and cultural sharing workshops	\$ 1,650.00
25/06/2019	Maali Mia Pty Ltd	Catering services - Kaya Wandjoo Festival	\$ 1,490.50
25/06/2019	M McGuire	Welcome to Country ceremony - Kaya Wandjoo Festival	\$ 500.00
25/06/2019	Tsukaya	Electricity contribution - Anvil Lane festoon lighting	\$ 357.50
25/06/2019	Kambarang Services	Community consultation - Kaya Wandjoo Festival	\$ 1,200.00
25/06/2019	Veggie Mama	Catering services - Kaya Wandjoo Festival	\$ 687.50
25/06/2019	R Bala	Distribution services - North Perth Common launch flyers	\$ 89.00
25/06/2019	Karla Hart Enterprises Pty Ltd	Face painting - Kaya Wandjoo Festival	\$ 1,320.00
25/06/2019	Mount Lawley Art Framers	Stretching of canvas - Aranmore College showcase	\$ 145.80
25/06/2019	Valspar Paint (Australia) Pty Ltd	Graffiti removal supplies	\$ 92.70
25/06/2019	Sia Sasha Ivanovich Architects	Design advisory fee	\$ 550.00
25/06/2019	P Stokes	Fitness instructor fees	\$ 90.00
25/06/2019	Department of Planning Lands and Heritage	Amended DAP fees	\$ 241.00
25/06/2019	Solar Bike Pty Ltd	Repairs to E-bike	\$ 185.00
25/06/2019	Conway Highbury Pty Ltd	Professional services - review of delegations of authority	\$ 1,155.00
25/06/2019	Flick Anticimex Pty Ltd	Pest control services - Oxford Street Reserve	\$ 135.58
25/06/2019	Movies By Burswood Inc	Community grant - pop up cinema event	\$ 3,300.00
25/06/2019	LSV Borrello Lawyers	Legal services - Town planning advice	\$ 2,200.00
25/06/2019	Aspect Studios Pty Ltd	Design advisory fee	\$ 440.00
25/06/2019	Picton Press Pty Ltd	Printing services - various departments	\$ 1,864.36
25/06/2019	B Fiebig	Fitness instructor fees	\$ 113.68
25/06/2019	M Humich	Fitness instructor fees	\$ 284.20
25/06/2019	Water Works and Wellness	Fitness instructor fees	\$ 110.00
25/06/2019	M G Jajko	Fitness instructor fees	\$ 113.68
25/06/2019	Connect Call Centre Services	After hours calls service	\$ 1,308.40
25/06/2019	S Patchett	Fitness instructor fees	\$ 360.00
25/06/2019	Dushong Art	Photography services - Kaya Wandjoo Festival	\$ 500.00
25/06/2019	Jessica Wyld Photography Pty Ltd	Photography services - various locations	\$ 979.00
25/06/2019	K Jura	Part refund of parking permit	\$ 150.55
25/06/2019	Raymond Thai	Instagram influencer - Beaufort Street campaign	\$ 550.00
25/06/2019	Kevin Bynder	Artist workshop - Aboriginal Youth Forum	\$ 200.00
25/06/2019	Perth Food Adventures	Instagram influencer - Beaufort Street campaign	\$ 775.00
25/06/2019	i Lidia Love	Instagram influencer - Beaufort Street campaign	\$ 436.00
28/06/2019	C Dolzadelli	Expense reimbursement - Corporate Services rewards and recognition	\$ 105.95

Date	Payee	Description	Amount
28/06/2019	Nilesh Makwana	Expense reimbursement - Corporate Services rewards and recognition	\$ 642.50
28/06/2019	Telstra Corporation Ltd	Telephone and internet charges - various locations	\$ 23.65
28/06/2019	Water Corporation	Water charges - various locations	\$ 2,023.01
28/06/2019	KP Bardon	Expense reimbursement - Community and Business rewards and recognition	\$ 1,937.60
28/06/2019	EnvisionWare Pty Ltd	Annual maintenance - EnvisionWare suite	\$ 1,223.32
28/06/2019	A Radici	Expense reimbursement - Planning rewards and recognition	\$ 2,089.40
28/06/2019	J Lowther	Expense reimbursement - catering for meeting	\$ 130.50
28/06/2019	LGISWA	Performance based premium adjustment 2016/17 and 2017/18	\$ 94,847.87
28/06/2019	Worldwide East Perth	Printing services - RAP booklets	\$ 1,914.00
28/06/2019	Synergy	Electricity and gas charges - various locations	\$ 4,762.25
28/06/2019	AWB Building Co.	Plumbing services - various locations	\$ 760.38
28/06/2019	Boyan Electrical Services	Electrical services - View Street car park	\$ 665.50
28/06/2019	PeopleSense by Altius	Counselling services	\$ 3,630.00
28/06/2019	Vigilant Traffic Management Group Pty Ltd	Traffic management services - various locations	\$ 3,424.58
28/06/2019	Interflow Pty Ltd	Drainage upgrade- Britannia Road (progress claim)	\$ 11,664.48
28/06/2019	Commissioner of State Revenue	Perth parking licence fee	\$ 402,054.30
28/06/2019	Westnet Pty Ltd	IT ADSL link	\$ 39.95
28/06/2019	Australian Taxation Office	Fringe benefit tax	\$ 20,241.25
			\$ 5,045,895.46
Payroll			
11/06/2019	Pay 25		\$ 619,744.62
25/06/2019	Pay 26		\$ 594,618.26
Total Payroll			\$ 1,214,362.88
Total Payments			\$ 6,260,258.34

Creditors Report - Payments by Cheque 01/06/2019 to 30/06/19				
Creditor	Date	Payee	Description	Amount
00082519	07/06/2019	BCITF Building & Construction Industry Training Fund	Levy collection	\$6,880.02
00082520	07/06/2019	Petty Cash - Library	Petty cash recoup	\$77.80
00082521	07/06/2019	Zurich Australian Insurance Ltd	Insurance excess	\$500.00
00082522	17/06/2019	Petty Cash - Finance	Petty cash recoup	\$475.00
00082523	19/06/2019	Petty Cash - Beatty Park Leisure Centre	Petty cash recoup	\$253.00
00082524	19/06/2019	Petty Cash - Library	Petty cash recoup	\$208.80
00082525	19/06/2019	Zurich Australian Insurance Ltd	Insurance excess	\$500.00
				\$ 8,894.62
Cancelled Cheques				
00081005	17/03/2017	Dual Australia	Stale cheque, 18 months and over	-\$ 250.00
00081091	13/04/2017	K Beykpour	Stale cheque, 18 months and over	-\$ 250.00
00081149	19/04/2017	D Cusworth	Stale cheque, 18 months and over	-\$ 50.00
00081192	11/05/2017	J Hallett	Stale cheque, 18 months and over	-\$ 80.00
00081287	24/05/2017	S Collins	Stale cheque, 18 months and over	-\$ 7.50
00081417	06/07/2017	S and M Pigliardo	Stale cheque, 18 months and over	-\$ 147.00
00081457	20/07/2017	D A Filov	Stale cheque, 18 months and over	-\$ 150.00
00081497	02/08/2017	L Slattery	Stale cheque, 18 months and over	-\$ 2.00
00081531	16/08/2017	A Schiavon	Stale cheque, 18 months and over	-\$ 61.20
00081630	13/09/2017	M Adams	Stale cheque, 18 months and over	-\$ 77.22
00081702	11/10/2017	A Brown	Stale cheque, 18 months and over	-\$ 11.90
00081758	25/10/2017	J M Fotakis	Stale cheque, 18 months and over	-\$ 80.00
00081765	25/10/2017	M Purdom	Stale cheque, cancelled and paid by EFT	-\$ 15.20
00081772	25/10/2017	K l'Anson	Stale cheque, 18 months and over	-\$ 55.00
00081844	08/11/2017	K Cranley	Stale cheque, 18 months and over	-\$ 15.42
00081845	08/11/2017	K Zacklova	Stale cheque, 18 months and over	-\$ 30.00
00081876	22/11/2017	J Mezger	Stale cheque, 18 months and over	-\$ 20.00
00081887	30/11/2017	K Van Ark	Stale cheque, 18 months and over	-\$ 52.70
00081942	08/12/2017	M Wardrop	Stale cheque, 18 months and over	-\$ 11.90
Total Cancelled Cheques				-\$ 1,367.04
Total Nett Cheque Payments				\$ 7,527.58

Creditors Report - Payments by Direct Debit				
01/06/2019 to 30/06/19				
Credit Card Transactions for the Period 7 May 2019 - 6 June 2019				
Card Holder	Date	Payee	Description	Amount
CEO	07/05/2019	City of Perth	Parking - Road safety launch	\$ 4.54
	09/05/2019	The Re Store	Catering services - COV function	\$ 232.00
	23/05/2019	WALGA	Councillor training	\$ 1,050.00
	24/05/2019	Property Council	Councillor seminar	\$ 250.00
				\$ 1,536.54
Director Community & Business Services	29/05/2019	Coles	Gift voucher - Community safety rewards & recognition	\$ 50.00
Manager Community Partnerships	07/05/2019	Booktopia	Books for library	\$ 620.96
	08/05/2019	Booktopia	Refund for book	-\$ 15.95
	09/05/2019	Minus 18	Rainbow ribbons for Pride WA	\$ 92.71
	16/05/2019	Dominos Pizza	Catering services - Vincent youth network event	\$ 33.95
	16/05/2019	Book Depository	Books for library	\$ 172.18
	16/05/2019	Book Depository	Books for library	\$ 205.95
	16/05/2019	Book Depository	Books for library	\$ 180.69
	16/05/2019	Book Depository	Books for library	\$ 188.14
	16/05/2019	Book Depository	Books for library	\$ 155.53
	16/05/2019	Book Depository	Books for library	\$ 28.97
	16/05/2019	Book Depository	Books for library	\$ 56.48
	21/05/2019	Booktopia	Books for library	\$ 86.95
	21/05/2019	Global Language Books	Books for library	\$ 163.60
	21/05/2019	JB Hifi	DVDs for library	\$ 84.94
	21/05/2019	Book Depository	Books for library	\$ 120.23
	21/05/2019	Book Depository	Books for library	\$ 163.90
	21/05/2019	Book Depository	Books for library	\$ 134.14
	21/05/2019	Book Depository	Books for library	\$ 153.04
	21/05/2019	Book Depository	Books for library	\$ 158.02
	21/05/2019	Book Depository	Books for library	\$ 66.40
	23/05/2019	Sanity	DVDs for library	\$ 220.91
	29/05/2019	City of Perth	Parking - Homelessness framework working group	\$ 15.14
	29/05/2019	Sanity	CD for library	\$ 30.15
				\$ 3,117.03

Card Holder	Date	Payee	Description	Amount
Manager Marketing and Communications	07/05/2019	Facebook	Advertising	\$ 307.76
	07/05/2019	Planoly	Subscription renewal	\$ 12.89
	07/05/2019	International transaction fee	Subscription renewal	\$ 0.32
	08/05/2019	Arts Law Centre of Australia	Contract template - major art commission	\$ 80.00
	10/05/2019	Australia Post	Gift vouchers - 40km per hour survey	\$ 317.85
	10/05/2019	Mailchimp.com	Email campaign	\$ 217.06
	14/05/2019	Arts Hub Holdings	Subscription renewal	\$ 149.00
	14/05/2019	Asana.com	Marketing project management task tool subscription	\$ 14.59
	14/05/2019	International transaction fee	Marketing project management task tool subscription	\$ 0.36
	15/05/2019	Officeworks	Portfolio replacement for artist	\$ 60.00
	21/05/2019	STK Shutterstock	Image download subscription	\$ 49.00
	22/05/2019	Asana.com	Subscription renewal	\$ 163.70
	22/05/2019	International transaction fee	Subscription renewal	\$ 4.09
	24/05/2019	Officeworks	Portfolio inserts replacement for artist	\$ 103.84
	24/05/2019	Shutterstock	Image download subscription	\$ 108.90
	28/05/2019	Facebook	Advertising	\$ 33.00
	30/05/2019	Leederville Foods	Catering services - Inner Perth assembly meeting	\$ 35.26
	31/05/2019	Facebook	Advertising	\$ 14.37
	01/06/2019	Createsend.com	Email campaign	\$ 31.26
				\$ 1,703.25
Procurement and Contracts Officer	23/05/2019	Main Roads WA	Road safety training-Coordinator Engineering & Design	\$ 979.00
	04/06/2019	Department of Transport	Motor insurance policy renewal	\$ 43.95
				\$ 1,022.95
Total Corporate Credit Cards				\$ 7,429.77
Direct Debits				
Lease Fees	03/06/2019	Neopost 1659932	Franking machine	\$ 385.00
Loan Repayments		Treasury Corporation	Department Sport and Recreation Building, Loftus Centre, Loftus Underground Car Park and Beatty Park Leisure Centre	\$ 149,998.93
Bank Fees and Charges		Commonwealth Bank	Bank fees	\$ 88,929.72
Total Direct Debits including Credit Cards				\$ 246,743.42

7.3	PROVISIONAL FINANCIAL STATEMENTS AS AT 30 JUNE 2019
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TRIM Ref: D19/99703

Author: Nirav Shah, Coordinator Financial Services

Authoriser: John Corbellini, A/Executive Director Community and Business Services

Attachments: 1. Financial statements as at 30 June 2019 [↓](#) 

RECOMMENDATION:

That Council **RECEIVES** the financial statements for the month ended 30 June 2019 as shown in Attachment 1.

PURPOSE OF REPORT:

To present the statement of financial activity for the period ended 30 June 2019.

BACKGROUND:

Regulation 34 (1) of the *Local Government (Financial Management) Regulations 1996* requires a local government to prepare each month a statement of financial activity including the sources and applications of funds, as compared to the budget.

Please note there are a number of year end transactions and adjustments that need to be completed before the year end accounts are finalised and audited, hence, the balances provided in this report are provisional and subject to change.

DETAILS:

The following documents, included as **Attachment 1**, comprise the statement of financial activity for the period ending 30 June 2019:

Note	Description	Page
1.	Statement of Financial Activity by Program Report and Graph	1-3
2.	Statement of Comprehensive Income by Nature or Type Report	4
3.	Net Current Funding Position	5
4.	Summary of Income and Expenditure by Service Areas	6-65
5.	Capital Expenditure and Funding and Capital Works Schedule	66-77
6.	Cash Backed Reserves	78
7.	Rating Information and Graph	79-80
8.	Debtors Report	81-82
9.	Beatty Park Leisure Centre Financial Position	83

Comments on the Statement of Financial Activity (as at Attachment 1):

Operating revenue is reported separately by 'Program' and 'Nature or Type' respectively. The significant difference between the two reports is that operating revenue by 'Program' includes 'Profit on sale of assets' and the report for 'Nature or Type' includes 'Rates revenue'.

Revenue by Program is tracking higher than the year to date budgeted revenue by \$875,290 (4%). The following items materially contribute to this position: -

- Interest Earnings from investments relating to Municipal & Reserve funds are tracking higher by \$175,930. In addition the City has received an advance payment of the Financial Assistance Grant for 2019/20 in the sum of \$566,063 (**General Purpose funding**);
- Recognition of monies transferred from trust for contributions relating to Percent of Art - \$200,050 (**Community Amenities**);

- Recognition of additional income due to unclaimed monies that have been held in trust for greater than 10 years - \$321,248 (**Community Amenities**); and
- An unfavourable variance of \$337,485 relates to recoups for Leederville Oval. This is because the budgeted amount for recoups was overstated by \$273,000 resulting in an incorrect reflection compared to the actual amount to be collected (**Recreation & Culture**).

Revenue by Nature or Type is tracking higher than the budgeted revenue by \$618,809 (1%). The following items materially contributed to this position: -

- **'Operating grants, subsidies and contributions'** reflects a budget to actual surplus of \$979,541 that is materially contributed from the receipt of monies from percentage of art contributions (\$200,050), recognition of unclaimed monies from the trust fund (\$321,248) and FAGS grant monies received in advance (\$566,063);
- **'Interest earnings'** reflects a budget to actual surplus of \$194,392 as a result of higher than anticipated interest earnings from investments; and
- **'Rates'** reflects an unfavourable variance of \$459,191 due to the treatment of rates monies received in advance in accordance to the current accounting standards applicable as at 30 June 2019. This treatment is subject to change as part of finalising the year-end balances in accordance to the new accounting standards applicable from 1 July 2019.

Expenditure by Program reflects an under-spend of \$3,955,292 (6%) compared to the year to date budget. All programs except **'Governance'**, reflect an under-spend largely contributed by operating projects being carried forward to the next financial year.

Expenditure by Nature or Type reflects an under-spend of \$3,751,152 (1%) compared to the year to date budget. The following items materially contributed to this position: -

- **Materials and contracts** reflects an under-spend of \$2,352,805. This variance is largely contributed by operating projects not having commenced as yet or not being 100% completed, resulting in the works being carried forward to 2019/20;
- **'Depreciation on non-current assets'** is reflecting an under-spend of \$887,411 due to the year-end capitalisation process still being finalised; and
- **'Other expenditure'** reflects an under-spend of \$703,168. This variance is largely contributed by 'programmes and events' not having commenced as yet or not being 100% completed, resulting in the works being carried forward to 2019/20.

Opening Surplus Bought Forward – 2018/19

The opening net surplus position brought forward for 2018/19 was \$5,524,405 as stated in the 2017/2018 audited financial statements.

As at 30 June 2019, the surplus amount is \$7,857,741 compared to the year to date budgeted amount of \$136,234. This surplus position is largely contributed to the expenditure relating to capital works and operating projects being significantly lower than the anticipated budgeted amount.

This surplus position includes \$5,793,053 relating to works that have been carried forward to the 2019/20 financial year which includes \$2,303,326 in commitments relating to capital works. Furthermore, there are still outstanding invoices to be paid for works completed as at 30 June 2019, which will impact the City's final surplus/deficit position.

Content of Statement of Financial Activity

An explanation of each report in the Statement of Financial Activity (**Attachment 1**), along with some commentary, is below:

1. Statement of Financial Activity by Program Report (Note 1 Page 1)

This statement of financial activity shows operating revenue and expenditure classified by Program.

2. Statement of Comprehensive Income by Nature or Type Report (Note 2 Page 4)

This statement of financial activity shows operating revenue and expenditure classified by Nature or Type.

3. Net Current Funding Position (Note 3 Page 5)

'Net current assets' is the difference between the current assets and current liabilities; less committed assets and restricted assets.

4. Summary of Income and Expenditure by Service Areas (Note 4 Page 6 – 65)

This statement shows a summary of operating revenue and expenditure by service unit including variance commentary.

5. Capital Expenditure and Funding Summary (Note 5 Page 66 - 77)

The full capital works program is listed in detail in Note 5 of **Attachment 1**.

6. Cash Backed Reserves (Note 6 Page 78)

The cash backed reserves schedule provides a detailed summary of the movements in the reserves portfolio, including transfers to and from the reserve. The balance as at 30 June 2019 is \$12,620,336.

7. Rating Information (Note 7 Page 79–80)

The notices for rates and charges levied for 2018/19 were issued on 26 July 2018.

The Local Government Act 1995 provides for ratepayers to pay rates by four instalments. The due dates for each instalment are:

First Instalment	31 August 2018
Second Instalment	31 October 2018
Third Instalment	04 January 2019
Fourth Instalment	04 March 2019

Total rates collected, as at 30 June 2019 is \$35,209,088. Furthermore, the outstanding rates debtors balance is \$231,842 including deferred rates (\$120,125).

Please note ratepayers that have defaulted on their payments have been handed over to the City's debt collectors for further debt collection.

8. Receivables (Note 8 Page 81-82)

Trade receivables outstanding as at 30 June 2019 is \$2,126,361 of which \$1,735,754 has been outstanding for over 90 days. Administration has been regularly following up all outstanding items by issuing reminders when they are overdue and subsequently initiating a formal debt collection process when payments remain outstanding for long periods of time.

Below is a summary of the significant items that have been outstanding for over 90 days:

- \$1,511,698 (87.1%) relates to unpaid infringements (plus costs) over 90 days. Infringements that remain unpaid for more than two months are sent to the Fines Enforcement Registry (FER), which then collects the outstanding balance on behalf of the City for a fee.

Due to the aged nature of some of the unpaid infringements, the provision for doubtful debts has been increased this year and an amount of \$1,066,403 has been transferred to long term infringement debtors (non-current portion); and

- \$203,301 (11.7%) relates to cash in lieu of car parking debtors. In accordance with the *City's Policy 7.7.1 Non-residential parking*, Administration has entered into special payment

arrangements with long outstanding cash in lieu parking debtors to enable them to pay over a fixed term of five years.

9. Beatty Park Leisure Centre – Financial Position report (Note 9 Page 83)

As at 30 June 2019, the operating deficit for the centre is \$1,754,111 compared to the year to date budgeted amount of \$1,868,347.

10. Explanation of Material Variances (Note 4 Page 6 – 65)

The materiality thresholds used for reporting variances are 10% and/or \$20,000 respectively. This means that variances will be analysed and separately reported when they are more than 10% (+/-) of the year to date budget or where that variance exceeds \$20,000 (+/-). This threshold was adopted by Council as part of the budget adoption for 2018/19 and is used in the preparation of the statements of financial activity when highlighting material variance in accordance with *Financial Management Regulation 34(1) (d)*.

In accordance to the above, all material variances as at 30 June 2019 have been detailed in the variance comments report in **Attachment 1**.

11. Treatment of assets less than \$5,000

The following amendment has been made to s6.10 Regs.17 (A) (5) of the Local Government Act:

An asset is to be excluded from the assets of a local government if the fair value of the asset as at the date of acquisition by the local government is under \$5,000.

As a result, Administration has reallocated the expenditure relating to the affected assets under this new threshold from capital to operating. The impact of this change is an increase in year to date operating expenditure by \$286,804 resulting in a negative impact on the net position for the year.

Administration will perform a similar exercise for prior year acquisitions to ensure full compliance with the new legislative requirements.

CONSULTATION/ADVERTISING:

Not applicable.

LEGAL/POLICY:

Section 6.4 of the Local Government Act 1995 requires a local government to prepare an annual financial report for the preceding year and other financial reports as prescribed.

Regulation 34 (1) of the Local Government (Financial Management) Regulations 1996 requires the local government to prepare a statement of financial activity each month, reporting on the source and application of funds as set out in the adopted annual budget.

A statement of financial activity and any accompanying documents are to be presented at an Ordinary Meeting of the Council within two months after the end of the month to which the statement relates.

Section 6.8 of the Local Government Act 1995, specifies that a local government is not to incur expenditure from its Municipal Fund for an additional purpose except where the expenditure is authorised in advance by an absolute majority decision of Council.

RISK MANAGEMENT IMPLICATIONS:

Low: Provision of monthly financial reports to Council fulfils relevant statutory requirements and is consistent with good financial governance.

STRATEGIC IMPLICATIONS:

Reporting on the City's financial position is aligned to with the City's *Strategic Community Plan 2018-2028*:

Innovative and Accountable

Our resources and assets are planned and managed in an efficient and sustainable manner.

Our community is aware of what we are doing and how we are meeting our goals.

Our community is satisfied with the service we provide.

We are open and accountable to an engaged community.

SUSTAINABILITY IMPLICATIONS:

Not applicable.

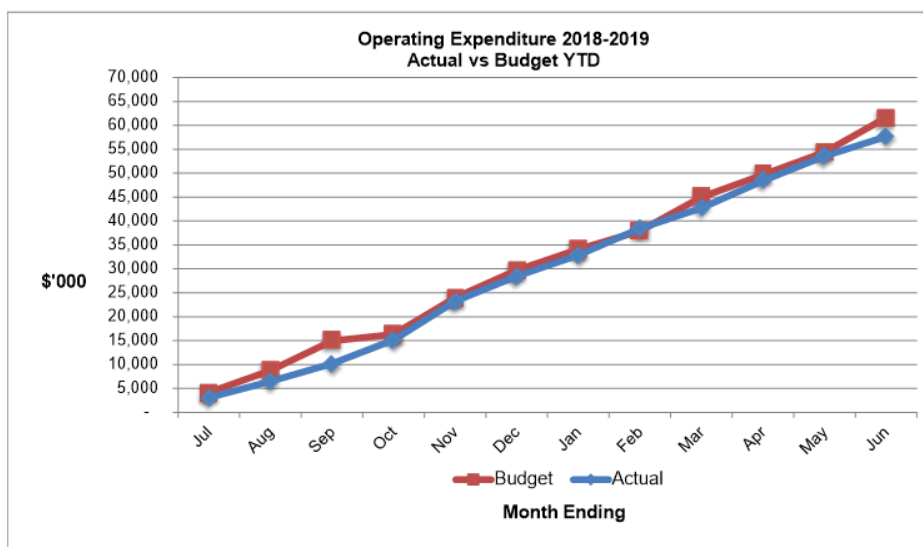
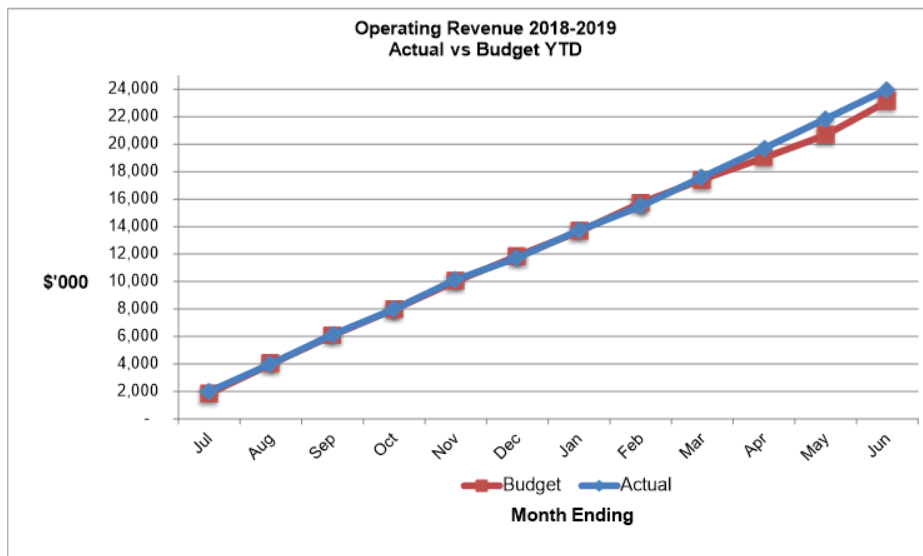
FINANCIAL/BUDGET IMPLICATIONS:

Not applicable.

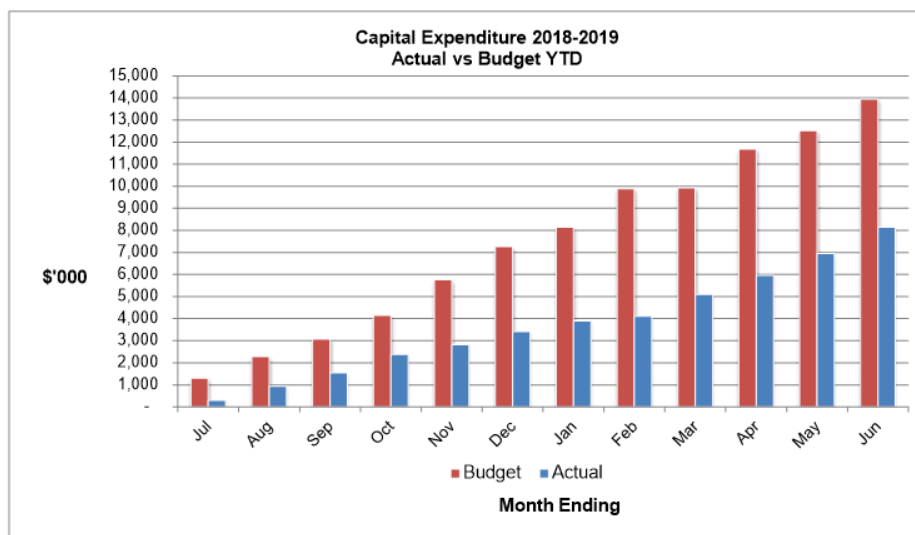
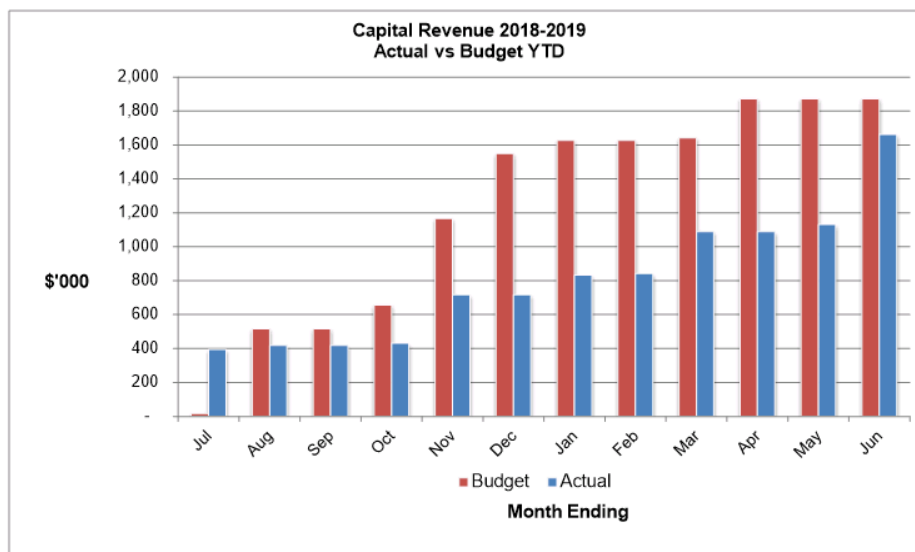
CITY OF VINCENT
NOTE 1 - STATEMENT OF FINANCIAL ACTIVITY
BY PROGRAM
AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 2018/19 \$	YTD Actual 2018/19 \$	YTD Variance 2018/19 \$	YTD Variance 2018/19 %
REVENUE FROM OPERATING ACTIVITIES (EXCLUDING RATES)					
Governance	56,240	56,240	45,040	(11,200)	-20%
General Purpose Funding	1,952,021	1,952,021	2,692,780	740,759	38%
Law, Order, Public Safety	195,385	195,385	168,813	(26,572)	-14%
Health	370,165	370,165	381,428	11,262	3%
Education and Welfare	224,115	224,115	184,921	(39,194)	-17%
Community Amenities	999,846	999,846	1,663,883	664,037	66%
Recreation and Culture	10,289,607	10,289,607	9,742,297	(547,310)	-5%
Transport	8,068,090	8,068,090	8,149,640	81,550	1%
Economic Services	261,500	261,500	313,518	52,018	20%
Other Property and Services	708,273	708,273	658,212	(50,061)	-7%
	23,125,242	23,125,242	24,000,532	875,290	4%
EXPENDITURE FROM OPERATING ACTIVITIES					
Governance	(2,664,421)	(2,664,421)	(2,684,063)	(19,642)	1%
General Purpose Funding	(881,463)	(881,463)	(872,018)	9,445	-1%
Law, Order, Public Safety	(1,593,050)	(1,593,050)	(1,353,509)	239,541	-15%
Health	(1,356,368)	(1,356,368)	(1,211,257)	145,111	-11%
Education and Welfare	(1,224,491)	(1,224,491)	(939,148)	285,343	-23%
Community Amenities	(12,926,490)	(12,926,490)	(11,147,237)	1,779,253	-14%
Recreation and Culture	(24,370,082)	(24,370,082)	(23,597,416)	772,666	-3%
Transport	(13,969,209)	(13,969,209)	(13,431,191)	538,018	-4%
Economic Services	(785,489)	(785,489)	(767,007)	18,482	-2%
Other Property and Services	(1,842,794)	(1,842,794)	(1,655,718)	187,076	-10%
	(61,613,857)	(61,613,857)	(57,658,565)	3,955,292	-6%
NET RESULT EXCLUDING GENERAL RATES	(38,488,615)	(38,488,615)	(33,658,033)	4,830,582	-13%
OPERATING ACTIVITIES EXCLUDED FROM BUDGET					
NON-CASH EXPENDITURE AND REVENUE					
Add Deferred Rates Adjustment	0	0	(2,742)	(2,742)	0%
(Profit)/Loss on Asset Disposals	(437,908)	(437,908)	(408,681)	29,227	-7%
"Percent for Art" and "Cash in Lieu" Funds					
Adjustment	0	0	0	0	0%
Add Back Depreciation	11,157,341	11,157,341	10,269,930	(887,411)	-8%
AMOUNT ATTRIBUTABLE TO OPERATING ACTIVITIES	10,719,433	10,719,433	9,858,507	(860,926)	-8%
INVESTING ACTIVITIES					
Non-Operating Grants, Subsidies and Contributions	1,872,868	1,872,868	1,661,757	(211,111)	-11%
Purchase Land and Buildings	(2,535,542)	(2,535,542)	(1,879,491)	656,051	-26%
Purchase Infrastructure Assets	(7,474,682)	(7,559,672)	(5,130,291)	2,429,381	-32%
Purchase Plant and Equipment	(2,972,882)	(2,887,892)	(1,023,984)	1,863,908	-65%
Purchase Furniture and Equipment	(969,870)	(969,870)	(115,623)	854,247	-88%
Proceeds from Joint Venture Operations	333,333	333,333	333,333	0	0%
Proceeds from Disposal of Assets	479,963	479,963	334,047	(145,916)	-30%
	(11,266,812)	(11,266,812)	(5,820,252)	5,446,560	-48%
FINANCING ACTIVITIES					
Repayments of Debentures	(1,017,424)	(1,017,424)	(948,227)	69,197	-7%
Proceeds from New Debentures	0	0	0	0	0%
Transfers to Reserves (Restricted Assets)	(1,892,713)	(1,892,713)	(2,096,212)	(203,499)	11%
Transfers from Reserves (Restricted Assets)	1,996,478	1,996,478	895,260	(1,101,218)	-55%
	(913,659)	(913,659)	(2,149,179)	(1,235,520)	135%
Plus: Surplus/(Deficiency) Brought Fwd 1 July 2018	5,524,402	5,524,402	5,524,405	3	0%
Surplus/(Deficiency) before General Rates	(34,425,251)	(34,425,251)	(26,244,552)	8,180,699	-24%
Total Amount raised from General Rates	34,561,485	34,561,485	34,102,294	(459,191)	-1%
Restricted Grant	0	0	0	0	0%
NET CURRENT ASSETS C/FWD - SURPLUS/(DEFICIT)	136,234	136,234	7,857,741	7,721,508	5668%

CITY OF VINCENT
NOTE 1 - STATEMENT OF FINANCIAL ACTIVITY
BY PROGRAM - GRAPH
AS AT 30 JUNE 2019



CITY OF VINCENT
NOTE 1 - CAPITAL REVENUE / EXPENDITURE PROGRAM
AS AT 30 JUNE 2019



CITY OF VINCENT
NOTE 2 - STATEMENT OF COMPREHENSIVE INCOME
BY NATURE OR TYPE
AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget Jun-19 \$	YTD Actual Jun-19 \$	YTD Variance Jun-19 \$	YTD Variance Jun-19 %
REVENUE					
Rates	34,561,485	34,561,485	34,102,294	(459,191)	-1%
Operating Grants, Subsidies and Contributions	659,633	659,633	1,639,174	979,541	148%
Fees and Charges	19,411,921	19,411,921	19,388,001	(23,920)	0%
Interest Earnings	961,260	961,260	1,155,652	194,392	20%
Other Revenue	1,462,365	1,462,365	1,390,353	(72,012)	-5%
	57,056,664	57,056,664	57,675,473	618,809	1%
EXPENDITURE					
Employee Costs	(27,167,931)	(27,167,931)	(27,605,526)	(437,595)	2%
Materials and Contracts	(18,686,189)	(18,686,189)	(16,333,384)	2,352,805	-13%
Utilities Charges	(1,912,150)	(1,912,150)	(1,775,804)	136,346	-7%
Interest Expenses	(954,449)	(954,449)	(821,837)	132,612	-14%
Insurance Expenses	(675,216)	(675,216)	(698,811)	(23,595)	3%
Depreciation on Non-Current Assets	(11,157,341)	(11,157,341)	(10,269,930)	887,411	-8%
Other Expenditure	(868,426)	(868,426)	(165,258)	703,168	-81%
	(61,421,702)	(61,421,702)	(57,670,550)	3,751,152	-6%
Non-Operating Grants, Subsidies and Contributions	1,872,868	1,872,868	1,661,757	(211,111)	-11%
Profit on Asset Disposals	630,063	630,063	427,353	(202,710)	-32%
Loss on Asset Disposals	(192,155)	(192,155)	(18,673)	173,482	-90%
	2,310,776	2,310,776	2,070,437	(240,339)	-10%
NET RESULT	(2,054,262)	(2,054,262)	2,075,360	4,129,622	-201%
OTHER COMPREHENSIVE INCOME					
Changes on Revaluation of Non-Current Assets	-	-	-	-	0%
TOTAL OTHER COMPREHENSIVE INCOME	(2,054,262)	(2,054,262)	2,075,360	4,129,622	-201%
TOTAL COMPREHENSIVE INCOME	(2,054,262)	(2,054,262)	2,075,360	4,129,622	-201%

CITY OF VINCENT
NOTE 3 - NET CURRENT FUNDING POSITION
AS AT 30 JUNE 2019

	Ref Note	Actual 30-Jun-19 \$	Actual 30-Jun-18 \$
Current Assets			
Cash - Unrestricted		10,340,332	9,434,051
Cash - Restricted Reserves		12,620,336	11,431,969
Trade and Other Receivables - Rates	7	231,842	488,384
Trade and Other Receivables - Other Debtors	8	2,126,361	2,651,072
Inventories		175,208	184,342
Total Current Assets		25,494,079	24,189,818
Less: Current Liabilities			
Sundry and Other Creditors		(1,889,313)	(4,332,747)
Provisions - Current		(3,593,092)	(3,367,101)
Total Current Liabilities		(5,482,405)	(7,699,847)
Less:			
Reserves - Restricted Cash	6	(12,620,336)	(11,431,969)
Trade and Other Receivables - Other Debtors - Restricted Grant		(600,000)	(600,000)
Infringement Debtors transferred to non current asset		1,066,403	1,066,403
Net Current Funding Position		7,857,741	5,524,405

CITY OF VINCENT
NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
BY SERVICE AREAS
AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
Chief Executive Officer						
Chief Executive Officer Expenditure						
Employee Costs	461,693	461,693	477,511	15,818	3%	
Other Employee Costs	18,432	18,432	18,526	94	1%	
Other Expenses	137,050	137,050	75,266	(61,784)	-45%	\$25k unspent funds carry forward for Management program and \$15k savings on legal cost.
Operating Projects	200,000	200,000	6,897	(193,104)	-97%	Beatty park options project still in planning stage, carried forward to FY 2019-20.
Chief Executive Officer Expenditure Total	817,175	817,175	578,199	(238,976)	-29%	
Chief Executive Officer Indirect Costs						
Allocations	(817,175)	(817,175)	(578,199)	238,976	-29%	
Chief Executive Officer Indirect Costs Total	(817,175)	(817,175)	(578,199)	238,976	-29%	
Chief Executive Officer Total	0	0	(0)	0		
Members of Council						
Members Of Council Revenue						
Revenue	(200)	(200)	(28)	173	-86%	
Members Of Council Revenue Total	(200)	(200)	(28)	173	-86%	
Members Of Council Expenditure						
Employee Costs	92,476	92,476	83,403	(9,073)	-10%	
Other Employee Costs	10,000	10,000	3,827	(6,173)	-62%	
Other Expenses	385,490	385,490	367,705	(17,785)	-5%	
Members Of Council Expenditure Total	487,966	487,966	454,936	(33,030)	-7%	
Members Of Council Indirect Costs						
Allocations	45,127	45,127	120,871	75,744	168%	
Members Of Council Indirect Costs Total	45,127	45,127	120,871	75,744	168%	
Members of Council Total	532,893	532,893	575,779	42,886	8%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
Other Governance						
Other Governance Expenditure						
Employee Costs	260,078	260,078	321,767	61,689	24%	Additional part time staff required in procurement area due to increased workload.
Other Employee Costs	10,000	10,000	6,658	(3,342)	-33%	
Other Expenses	148,800	148,800	71,570	(77,230)	-52%	Timing variance of \$23,000 on internal audit fees & \$10,000 on external audit fees, \$11,000 savings on consultants and \$24,000 relating to subsidies, will be adjusted as part of end of year process.
Operating Projects	50,800	50,800	42,392	(8,408)	-17%	
Other Governance Expenditure Total	469,678	469,678	442,388	(27,290)	-6%	
Other Governance Indirect Costs						
Allocations	130,830	130,830	135,810	4,980	4%	
Other Governance Indirect Costs Total	130,830	130,830	135,810	4,980	4%	
Other Governance Total	600,508	600,508	578,198	(22,310)	-4%	

CITY OF VINCENT
NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
BY SERVICE AREAS
AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Director Corporate Services</u>						
Director Corporate Services Expenditure						
Employee Costs	515,532	515,532	660,193	144,661	28%	One off redundancy payment.
Other Employee Costs	8,776	8,776	8,410	(366)	-4%	
Other Expenses	26,700	26,700	7,259	(19,441)	-73%	\$14,000 savings on consultants cost.
Director Corporate Services Expenditure Total	551,008	551,008	675,862	124,854	23%	
Director Corporate Services Indirect Costs						
Allocations	(551,008)	(551,008)	(675,862)	(124,854)	23%	
Director Corporate Services Indirect Costs Total	(551,008)	(551,008)	(675,862)	(124,854)	23%	
Director Corporate Services Total	0	0	0	(0)	100%	
<u>Human Resources</u>						
Human Resources Revenue						
Revenue	(50,040)	(50,040)	(37,444)	12,596	-25%	Paid parental leave lower than budgeted estimates.
Human Resources Revenue Total	(50,040)	(50,040)	(37,444)	12,596	-25%	
Human Resources Expenditure						
Employee Costs	671,353	671,353	722,542	51,189	8%	
Other Employee Costs	85,630	85,630	92,205	6,575	8%	
Other Expenses	114,235	114,235	109,335	(4,900)	-4%	
Human Resources Expenditure Total	871,218	871,218	924,083	52,865	6%	
Human Resources Indirect Costs						
Allocations	(821,178)	(821,178)	(886,229)	(65,051)	8%	
Human Resources Indirect Costs Total	(821,178)	(821,178)	(886,229)	(65,051)	8%	
Human Resources Total	0	0	409	409	100%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Insurance Premium</u>						
Insurance Premium Expenditure						
Other Expenses	675,216	675,216	698,811	23,595	3%	
Insurance Premium Expenditure Total	675,216	675,216	698,811	23,595	3%	
Insurance Premium Recovery						
Allocations	(675,216)	(675,216)	(698,800)	(23,584)	3%	
Insurance Premium Recovery Total	(675,216)	(675,216)	(698,800)	(23,584)	3%	
Insurance Premium Total	0	0	11	11	100%	
<u>Insurance Claim</u>						
Insurance Claim Recoup						
Revenue	(50,000)	(50,000)	(83,274)	(33,274)	67%	Recoup of insurance claim for vehicle write-off and stolen CCTV cameras.
Insurance Claim Recoup Total	(50,000)	(50,000)	(83,274)	(33,274)	67%	
Insurance Claim Expenditure						
Other Expenses	15,000	15,000	19,380	4,380	29%	
Insurance Claim Expenditure Total	15,000	15,000	19,380	4,380	29%	
Insurance Claim Total	(35,000)	(35,000)	(63,894)	(28,894)	83%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Mindarie Regional Council</u>						
Mindarie Regional Council Revenue						
Revenue	(92,000)	(92,000)	(115,029)	(23,029)	25%	\$26,033 ATO GST credit from land sales part of Tamala Park.
Mindarie Regional Council Revenue Total	(92,000)	(92,000)	(115,029)	(23,029)	25%	
Mindarie Regional Council Expenditure						
Other Expenses	49,000	49,000	26,268	(22,732)	-46%	No other expenditure anticipated, hence potential savings.
Mindarie Regional Council Expenditure Total	49,000	49,000	26,268	(22,732)	-46%	
Mindarie Regional Council Total	(43,000)	(43,000)	(88,761)	(45,761)	106%	
<u>General Purpose Revenue</u>						
General Purpose Revenue						
Revenue	(1,206,421)	(1,206,421)	(1,948,584)	(742,163)	62%	\$160,682 favourable variance on interest relating to investments and \$566,063 Grant received in advance (FAGS).
General Purpose Revenue Total	(1,206,421)	(1,206,421)	(1,948,584)	(742,163)	62%	
General Purpose Revenue Total	(1,206,421)	(1,206,421)	(1,948,584)	(742,163)	62%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Rates Services</u>						
Rates Services Revenue						
Revenue	(35,307,085)	(35,307,085)	(34,846,489)	460,596	-1%	
Rates Services Revenue Total	(35,307,085)	(35,307,085)	(34,846,489)	460,596	-1%	
Rates Services Expenditure						
Employee Costs	242,938	242,938	257,663	14,725	6%	
Other Expenses	503,400	503,400	475,895	(27,505)	-5%	
Rates Services Expenditure Total	746,338	746,338	733,557	(12,781)	-2%	
Rates Services Indirect Costs						
Allocations	135,125	135,125	138,461	3,336	2%	
Rates Services Indirect Costs Total	135,125	135,125	138,461	3,336	2%	
Rates Services Total	(34,425,622)	(34,425,622)	(33,974,472)	451,150	-1%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Finance Services</u>						
Finance Services Revenue						
Revenue	700	700	(1,636)	(2,336)	-334%	
Finance Services Revenue Total	700	700	(1,636)	(2,336)	-334%	
Finance Services Expenditure						
Employee Costs	791,696	791,696	716,898	(74,798)	-9%	
Other Employee Costs	11,510	11,510	68,788	57,278	498%	\$59,079 relates to temporary personnel costs to fill for vacant position. This overspend is offset by the underspend in employee costs.
Other Expenses	201,010	201,010	146,750	(54,260)	-27%	\$30,000 savings on consultants.
Finance Services Expenditure Total	1,004,216	1,004,216	932,436	(71,780)	-7%	
Finance Services Indirect Costs						
Allocations	(1,004,916)	(1,004,916)	(930,800)	74,116	-7%	
Finance Services Indirect Costs Total	(1,004,916)	(1,004,916)	(930,800)	74,116	-7%	
Finance Services Total	0	0	(0)	0	100%	

CITY OF VINCENT
NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
BY SERVICE AREAS
AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
Information Technology						
Information Technology Expenditure						
Employee Costs	500,725	500,725	507,568	6,843	1%	
Other Employee Costs	37,500	37,500	27,506	(9,994)	-27%	
Other Expenses	848,872	848,872	1,011,202	162,330	19%	\$150,889 relates to prepaid licence fees on software annual maintenance. the year end adjustment for prepayments still to be processed. \$105,556 is over spent on purchase of furniture and equipment because assets less than \$5,000 that were costed to the capital account, have now been expensed to the operating account. This is offset by a favourable variance of \$75,334 for consultants costs, \$12,771 for hardware maintenance costs and \$13,231 for software upgrades.
Operating Projects	300,000	300,000	49,647	(250,353)	-83%	Funds carried forward to FY 19-20.
Information Technology Expenditure Total	1,687,097	1,687,097	1,595,923	(91,174)	-5%	
Information Technology Indirect Costs						
Allocations	(1,687,097)	(1,687,097)	(1,580,584)	106,513	-6%	
Information Technology Indirect Costs Total	(1,687,097)	(1,687,097)	(1,580,584)	106,513	-6%	
Information Technology Total	0	0	15,339	15,339	100%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Records Management</u>						
Records Management Revenue						
Revenue	(1,000)	(1,000)	(612)	388	-39%	
Records Management Revenue Total	(1,000)	(1,000)	(612)	388	-39%	
 Records Management Expenditure						
Employee Costs	293,319	293,319	281,127	(12,192)	-4%	
Other Employee Costs	20,150	20,150	2,246	(17,904)	-89%	\$15,000 agency labour cost not required.
Other Expenses	56,400	56,400	49,520	(6,880)	-12%	
Operating Projects	7,200	7,200	800	(6,400)	-89%	
Records Management Expenditure Total	377,069	377,069	333,693	(43,376)	-12%	
 Records Management Indirect Costs						
Allocations	(376,069)	(376,069)	(333,081)	42,988	-11%	
Records Management Indirect Costs Total	(376,069)	(376,069)	(333,081)	42,988	-11%	
Records Management Total	0	0	0	(0)	100%	
 <u>Director Community Engagement</u>						
Director Community Engagement Expenditure						
Employee Costs	281,528	281,528	286,346	4,818	2%	
Other Employee Costs	8,566	8,566	11,160	2,594	30%	
Other Expenses	6,300	6,300	4,048	(2,252)	-36%	
Director Community Engagement Expenditure Total	296,394	296,394	301,554	5,160	2%	
 Director Community Engagement Indirect Costs						
Allocations	(296,394)	(296,394)	(301,554)	(5,160)	2%	
Director Community Engagement Indirect Costs Total	(296,394)	(296,394)	(301,554)	(5,160)	2%	
Director Community Engagement Total	0	0	0	0	100%	

CITY OF VINCENT
NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
BY SERVICE AREAS
AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Marketing and Communications</u>						
Marketing and Communications Revenue						
Revenue	(5,000)	(5,000)	(6,956)	(1,956)	39%	
Marketing and Communications Revenue Total	(5,000)	(5,000)	(6,956)	(1,956)	39%	
Marketing and Communications Expenditure						
Employee Costs	726,858	726,858	808,469	81,611	11%	Due to additional \$42,975 graphic designer contractor costs. The remainder is for additional staff whilst employee was on leave and overtime costs for events.
Other Employee Costs	19,750	19,750	6,766	(12,984)	-66%	Savings of \$5,657 conference and seminars, \$5,131 training course and \$2,200 telephone allowance.
Other Expenses	407,003	407,003	393,898	(13,105)	-3%	
Operating Projects	37,000	37,000	6,705	(30,295)	-82%	Savings because the Town Centre Branding project has been cancelled.
Marketing and Communications Expenditure Total	1,190,611	1,190,611	1,215,838	25,227	2%	
Marketing and Communications Indirect Costs						
Allocations	281,994	281,994	269,841	(12,153)	-4%	
Marketing and Communications Indirect Costs Total	281,994	281,994	269,841	(12,153)	-4%	
Marketing and Communications Total	1,467,605	1,467,605	1,478,722	11,117	1%	
<u>Art and Culture</u>						
Art and Culture						
Other Expenses	315,023	315,023	267,869	(47,154)	-15%	Outstanding sponsorships payments pending - \$18,000 Beaufort St Festival and \$20,909 on Holmes a Court Gallery.
Art and Culture Total	315,023	315,023	267,869	(47,154)	-15%	
Art and Culture Indirect Costs						
Allocations	44,081	44,081	40,606	(3,475)	-8%	
Art and Culture Indirect Costs Total	44,081	44,081	40,606	(3,475)	-8%	
Art and Culture Total	359,104	359,104	308,476	(50,628)	-14%	

CITY OF VINCENT
NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
BY SERVICE AREAS
AS AT 30 JUNE 2019

Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
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CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Customer Service Centre</u>						
Customer Services Centre Expenditure						
Employee Costs	358,720	358,720	366,876	8,156	2%	
Other Employee Costs	29,750	29,750	2,773	(26,977)	-91%	Savings of \$15,000 on agency labour costs.
Other Expenses	46,800	46,800	18,599	(28,201)	-60%	\$16,421 timing variance on telephone charges and \$5,000 savings on furniture and equipment.
Customer Services Centre Expenditure Total	435,270	435,270	388,248	(47,022)	-11%	
Customer Services Centre Indirect Costs						
Allocations	(435,270)	(435,270)	(388,002)	47,268	-11%	
Customer Services Centre Indirect Costs Total	(435,270)	(435,270)	(388,002)	47,268	-11%	
Customer Service Centre Total	0	0	246	246	100%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Beatty Park Leisure Centre Administration</u>						
Beatty Park Leisure Centre Admin Revenue						
Revenue	(2,614,300)	(2,614,300)	(2,592,814)	21,486	-1%	
Beatty Park Leisure Centre Admin Revenue Total	(2,614,300)	(2,614,300)	(2,592,814)	21,486	-1%	
Beatty Park Leisure Centre Admin Indirect Revenue						
Allocations	2,614,300	2,614,300	2,592,814	(21,486)	-1%	
Beatty Park Leisure Centre Admin Indirect Revenue Total	2,614,300	2,614,300	2,592,814	(21,486)	-1%	
Beatty Park Leisure Centre Admin Expenditure						
Employee Costs	948,948	948,948	877,340	(71,608)	-8%	
Other Employee Costs	13,631	13,631	10,221	(3,410)	-25%	
Other Expenses	348,144	348,144	430,836	82,692	24%	Unfavourable variance because \$76,612 transferred from capital account as items purchased were below the asset threshold value of \$5,000.
Operating Projects	180,000	180,000	0	(180,000)	-100%	Beatty Park painting project to be carried forward to 2019/20.
Beatty Park Leisure Centre Admin Expenditure Total	1,490,723	1,490,723	1,318,397	(172,326)	-12%	
Beatty Park Leisure Centre Admin Indirect Costs						
Allocations	(1,490,723)	(1,490,723)	(1,318,397)	172,326	-12%	
Beatty Park Leisure Centre Admin Indirect Costs Total	(1,490,723)	(1,490,723)	(1,318,397)	172,326	-12%	
Beatty Park Leisure Centre Administration Total	0	0	0	0	100%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Beatty Park Leisure Centre Building</u>						
Beatty Park Leisure Centre Building Revenue						
Revenue	(159,260)	(159,260)	(159,700)	(440)	0%	
Beatty Park Leisure Centre Building Revenue Total	(159,260)	(159,260)	(159,700)	(440)	0%	
 Beatty Park Leisure Centre Occupancy Costs						
Building Maintenance	546,650	546,650	593,051	46,401	8%	
Ground Maintenance	52,200	52,200	58,632	6,432	12%	
Other Expenses	2,076,360	2,076,360	1,980,987	(95,373)	-5%	
Beatty Park Leisure Centre Occupancy Costs Total	2,675,210	2,675,210	2,632,670	(42,540)	-2%	
 Beatty Park Leisure Centre Indirect Costs						
Allocations	(2,515,950)	(2,515,950)	(2,469,457)	46,493	-2%	
Beatty Park Leisure Centre Indirect Costs Total	(2,515,950)	(2,515,950)	(2,469,457)	46,493	-2%	
Beatty Park Leisure Centre Building Total	0	0	3,513	3,513	100%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
Swimming Pool Areas						
Swimming Pool Areas Revenue						
Revenue	(1,798,800)	(1,798,800)	(1,730,401)	68,399	-4%	
Swimming Pool Areas Revenue Total	(1,798,800)	(1,798,800)	(1,730,401)	68,399	-4%	
Swimming Pool Areas Indirect Revenue						
Allocations	(738,092)	(738,092)	(731,951)	6,141	-1%	
Swimming Pool Areas Indirect Revenue Total	(738,092)	(738,092)	(731,951)	6,141	-1%	
Swimming Pool Areas Expenditure						
Employee Costs	1,009,900	1,009,900	1,024,982	15,082	1%	
Other Employee Costs	21,000	21,000	16,461	(4,539)	-22%	
Other Expenses	255,345	255,345	306,789	51,444	20%	Breakdown of geothermal unit requiring extensive repairs as well as increased general maintenance costs due to age of equipment and unexpected failures.
Swimming Pool Areas Expenditure Total	1,286,245	1,286,245	1,348,232	61,987	5%	
Swimming Pool Areas Indirect Costs						
Allocations	1,681,695	1,681,695	2,582,660	900,965	54%	
Swimming Pool Areas Indirect Costs Total	1,681,695	1,681,695	2,582,660	900,965	54%	
Swimming Pool Areas Total	431,048	431,048	1,468,540	1,037,492	241%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
Swim School						
Swim School Revenue						
Revenue	(1,572,000)	(1,572,000)	(1,554,152)	17,848	-1%	
Swim School Revenue Total	(1,572,000)	(1,572,000)	(1,554,152)	17,848	-1%	
Swim School Indirect Revenue						
Allocations	(732,102)	(732,102)	(725,988)	6,114	-1%	
Swim School Indirect Revenue Total	(732,102)	(732,102)	(725,988)	6,114	-1%	
Swim School Expenditure						
Employee Costs	853,872	853,872	852,689	(1,183)	0%	
Other Employee Costs	7,500	7,500	3,557	(3,943)	-53%	
Other Expenses	32,520	32,520	29,889	(2,631)	-8%	
Swim School Expenditure Total	893,892	893,892	886,135	(7,757)	-1%	
Swim School Indirect Costs						
Allocations	1,666,480	1,666,480	852,843	(813,637)	-49%	
Swim School Indirect Costs Total	1,666,480	1,666,480	852,843	(813,637)	-49%	
Swim School Total	256,270	256,270	(541,162)	(797,432)	-311%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
Café						
Cafe Revenue						
Revenue	(707,000)	(707,000)	(677,305)	29,695	-4%	
Cafe Revenue Total	(707,000)	(707,000)	(677,305)	29,695	-4%	
Cafe Indirect Revenue						
Allocations	(305,309)	(305,309)	(302,841)	2,468	-1%	
Cafe Indirect Revenue Total	(305,309)	(305,309)	(302,841)	2,468	-1%	
Cafe Expenditure						
Employee Costs	423,168	423,168	422,380	(788)	0%	
Other Employee Costs	1,000	1,000	447	(553)	-55%	
Other Expenses	317,950	317,950	309,147	(8,803)	-3%	
Cafe Expenditure Total	742,118	742,118	731,974	(10,144)	-1%	
Cafe Indirect Costs						
Allocations	695,698	695,698	344,524	(351,174)	-50%	
Cafe Indirect Costs Total	695,698	695,698	344,524	(351,174)	-50%	
Café Total	425,507	425,507	96,352	(329,155)	-77%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
Retail						
Retail Revenue						
Revenue	(520,000)	(520,000)	(486,781)	33,219	-6%	
Retail Revenue Total	(520,000)	(520,000)	(486,781)	33,219	-6%	
Retail Indirect Revenue						
Allocations	(58,284)	(58,284)	(57,820)	464	-1%	
Retail Indirect Revenue Total	(58,284)	(58,284)	(57,820)	464	-1%	
Retail Expenditure						
Employee Costs	58,299	58,299	60,053	1,754	3%	
Other Employee Costs	1,500	1,500	480	(1,020)	-68%	
Other Expenses	286,650	286,650	260,052	(26,598)	-9%	
Retail Expenditure Total	346,449	346,449	320,584	(25,865)	-7%	
Retail Indirect Costs						
Allocations	132,631	132,631	150,936	18,305	14%	
Retail Indirect Costs Total	132,631	132,631	150,936	18,305	14%	
Retail Total	(99,204)	(99,204)	(73,081)	26,123	-26%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
Health and Fitness						
Health and Fitness Revenue						
Revenue	(181,500)	(181,500)	(164,893)	16,607	-9%	
Health and Fitness Revenue Total	(181,500)	(181,500)	(164,893)	16,607	-9%	
Health and Fitness Indirect Revenue						
Allocations	(381,054)	(381,054)	(378,032)	3,022	-1%	
Health and Fitness Indirect Revenue Total	(381,054)	(381,054)	(378,032)	3,022	-1%	
Health and Fitness Expenditure						
Employee Costs	539,199	539,199	541,715	2,516	0%	
Other Employee Costs	8,500	8,500	2,758	(5,742)	-68%	
Other Expenses	167,211	167,211	174,861	7,650	5%	
Health and Fitness Expenditure Total	714,910	714,910	719,334	4,424	1%	
Health and Fitness Indirect Costs						
Allocations	868,478	868,478	861,334	(7,144)	-1%	
Health and Fitness Indirect Costs Total	868,478	868,478	861,334	(7,144)	-1%	
Health and Fitness Total	1,020,834	1,020,834	1,037,743	16,909	2%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
Group Fitness						
Group Fitness Revenue						
Revenue	(171,500)	(171,500)	(143,293)	28,207	-16%	Revenue lower than anticipated.
Group Fitness Revenue Total	(171,500)	(171,500)	(143,293)	28,207	-16%	
Group Fitness Indirect Revenue						
Allocations	(151,706)	(151,706)	(150,383)	1,323	-1%	
Group Fitness Indirect Revenue Total	(151,706)	(151,706)	(150,383)	1,323	-1%	
Group Fitness Expenditure						
Employee Costs	270,873	270,873	264,049	(6,824)	-3%	
Other Employee Costs	1,000	1,000	651	(349)	-35%	
Other Expenses	118,639	118,639	122,786	4,147	3%	
Group Fitness Expenditure Total	390,512	390,512	387,486	(3,026)	-1%	
Group Fitness Indirect Costs						
Allocations	347,243	347,243	296,269	(50,974)	-15%	
Group Fitness Indirect Costs Total	347,243	347,243	296,269	(50,974)	-15%	
Group Fitness Total	414,549	414,549	390,079	(24,470)	-6%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Aqua Fitness</u>						
Aqua Fitness Revenue						
Revenue	(33,000)	(33,000)	(30,165)	2,835	-9%	
Aqua Fitness Revenue Total	(33,000)	(33,000)	(30,165)	2,835	-9%	
Aqua Fitness Indirect Revenue						
Allocations	(24,477)	(24,477)	(24,372)	105	0%	
Aqua Fitness Indirect Revenue Total	(24,477)	(24,477)	(24,372)	105	0%	
Aqua Fitness Expenditure						
Employee Costs	31,886	31,886	26,925	(4,961)	-16%	
Other Expenses	5,852	5,852	7,914	2,062	35%	
Aqua Fitness Expenditure Total	37,738	37,738	34,839	(2,899)	-8%	
Aqua Fitness Indirect Costs						
Allocations	56,110	56,110	195,395	139,285	248%	
Aqua Fitness Indirect Costs Total	56,110	56,110	195,395	139,285	248%	
Aqua Fitness Total	36,371	36,371	175,696	139,325	383%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
Crèche						
Crèche Revenue						
Revenue	(20,500)	(20,500)	(24,852)	(4,352)	21%	
Crèche Revenue Total	(20,500)	(20,500)	(24,852)	(4,352)	21%	
Crèche Indirect Revenue						
Allocations	(223,276)	(223,276)	(221,426)	1,850	-1%	
Crèche Indirect Revenue Total	(223,276)	(223,276)	(221,426)	1,850	-1%	
Crèche Expenditure						
Employee Costs	241,455	241,455	209,811	(31,644)	-13%	Low patronage resulting in less demand for staff.
Other Employee Costs	1,250	1,250	769	(481)	-38%	
Other Expenses	2,075	2,075	944	(1,131)	-55%	
Crèche Expenditure Total	244,780	244,780	211,524	(33,256)	-14%	
Crèche Indirect Costs						
Allocations	507,820	507,820	279,529	(228,291)	-45%	
Crèche Indirect Costs Total	507,820	507,820	279,529	(228,291)	-45%	
Crèche Total	508,824	508,824	244,774	(264,050)	-52%	

CITY OF VINCENT
NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
BY SERVICE AREAS
AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Community Partnership Mgmt Administration</u>						
Community Partnerships Management Administration						
Employee Costs	692,048	692,048	645,900	(46,148)	-7%	
Other Expenses	187,350	187,350	109,277	(78,073)	-42%	Awaiting any outstanding invoices relating to consultancy costs for payment by the cut-off date.
Community Partnerships Management Administration Total	879,398	879,398	755,176	(124,222)	-14%	
Community Partnerships Mgmt Admin Indirect Costs						
Allocations	84,338	84,338	82,150	(2,188)	-3%	
Library Occupancy Costs Allocations	5,865	5,865	0	(5,865)	-100%	
Community Partnerships Mgmt Admin Recove	(969,601)	(969,601)	(812,397)	157,204	-16%	Allocation variances to be rectified as part of the end of year process.
Community Partnerships Mgmt Admin Indirect Costs Total	(879,398)	(879,398)	(730,246)	149,152	-17%	
Community Partnership Mgmt Administration Total	0	0	24,930	24,930	100%	
<u>Community Connections</u>						
Community Connections Expenditure						
Employee Costs	86,309	86,309	89,823	3,514	4%	
Other Employee Costs	5,200	5,200	6,083	883	17%	
Other Expenses	77,400	77,400	72,380	(5,020)	-6%	
Community Connections Expenditure Total	168,909	168,909	168,286	(623)	0%	
Community Connections Indirect Costs						
Allocations	66,854	66,854	72,473	5,619	8%	
Community Partnerships Mgmt Admin Alloca	242,403	242,403	0	(242,403)	-100%	Allocation variances to be rectified as part of the end of year process.
Library Occupancy Costs Allocations	5,065	5,065	0	(5,065)	-100%	
Community Connections Indirect Costs Total	314,322	314,322	72,473	(241,849)	-77%	
Community Connections Total	483,231	483,231	240,759	(242,472)	-50%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Recreation, Arts and Culture</u>						
Recreation, Arts and Culture Revenue						
Revenue	(19,800)	(19,800)	(69,419)	(49,619)	251%	\$25,000 funding received for Leederville masterplan.
Recreation, Arts and Culture Revenue Total	(19,800)	(19,800)	(69,419)	(49,619)	251%	
<u>Recreation, Arts and Culture Expenditure</u>						
Employee Costs	88,394	88,394	93,764	5,370	6%	
Other Employee Costs	4,422	4,422	4,934	512	12%	
Other Expenses	171,870	171,870	151,374	(20,496)	-12%	\$13k saving relating to Lightbox Laneway Gallery.
Recreation, Arts and Culture Expenditure Total	264,686	264,686	250,072	(14,614)	-6%	
Recreation, Arts and Culture Indirect Costs						
Allocations	149,872	149,872	155,999	6,127	4%	
Community Partnerships Mgmt Admin Alloca	181,802	181,802	365,578	183,776	101%	Allocation variances to be rectified as part of the end of year process.
Library Occupancy Costs Allocations	11,133	11,133	0	(11,133)	-100%	
Recreation, Arts and Culture Indirect Costs Total	342,807	342,807	521,577	178,770	52%	
Recreation, Arts and Culture Total	587,693	587,693	702,231	114,538	19%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Senior, Disability and Youth Services</u>						
Senior, Disability and Youth Services Revenue						
Revenue	(25,000)	(25,000)	(10,148)	14,852	-59%	\$6k grants applied but not received. Works relating to grant not completed.
Senior, Disability and Youth Services Revenue Total	(25,000)	(25,000)	(10,148)	14,852	-59%	
Senior, Disability and Youth Services Expenditure						
Employee Costs	147,326	147,326	121,880	(25,446)	-17%	Variance due to vacant position.
Other Employee Costs	1,260	1,260	697	(563)	-45%	
Other Expenses	202,600	202,600	75,639	(126,961)	-63%	Underspent because of a timing variance in the grant monies being paid off in 2019/20.
Senior, Disability and Youth Services Expenditure Total	351,186	351,186	198,216	(152,970)	-44%	
Senior, Disability and Youth Serv Indirect Costs						
Allocations	54,363	54,363	56,750	2,387	4%	
Community Partnerships Mgmt Admin Alloca	424,197	424,197	324,959	(99,238)	-23%	Allocation variances to be rectified as part of the end of year process.
Library Occupancy Costs Allocations	4,054	4,054	0	(4,054)	-100%	
Senior, Disability and Youth Serv Indirect Costs Total	482,614	482,614	381,709	(100,905)	-21%	
Senior, Disability and Youth Services Total	808,800	808,800	569,777	(239,023)	-30%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Library Services</u>						
Library Services Revenue						
Revenue	(18,200)	(18,200)	(26,255)	(8,055)	44%	
Library Services Revenue Total	(18,200)	(18,200)	(26,255)	(8,055)	44%	
Library Services Expenditure						
Employee Costs	874,393	874,393	858,247	(16,146)	-2%	
Other Employee Costs	7,510	7,510	6,195	(1,315)	-18%	
Other Expenses	107,000	107,000	88,847	(18,153)	-17%	Favourable variance, however breakdown is individually immaterial.
Library Services Expenditure Total	988,903	988,903	953,288	(35,615)	-4%	
Library Services Indirect Costs						
Allocations	375,219	375,219	357,213	(18,006)	-5%	
Community Partnerships Mgmt Admin Alloca	121,199	121,199	121,859	660	1%	
Library Occupancy Costs Allocations	27,757	27,757	0	(27,757)	-100%	
Library Services Indirect Costs Total	524,175	524,175	479,073	(45,102)	-9%	
Library Services Total	1,494,878	1,494,878	1,406,106	(88,772)	-6%	

CITY OF VINCENT
NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
BY SERVICE AREAS
AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Library Building</u>						
Library Occupancy Costs						
Building Maintenance	89,000	89,000	93,387	4,387	5%	
Ground Maintenance	0	0	258	258	100%	
Other Expenses	175,354	175,354	155,345	(20,009)	-11%	\$8,636 timing variance on electricity expense that might get accrued as part of the end of year processing dependent on when the invoices are received. \$11,781 favourable variance on depreciation costs.
Library Occupancy Costs Total	264,354	264,354	248,990	(15,364)	-6%	
Library Indirect Costs						
Allocations	5,010	5,010	5,010	0	0%	
Library Occupancy Costs Recovery	(53,874)	(53,874)	0	53,874	-100%	
Library Indirect Costs Total	(48,864)	(48,864)	5,010	53,874	-110%	
Library Building Total	215,490	215,490	254,000	38,510	18%	
<u>Ranger Services Administration</u>						
Ranger Services Administration Revenue						
Revenue	(2,800)	(2,800)	(3,438)	(638)	23%	
Ranger Services Administration Revenue Total	(2,800)	(2,800)	(3,438)	(638)	23%	
Ranger Services Administration Expenditure						
Employee Costs	2,299,588	2,299,588	2,405,456	105,868	5%	
Other Employee Costs	49,491	49,491	37,059	(12,432)	-25%	Favourable variance of \$10,000 on agency labour costs.
Other Expenses	200,220	200,220	127,357	(72,863)	-36%	Favourable variance of \$15,521 on legal costs and \$33,982 on postage, printing and photocopying.
Ranger Services Administration Expenditure Total	2,549,299	2,549,299	2,569,872	20,573	1%	
Ranger Services Administration Indirect Costs						
Allocations	(2,546,499)	(2,546,499)	(2,566,265)	(19,766)	1%	
Ranger Services Administration Indirect Costs Total	(2,546,499)	(2,546,499)	(2,566,265)	(19,766)	1%	
Ranger Services Administration Total	0	0	170	170	100%	

CITY OF VINCENT
NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
BY SERVICE AREAS
AS AT 30 JUNE 2019

Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
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CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Fire Prevention</u>						
Fire Prevention Revenue						
Revenue	(2,500)	(2,500)	(402)	2,098	-84%	
Fire Prevention Revenue Total	(2,500)	(2,500)	(402)	2,098	-84%	
Fire Prevention Indirect Costs						
Allocations	32,295	32,295	221,955	189,660	587%	
Fire Prevention Indirect Costs Total	32,295	32,295	221,955	189,660	587%	
Fire Prevention Total	29,795	29,795	221,553	191,758	644%	
<u>Animal Control</u>						
Animal Control Revenue						
Revenue	(90,700)	(90,700)	(92,591)	(1,891)	2%	
Animal Control Revenue Total	(90,700)	(90,700)	(92,591)	(1,891)	2%	
Animal Control Expenditure						
Other Expenses	19,000	19,000	20,381	1,381	7%	
Animal Control Expenditure Total	19,000	19,000	20,381	1,381	7%	
Animal Control Indirect Costs						
Allocations	335,843	335,843	220,415	(115,428)	-34%	
Animal Control Indirect Costs Total	335,843	335,843	220,415	(115,428)	-34%	
Animal Control Total	264,143	264,143	148,204	(115,939)	-44%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Local Laws (Law and Order)</u>						
Local Laws (Law and Order) Revenue						
Revenue	(46,350)	(46,350)	(47,425)	(1,075)	2%	
Local Laws (Law and Order) Revenue Total	(46,350)	(46,350)	(47,425)	(1,075)	2%	
Local Laws (Law and Order) Expenditure						
Other Expenses	0	0	468	468	100%	
Local Laws (Law and Order) Expenditure Total	0	0	468	468	100%	
Local Laws (Law and Order) Indirect Costs						
Allocations	491,281	491,281	440,830	(50,451)	-10%	
Local Laws (Law and Order) Indirect Costs Total	491,281	491,281	440,830	(50,451)	-10%	
Local Laws (Law and Order) Total	444,931	444,931	393,873	(51,058)	-11%	
<u>Abandoned Vehicles</u>						
Abandoned Vehicles Revenue						
Revenue	(19,000)	(19,000)	(11,245)	7,755	-41%	
Abandoned Vehicles Revenue Total	(19,000)	(19,000)	(11,245)	7,755	-41%	
Abandoned Vehicles Expenditure						
Other Expenses	10,000	10,000	7,583	(2,417)	-24%	
Abandoned Vehicles Expenditure Total	10,000	10,000	7,583	(2,417)	-24%	
Abandoned Vehicles Indirect Costs						
Allocations	415,325	415,325	220,415	(194,910)	-47%	
Abandoned Vehicles Indirect Costs Total	415,325	415,325	220,415	(194,910)	-47%	
Abandoned Vehicles Total	406,325	406,325	216,753	(189,572)	-47%	

CITY OF VINCENT
NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
BY SERVICE AREAS
AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Inspectorial Control</u>						
Inspectorial Control Revenue						
Revenue	(2,427,400)	(2,427,400)	(2,641,243)	(213,843)	9%	
Inspectorial Control Revenue Total	(2,427,400)	(2,427,400)	(2,641,243)	(213,843)	9%	
Inspectorial Control Expenditure						
Other Expenses	1,193,200	1,193,200	1,474,325	281,125	24%	Unfavourable variance of \$34,719 in bank charges. \$399,109 relates to prepayment for parking licences. Year end processing relating to prepayments is still pending. This unfavourable variance is offset by a positive variance of \$14,986 on legal costs, \$55,000 bad debts, \$45,797 software licences and \$24,289 for parking ticket supplies.
Inspectorial Control Expenditure Total	1,193,200	1,193,200	1,474,325	281,125	24%	
Inspectorial Control Indirect Costs						
Allocations	2,477,733	2,477,733	2,571,510	93,777	4%	
Inspectorial Control Indirect Costs Total	2,477,733	2,477,733	2,571,510	93,777	4%	
Inspectorial Control Total	1,243,533	1,243,533	1,404,592	161,059	13%	
<u>Car Park Control</u>						
Car Park Control Revenue						
Revenue	(2,913,040)	(2,913,040)	(2,888,185)	24,855	-1%	
Car Park Control Revenue Total	(2,913,040)	(2,913,040)	(2,888,185)	24,855	-1%	
Car Park Control Expenditure						
Ground Maintenance	169,830	169,830	193,327	23,497	14%	Additional maintenance work of \$19,000 at Loftus centre car park.
Other Expenses	821,334	821,334	777,141	(44,193)	-5%	
Car Park Control Expenditure Total	991,164	991,164	970,468	(20,696)	-2%	
Car Park Control Total	(1,921,876)	(1,921,876)	(1,917,717)	4,159	0%	

CITY OF VINCENT
NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
BY SERVICE AREAS
AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Kerbside Parking Control</u>						
Kerbside Parking Control Revenue						
Revenue	(2,646,150)	(2,646,150)	(2,547,279)	98,871	-4%	
Kerbside Parking Control Revenue Total	(2,646,150)	(2,646,150)	(2,547,279)	98,871	-4%	
Kerbside Parking Control Expenditure						
Other Expenses	546,964	546,964	401,463	(145,501)	-27%	Positive variance of \$130,429 for leasing cost due to system error, to be adjusted once relevant rollover process is completed.
Kerbside Parking Control Expenditure Total	546,964	546,964	401,463	(145,501)	-27%	
Kerbside Parking Control Total	(2,099,186)	(2,099,186)	(2,145,817)	(46,631)	2%	
<u>Dog Pound Expenditure</u>						
Dog Pound Expenditure						
Building Maintenance	23,000	23,000	6,044	(16,956)	-74%	No major maintenance required as yet.
Dog Pound Expenditure Total	23,000	23,000	6,044	(16,956)	-74%	
Dog Pound Expenditure Total	23,000	23,000	6,044	(16,956)	-74%	
<u>Director Development Services</u>						
Director Development Services Expenditure						
Employee Costs	425,993	425,993	382,847	(43,146)	-10%	Variance due to vacancy.
Other Employee Costs	3,540	3,540	2,063	(1,477)	-42%	
Other Expenses	3,880	3,880	981	(2,899)	-75%	
Director Development Services Expenditure Total	433,413	433,413	385,891	(47,522)	-11%	
Director Development Services Indirect Costs						
Allocations	(433,413)	(433,413)	(385,891)	47,522	-11%	
Director Development Services Indirect Costs Total	(433,413)	(433,413)	(385,891)	47,522	-11%	
Director Development Services Total	0	0	0	0	100%	

CITY OF VINCENT
NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
BY SERVICE AREAS
AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Health Administration and Inspection</u>						
Health Administration and Inspection Revenue						
Revenue	(344,475)	(344,475)	(365,706)	(21,231)	6%	
Health Administration and Inspection Revenue Total	(344,475)	(344,475)	(365,706)	(21,231)	6%	
Health Administration and Inspection Expenditure						
Employee Costs	735,986	735,986	659,429	(76,557)	-10%	Positive variance due to positions for Manager Health services and health officer being vacant for a period during the year.
Other Employee Costs	26,056	26,056	26,405	349	1%	
Other Expenses	108,300	108,300	53,103	(55,197)	-51%	Favourable variance of \$3,785 on syringe disposal strategy, \$9,000 on health program, \$2,580 on equipment maintenance, \$4,821 on printing costs, \$4,587 on Vincent accord & \$12,718 legal fees not required.
Health Administration and Inspection Expenditure Total	870,342	870,342	738,937	(131,405)	-15%	
Health Administration and Inspection Indirect Cost						
Allocations	388,548	388,548	381,624	(6,924)	-2%	
Health Administration and Inspection Indirect Cost Total	388,548	388,548	381,624	(6,924)	-2%	
Health Administration and Inspection Total	914,415	914,415	754,854	(159,561)	-17%	
<u>Food Control</u>						
Food Control Revenue						
Revenue	(1,000)	(1,000)	(273)	727	-73%	
Food Control Revenue Total	(1,000)	(1,000)	(273)	727	-73%	
Food Control Expenditure						
Other Expenses	20,500	20,500	10,238	(10,262)	-50%	\$6,672 favourable variance on sample analysis.
Food Control Expenditure Total	20,500	20,500	10,238	(10,262)	-50%	
Food Control Total	19,500	19,500	9,965	(9,535)	-49%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
Health Clinics						
Health Clinics Revenue						
Revenue	(19,685)	(19,685)	(15,448)	4,237	-22%	
Health Clinics Revenue Total	(19,685)	(19,685)	(15,448)	4,237	-22%	
Health Clinics Expenditure						
Building Maintenance	12,850	12,850	18,359	5,509	43%	
Ground Maintenance	0	0	2,959	2,959	100%	
Other Expenses	62,312	62,312	57,525	(4,787)	-8%	
Health Clinics Expenditure Total	75,162	75,162	78,843	3,681	5%	
Health Clinics Indirect Costs						
Allocations	1,816	1,816	1,616	(200)	-11%	
Health Clinics Indirect Costs Total	1,816	1,816	1,616	(200)	-11%	
Health Clinics Total	57,293	57,293	65,010	7,717	13%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
Statutory Planning Services						
Statutory Planning Services Revenue						
Revenue	(523,892)	(523,892)	(1,209,739)	(685,847)	131%	\$321,248 cash in lieu contribution for parking and \$200,050 percent of art trust deposits being recognised as income. \$80,271 development application fees revenue higher than anticipated.
Statutory Planning Services Revenue Total	(523,892)	(523,892)	(1,209,739)	(685,847)	131%	
Statutory Planning Services Expenditure						
Employee Costs	1,191,956	1,191,956	1,344,458	152,502	13%	Redundancies and temporary employee costs to cater for vacancies and other business requirements. This over expenditure is covered by savings in DDS, Health and Policy and Place service areas.
Other Employee Costs	20,588	20,588	18,349	(2,239)	-11%	
Other Expenses	337,500	337,500	360,082	22,582	7%	
Statutory Planning Services Expenditure Total	1,550,044	1,550,044	1,722,889	172,845	11%	
Statutory Planning Services Indirect Costs						
Allocations	479,062	479,062	470,423	(8,639)	-2%	
Statutory Planning Services Indirect Costs Total	479,062	479,062	470,423	(8,639)	-2%	
Statutory Planning Services Total	1,505,214	1,505,214	983,573	(521,641)	-35%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Compliance Services</u>						
Compliance Services Revenue						
Revenue	(41,200)	(41,200)	(32,596)	8,604	-21%	
Compliance Services Revenue Total	(41,200)	(41,200)	(32,596)	8,604	-21%	
Compliance Services Expenditure						
Employee Costs	380,448	380,448	416,594	36,146	10%	The over expenditure is covered by savings in DDS, Health and Policy and Place service areas.
Other Employee Costs	6,152	6,152	6,235	83	1%	
Other Expenses	77,195	77,195	61,509	(15,686)	-20%	\$10,730 favourable variance on legal cost.
Compliance Services Expenditure Total	463,795	463,795	484,337	20,542	4%	
Compliance Services Indirect Costs						
Allocations	209,239	209,239	217,164	7,925	4%	
Compliance Services Indirect Costs Total	209,239	209,239	217,164	7,925	4%	
Compliance Services Total	631,834	631,834	668,905	37,071	6%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Policy and Place Services</u>						
Policy and Place Services Revenue						
Revenue	(1,800)	(1,800)	(2,202)	(402)	22%	
Policy and Place Services Revenue Total	(1,800)	(1,800)	(2,202)	(402)	22%	
 Policy and Place Serv Expenditure						
Employee Costs	1,114,237	1,114,237	1,010,391	(103,846)	-9%	
Other Employee Costs	13,427	13,427	13,780	353	3%	
Other Expenses	853,845	853,845	239,761	(614,084)	-72%	Works relating to the Strategic Planning Programme (Leederville Activity Plan & Integrated transport plan) to be carried forward to 2019/20.
Operating Projects	11,659	11,659	6,614	(5,045)	-43%	
Policy and Place Serv Expenditure Total	1,993,168	1,993,168	1,270,546	(722,622)	-36%	
 Policy and Place Services Indirect Cost						
Allocations	485,473	485,473	468,707	(16,766)	-3%	
Policy and Place Services Indirect Cost Total	485,473	485,473	468,707	(16,766)	-3%	
Policy and Place Services Total	2,476,841	2,476,841	1,737,051	(739,790)	-30%	

CITY OF VINCENT
NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
BY SERVICE AREAS
AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Building Control</u>						
Building Control Revenue						
Revenue	(259,500)	(259,500)	(310,794)	(51,294)	20%	Revenue higher than anticipated.
Building Control Revenue Total	(259,500)	(259,500)	(310,794)	(51,294)	20%	
Building Control Expenditure						
Employee Costs	400,838	400,838	411,018	10,180	3%	
Other Employee Costs	39,575	39,575	38,450	(1,125)	-3%	
Other Expenses	37,200	37,200	13,516	(23,684)	-64%	\$15,000 favourable variance on consultant cost.
Building Control Expenditure Total	477,613	477,613	462,984	(14,629)	-3%	
Building Control Indirect Costs						
Allocations	264,876	264,876	255,208	(9,668)	-4%	
Building Control Indirect Costs Total	264,876	264,876	255,208	(9,668)	-4%	
Building Control Total	482,989	482,989	407,398	(75,591)	-16%	
<u>Director Engineering Expenditure</u>						
Director Engineering Expenditure						
Employee Costs	400,773	400,773	413,057	12,284	3%	
Other Employee Costs	20,775	20,775	10,331	(10,445)	-50%	Favourable variance due to \$11,000 underspent in conference and seminar costs.
Other Expenses	74,200	74,200	40,796	(33,404)	-45%	\$21,193 favourable variance on consultant cost.
Director Engineering Expenditure Total	495,748	495,748	464,184	(31,564)	-6%	
Director Engineering Indirect Costs						
Allocations	(495,748)	(495,748)	(459,184)	36,564	-7%	
Director Engineering Indirect Costs Total	(495,748)	(495,748)	(459,184)	36,564	-7%	
Director Engineering Expenditure Total	0	0	5,000	5,000	100%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Engineering Design Services</u>						
Engineering Design Services Revenue						
Revenue	(8,250)	(8,250)	(6,473)	1,777	-22%	
Engineering Design Services Revenue Total	(8,250)	(8,250)	(6,473)	1,777	-22%	
Engineering Design Services Expenditure						
Employee Costs	499,109	499,109	595,320	96,211	19%	Contract staff used while employee on annual leave covered by savings in DDS, Health and Policy and Place.
Other Employee Costs	30,871	30,871	19,976	(10,895)	-35%	Awaiting final invoice relating to agency labour costs.
Other Expenses	266,550	266,550	187,093	(79,457)	-30%	\$37,712 timing variance on consultants and contractors and \$21,803 savings on traffic survey.
Engineering Design Services Expenditure Total	796,530	796,530	802,389	5,859	1%	
Engineering Design Services Indirect Costs						
Allocations	309,436	309,436	272,255	(37,181)	-12%	
Engineering Design Services Indirect Costs Total	309,436	309,436	272,255	(37,181)	-12%	
Engineering Design Services Total	1,097,716	1,097,716	1,068,171	(29,545)	-3%	
<u>Bike Station Expenditure</u>						
Bike Station Expenditure						
Other Expenses	8,000	8,000	6,563	(1,437)	-18%	
Bike Station Expenditure Total	8,000	8,000	6,563	(1,437)	-18%	
Bike Station Expenditure Total	8,000	8,000	6,563	(1,437)	-18%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Street Lighting</u>						
Street Lighting Revenue						
Revenue	(24,500)	(24,500)	(23,998)	502	-2%	
Street Lighting Revenue Total	(24,500)	(24,500)	(23,998)	502	-2%	
Street Lighting Expenditure						
Other Expenses	785,000	785,000	630,535	(154,465)	-20%	Timing variance on utility invoices.
Street Lighting Expenditure Total	785,000	785,000	630,535	(154,465)	-20%	
Street Lighting Total	760,500	760,500	606,536	(153,964)	-20%	
<u>Underground Power Project</u>						
Underground Power Project Revenue						
Revenue	0	0	(100)	(100)	100%	
Underground Power Project Revenue Total	0	0	(100)	(100)	100%	
Underground Power Project Total	0	0	(100)	(100)	100%	
<u>Bus Shelter</u>						
Bus Shelter Revenue						
Revenue	(58,000)	(58,000)	(63,708)	(5,708)	10%	
Bus Shelter Revenue Total	(58,000)	(58,000)	(63,708)	(5,708)	10%	
Bus Shelter Expenditure						
Other Expenses	116,260	116,260	104,171	(12,089)	-10%	\$8,851 positive variance on depreciation.
Bus Shelter Expenditure Total	116,260	116,260	104,171	(12,089)	-10%	
Bus Shelter Total	58,260	58,260	40,463	(17,797)	-31%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Parking and Street Name Signs Expenditure</u>						
Parking and Street Name Signs Expenditure						
Other Expenses	86,000	86,000	78,496	(7,504)	-9%	
Parking and Street Name Signs Expenditure Total	86,000	86,000	78,496	(7,504)	-9%	
Parking and Street Name Signs Expenditure Total	86,000	86,000	78,496	(7,504)	-9%	
<u>Crossovers</u>						
Crossovers Expenditure						
Other Expenses	13,000	13,000	14,489	1,489	11%	
Crossovers Expenditure Total	13,000	13,000	14,489	1,489	11%	
Crossovers Total	13,000	13,000	14,489	1,489	11%	
<u>Roads Linemarking Expenditure</u>						
Roads Linemarking Expenditure						
Other Expenses	65,000	65,000	66,070	1,070	2%	
Roads Linemarking Expenditure Total	65,000	65,000	66,070	1,070	2%	
Roads Linemarking Expenditure Total	65,000	65,000	66,070	1,070	2%	
<u>Tree Lighting Leederville Expenditure</u>						
Tree Lighting Leederville Expenditure						
Other Expenses	50,000	50,000	49,339	(661)	-1%	
Tree Lighting Leederville Expenditure Total	50,000	50,000	49,339	(661)	-1%	
Tree Lighting Leederville Expenditure Total	50,000	50,000	49,339	(661)	-1%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Parklets Expenditure</u>						
Parklets Expenditure						
Other Expenses	5,000	5,000	3,408	(1,592)	-32%	
Parklets Expenditure Total	5,000	5,000	3,408	(1,592)	-32%	
Parklets Expenditure Total	5,000	5,000	3,408	(1,592)	-32%	
<u>Environmental Services</u>						
Environmental Services Revenue						
Revenue	(26,000)	(26,000)	(30,153)	(4,153)	16%	
Environmental Services Revenue Total	(26,000)	(26,000)	(30,153)	(4,153)	16%	
Environmental Services Expenditure						
Employee Costs	89,608	89,608	85,846	(3,762)	-4%	
Other Employee Costs	1,500	1,500	0	(1,500)	-100%	
Other Expenses	225,730	225,730	213,916	(11,814)	-5%	
Environmental Services Expenditure Total	316,838	316,838	299,762	(17,076)	-5%	
Environmental Services Indirect Costs						
Allocations	37,904	37,904	38,124	220	1%	
Environmental Services Indirect Costs Total	37,904	37,904	38,124	220	1%	
Environmental Services Total	328,742	328,742	307,733	(21,010)	-6%	

CITY OF VINCENT
NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
BY SERVICE AREAS
AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Property Management Administration</u>						
Property Management Administration Revenue						
Revenue	(2,000)	(2,000)	(2,484)	(484)	24%	
Property Management Administration Revenue Total	(2,000)	(2,000)	(2,484)	(484)	24%	
Property Management Administration Expenditure						
Employee Costs	263,541	263,541	243,166	(20,375)	-8%	
Other Employee Costs	5,534	5,534	5,741	207	4%	
Other Expenses	44,102	44,102	27,956	(16,146)	-37%	Savings of \$15,000 from advertising costs.
Property Management Administration Expenditure Total	313,177	313,177	276,863	(36,314)	-12%	
Property Management Administration Indirect Costs						
Allocations	146,437	146,437	153,445	7,008	5%	
Property Management Administration Indirect Costs Total	146,437	146,437	153,445	7,008	5%	
Property Management Administration Total	457,614	457,614	427,824	(29,790)	-7%	
<u>Civic Centre Building</u>						
Civic Centre Building Expenditure						
Building Maintenance	244,900	244,900	341,019	96,119	39%	Contractor works relating to Civic centre office space re-configuration. Over-expenditure offset by saving made in the property management area.
Ground Maintenance	58,900	58,900	44,023	(14,877)	-25%	Favourable variance as no major maintenance required.
Other Expenses	842,395	842,395	775,293	(67,102)	-8%	
Civic Centre Building Expenditure Total	1,146,195	1,146,195	1,160,335	14,140	1%	
Civic Centre Building Indirect Costs						
Allocations	(1,146,195)	(1,146,195)	(1,160,245)	(14,050)	1%	
Civic Centre Building Indirect Costs Total	(1,146,195)	(1,146,195)	(1,160,245)	(14,050)	1%	
Civic Centre Building Total	0	0	90	90	100%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
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	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Child Care Centres and Play Groups</u>						
Child Care Centres and Play Groups Revenue						
Revenue	(18,757)	(18,757)	(10,326)	8,431	-45%	
Child Care Centres and Play Groups Revenue Total	(18,757)	(18,757)	(10,326)	8,431	-45%	
Child Care Centres and Play Groups Expenditure						
Building Maintenance	8,800	8,800	5,691	(3,109)	-35%	
Ground Maintenance	0	0	2,057	2,057	100%	
Other Expenses	47,415	47,415	43,540	(3,875)	-8%	
Child Care Centres and Play Groups Expenditure Total	56,215	56,215	51,288	(4,927)	-9%	
Child Care Centres and Play Groups Indirect Costs						
Allocations	1,999	1,999	1,999	0	0%	
Child Care Centres and Play Groups Indirect Costs Total	1,999	1,999	1,999	0	0%	
Child Care Centres and Play Groups Total	39,457	39,457	42,961	3,504	9%	
<u>Pre Schools and Kindergartens</u>						
Pre Schools and Kindergartens Revenue						
Revenue	(53,685)	(53,685)	(44,255)	9,430	-18%	
Pre Schools and Kindergartens Revenue Total	(53,685)	(53,685)	(44,255)	9,430	-18%	
Pre Schools and Kindergartens Expenditure						
Building Maintenance	9,375	9,375	4,330	(5,045)	-54%	
Ground Maintenance	350	350	0	(350)	-100%	
Other Expenses	50,945	50,945	48,949	(1,996)	-4%	
Pre Schools and Kindergartens Expenditure Total	60,670	60,670	53,279	(7,391)	-12%	
Pre Schools and Kindergartens Indirect Costs						
Allocations	1,468	1,468	1,468	0	0%	
Pre Schools and Kindergartens Indirect Costs Total	1,468	1,468	1,468	0	0%	
Pre Schools and Kindergartens Total	8,453	8,453	10,492	2,039	24%	

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 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Community and Welfare Centres</u>						
Community and Welfare Centres Revenue						
Revenue	(91,673)	(91,673)	(69,082)	22,591	-25%	Timing variance of \$21,088 for recouping maintenance costs.
Community and Welfare Centres Revenue Total	(91,673)	(91,673)	(69,082)	22,591	-25%	
Community and Welfare Centres Expenditure						
Building Maintenance	31,350	31,350	31,551	201	1%	
Ground Maintenance	9,250	9,250	3,255	(5,995)	-65%	
Other Expenses	223,143	223,143	211,126	(12,018)	-5%	
Community and Welfare Centres Expenditure Total	263,743	263,743	245,932	(17,811)	-7%	
Community and Welfare Centres Indirect Costs						
Allocations	6,596	6,596	6,596	0	0%	
Community and Welfare Centres Indirect Costs Total	6,596	6,596	6,596	0	0%	
Community and Welfare Centres Total	178,666	178,666	183,446	4,779	3%	

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 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
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	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Department of Sports and Recreation Building</u>						
Dept of Sports and Recreation Building Revenue						
Revenue	(727,091)	(727,091)	(734,685)	(7,594)	1%	
Dept of Sports and Recreation Building Revenue Total	(727,091)	(727,091)	(734,685)	(7,594)	1%	
Dept of Sports and Recreation Building Expenditure						
Building Maintenance	94,550	94,550	153,666	59,116	63%	Variance due to maintenance of elevator and replacement of emergency exit lights.
Ground Maintenance	10,200	10,200	7,444	(2,756)	-27%	
Other Expenses	655,784	655,784	597,177	(58,607)	-9%	
Dept of Sports and Recreation Building Expenditure Total	760,534	760,534	758,286	(2,248)	0%	
Dept of Sports and Recreation Building Indirect Costs						
Allocations	11,521	11,521	11,521	0	0%	
Dept of Sports and Recreation Building Indirect Costs Total	11,521	11,521	11,521	0	0%	
Department of Sports and Recreation Building Total	44,964	44,964	35,122	(9,842)	-22%	
<u>nib Stadium</u>						
nib Stadium Revenue						
Revenue	(27,150)	(27,150)	(27,409)	(259)	1%	
nib Stadium Revenue Total	(27,150)	(27,150)	(27,409)	(259)	1%	
nib Stadium Expenditure						
Other Expenses	17,800	17,800	16,349	(1,451)	-8%	
nib Stadium Expenditure Total	17,800	17,800	16,349	(1,451)	-8%	
nib Stadium Total	(9,350)	(9,350)	(11,060)	(1,710)	18%	

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 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Leederville Oval</u>						
Leederville Oval Revenue						
Revenue	(490,591)	(490,591)	(153,105)	337,486	-69%	Year to date budgeted income has been overstated by \$273,000.
Leederville Oval Revenue Total	(490,591)	(490,591)	(153,105)	337,486	-69%	
 Leederville Oval Expenditure						
Building Maintenance	36,100	36,100	35,101	(999)	-3%	
Ground Maintenance	100,000	100,000	95,955	(4,045)	-4%	
Other Expenses	455,408	455,408	426,820	(28,588)	-6%	
Leederville Oval Expenditure Total	591,508	591,508	557,876	(33,632)	-6%	
 Leederville Oval Indirect Costs						
Allocations	10,969	10,969	10,969	0	0%	
Leederville Oval Indirect Costs Total	10,969	10,969	10,969	0	0%	
Leederville Oval Total	111,886	111,886	415,740	303,854	272%	

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 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Loftus Centre</u>						
Loftus Centre Revenue						
Revenue	(664,125)	(664,125)	(646,533)	17,592	-3%	
Loftus Centre Revenue Total	(664,125)	(664,125)	(646,533)	17,592	-3%	
Loftus Centre Expenditure						
Building Maintenance	97,100	97,100	133,468	36,368	37%	Maintenance works higher than anticipated.
Ground Maintenance	28,900	28,900	38,418	9,518	33%	
Other Expenses	848,590	848,590	789,293	(59,297)	-7%	
Operating Projects	140,000	140,000	0	(140,000)	-100%	Painting project carried forward.
Loftus Centre Expenditure Total	1,114,590	1,114,590	961,179	(153,411)	-14%	
Loftus Centre Indirect Costs						
Allocations	20,044	20,044	20,044	0	0%	
Loftus Centre Indirect Costs Total	20,044	20,044	20,044	0	0%	
Loftus Centre Total	470,509	470,509	334,689	(135,820)	-29%	

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NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
BY SERVICE AREAS
AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
Public Halls						
Public Halls Revenue						
Revenue	(163,125)	(163,125)	(162,617)	508	0%	
Public Halls Revenue Total	(163,125)	(163,125)	(162,617)	508	0%	
Public Halls Expenditure						
Building Maintenance	140,000	140,000	120,690	(19,310)	-14%	Lower reactive maintenance expended relative to budget.
Ground Maintenance	2,500	2,500	0	(2,500)	-100%	
Other Expenses	212,765	212,765	202,733	(10,032)	-5%	
Operating Projects	8,000	8,000	7,200	(800)	-10%	
Public Halls Expenditure Total	363,265	363,265	330,623	(32,642)	-9%	
Public Halls Indirect Costs						
Allocations	5,304	5,304	5,304	0	0%	
Public Halls Indirect Costs Total	5,304	5,304	5,304	0	0%	
Public Halls Total	205,444	205,444	173,310	(32,134)	-16%	
Reserves Pavilions and Facilities						
Reserves Pavilions and Facilities Revenue						
Revenue	(75,390)	(75,390)	(82,118)	(6,728)	9%	
Reserves Pavilions and Facilities Revenue Total	(75,390)	(75,390)	(82,118)	(6,728)	9%	
Reserves Pavilions and Facilities Expenditure						
Building Maintenance	404,705	404,705	359,009	(45,696)	-11%	Lower reactive maintenance expenditure than anticipated.
Ground Maintenance	5,500	5,500	0	(5,500)	-100%	
Other Expenses	316,377	316,377	302,010	(14,367)	-5%	
Operating Projects	53,000	53,000	68,537	15,537	29%	Additional electrical infrastructure required after demolition at Beatty park pavilion.
Reserves Pavilions and Facilities Expenditure Total	779,582	779,582	729,556	(50,026)	-6%	
Reserves Pavilions and Facilities Indirect Costs						
Allocations	6,828	6,828	6,828	0	0%	
Reserves Pavilions and Facilities Indirect Costs Total	6,828	6,828	6,828	0	0%	
Reserves Pavilions and Facilities Total	711,020	711,020	654,266	(56,754)	-8%	

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 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Sporting Clubs Buildings</u>						
Sporting Clubs Buildings Revenue						
Revenue	(174,590)	(174,590)	(133,926)	40,664	-23%	Timing variance on maintenance and lease agreement.
Sporting Clubs Buildings Revenue Total	(174,590)	(174,590)	(133,926)	40,664	-23%	
 Sporting Clubs Buildings Expenditure						
Building Maintenance	54,050	54,050	54,687	637	1%	
Ground Maintenance	2,000	2,000	0	(2,000)	-100%	
Other Expenses	792,648	792,648	738,024	(54,624)	-7%	
Operating Projects	40,000	40,000	0	(40,000)	-100%	Timing variance on invoices for demolition of Litis stadium.
Sporting Clubs Buildings Expenditure Total	888,698	888,698	792,711	(95,987)	-11%	
 Sporting Clubs Buildings Indirect Costs						
Allocations	25,797	25,797	25,797	0	0%	
Sporting Clubs Buildings Indirect Costs Total	25,797	25,797	25,797	0	0%	
Sporting Clubs Buildings Total	739,905	739,905	684,581	(55,324)	-7%	

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NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
BY SERVICE AREAS
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	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Parks and Reserves Administration</u>						
Parks and Reserves Administration Revenue						
Revenue	(3,200)	(3,200)	(3,461)	(261)	8%	
Parks and Reserves Administration Revenue Total	(3,200)	(3,200)	(3,461)	(261)	8%	
Parks and Reserves Administration Expenditure						
Employee Costs	1,094,817	1,094,817	1,045,210	(49,607)	-5%	
Other Employee Costs	56,025	56,025	57,662	1,637	3%	
Other Expenses	120,644	120,644	95,971	(24,673)	-20%	\$15,398 favourable variance on consultant costs.
Parks and Reserves Administration Expenditure Total	1,271,486	1,271,486	1,198,843	(72,643)	-6%	
Parks and Reserves Administration Indirect Costs						
Allocations	1,314,710	1,314,710	1,163,999	(150,711)	-11%	
On Costs Recovery	(1,377,619)	(1,377,619)	(1,365,692)	11,927	-1%	
Parks and Reserves Administration Indirect Costs Total	(62,909)	(62,909)	(201,693)	(138,784)	221%	
Parks and Reserves Administration Total	1,205,377	1,205,377	993,689	(211,688)	-18%	
<u>Parks and Reserves</u>						
Parks and Reserves Revenue						
Revenue	(61,550)	(61,550)	(51,489)	10,061	-16%	Demand for reserve and ground hire lower than anticipated.
Parks and Reserves Revenue Total	(61,550)	(61,550)	(51,489)	10,061	-16%	
Parks and Reserves Expenditure						
Ground Maintenance	2,097,100	2,097,100	2,297,554	200,454	10%	
Other Expenses	692,660	692,660	651,099	(41,561)	-6%	
Parks and Reserves Expenditure Total	2,789,760	2,789,760	2,948,653	158,893	6%	
Parks and Reserves Indirect Costs						
Allocations	299	299	299	0	0%	
Parks and Reserves Indirect Costs Total	299	299	299	0	0%	
Parks and Reserves Total	2,728,509	2,728,509	2,897,463	168,954	6%	

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 BY SERVICE AREAS
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	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Sporting Grounds</u>						
Sporting Grounds Revenue						
Revenue	(64,050)	(64,050)	(61,005)	3,045	-5%	
Sporting Grounds Revenue Total	(64,050)	(64,050)	(61,005)	3,045	-5%	
Sporting Grounds Expenditure						
Ground Maintenance	1,159,500	1,159,500	1,212,376	52,876	5%	
Other Expenses	564,288	564,288	519,314	(44,974)	-8%	
Sporting Grounds Expenditure Total	1,723,788	1,723,788	1,731,690	7,902	0%	
Sporting Grounds Total	1,659,738	1,659,738	1,670,685	10,947	1%	
<u>Road Reserves Expenditure</u>						
Road Reserves Expenditure						
Ground Maintenance	407,550	407,550	419,442	11,892	3%	
Other Expenses	14,010	14,010	18,447	4,437	32%	
Road Reserves Expenditure Total	421,560	421,560	437,888	16,328	4%	
Road Reserves Expenditure Total	421,560	421,560	437,888	16,328	4%	

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 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
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	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Parks Other</u>						
Parks Other Revenue						
Revenue	(2,000)	(2,000)	(2,724)	(724)	36%	
Parks Other Revenue Total	(2,000)	(2,000)	(2,724)	(724)	36%	
Parks Other Expenditure						
Other Expenses	2,093,540	2,093,540	1,970,011	(123,529)	-6%	
Money/Monger Street Trees Surgery	14,880	14,880	14,880	0	0%	
Parks Other Expenditure Total	2,108,420	2,108,420	1,984,891	(123,529)	-6%	
Parks Other Total	2,106,420	2,106,420	1,982,166	(124,254)	-6%	
<u>Processable Waste Collection</u>						
Processable Waste Collection Revenue						
Revenue	(327,339)	(327,339)	(310,901)	16,438	-5%	
Processable Waste Collection Revenue Total	(327,339)	(327,339)	(310,901)	16,438	-5%	
Processable Waste Collection Expenditure						
Employee Costs	854,740	854,740	858,246	3,506	0%	
Other Employee Costs	13,907	13,907	15,219	1,312	9%	
Other Expenses	4,340,536	4,340,536	3,773,044	(567,492)	-13%	\$439,646 - invoice timing variance on tipping costs. If this is not paid by the payment cut-off date, the amount will be accrued.
Processable Waste Collection Expenditure Total	5,209,183	5,209,183	4,646,509	(562,674)	-11%	
Processable Waste Collection Indirect Costs						
Allocations	745,755	745,755	700,685	(45,070)	-6%	
On Costs Recovery	(630,519)	(630,519)	(731,287)	(100,768)	16%	
Processable Waste Collection Indirect Costs Total	115,236	115,236	(30,602)	(145,838)	-127%	
Processable Waste Collection Total	4,997,080	4,997,080	4,305,006	(692,074)	-14%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Other Waste Services</u>						
Other Waste Services Revenue						
Revenue	(3,500)	(3,500)	(7,882)	(4,382)	125%	
Other Waste Services Revenue Total	(3,500)	(3,500)	(7,882)	(4,382)	125%	
Other Waste Services Expenditure						
Other Expenses	664,350	664,350	508,411	(155,939)	-23%	Timing variance for \$113,021 on general maintenance and \$23,558 favourable variance on waste management programs.
Other Waste Services Expenditure Total	664,350	664,350	508,411	(155,939)	-23%	
Other Waste Services Total	660,850	660,850	500,528	(160,322)	-24%	
<u>Recycling Expenditure</u>						
Recycling Expenditure	823,855	823,855	675,551	(148,304)	-18%	Invoice timing variance. If this is not paid by the payment cut-off date, the amount will be accrued.
Recycling Expenditure Total	823,855	823,855	675,551	(148,304)	-18%	

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 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
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	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
Public Works Overhead						
Public Works Overhead Revenue						
Revenue	(48,700)	(48,700)	(127,134)	(78,434)	161%	Favourable variance because fuel tax credit amounts were under claimed for past four years.
Public Works Overhead Revenue Total	(48,700)	(48,700)	(127,134)	(78,434)	161%	
Public Works Overhead Expenditure						
Employee Costs	315,663	315,663	404,871	89,208	28%	Salary of an employee budgeted in engineering design account but actual costs being incurred in this account.
Other Employee Costs	36,784	36,784	35,943	(841)	-2%	
Other Expenses	33,000	33,000	34,866	1,866	6%	
Public Works Overhead Expenditure Total	385,447	385,447	475,681	90,234	23%	
Public Works Overhead Indirect Costs						
Allocations	482,374	482,374	507,892	25,518	5%	
On Costs Recovery	(483,911)	(483,911)	(519,772)	(35,861)	7%	
Public Works Overhead Indirect Costs Total	(1,537)	(1,537)	(11,880)	(10,343)	673%	
Public Works Overhead Total	335,210	335,210	336,667	1,457	0%	

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 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Plant Operating</u>						
Plant Operating Expenditure						
Other Expenses	1,519,260	1,519,260	1,465,743	(53,517)	-4%	
Plant Operating Expenditure Total	1,519,260	1,519,260	1,465,743	(53,517)	-4%	
Plant Operating Indirect Costs						
Allocations	(1,375,622)	(1,375,622)	(1,401,654)	(26,032)	2%	
Plant Operating Indirect Costs Total	(1,375,622)	(1,375,622)	(1,401,654)	(26,032)	2%	
Plant Operating Total	143,638	143,638	64,089	(79,549)	-55%	
<u>Recoverable Works</u>						
Recoverable Works Revenue						
Revenue	(50,000)	(50,000)	(40,723)	9,277	-19%	
Recoverable Works Revenue Total	(50,000)	(50,000)	(40,723)	9,277	-19%	
Recoverable Works Expenditure						
Other Expenses	50,000	50,000	36,331	(13,669)	-27%	No major recoverable works carried out to date.
Recoverable Works Expenditure Total	50,000	50,000	36,331	(13,669)	-27%	
Recoverable Works Total	0	0	(4,392)	(4,392)	100%	
<u>Drainage Expenditure</u>						
Drainage Expenditure						
Other Expenses	345,440	345,440	339,275	(6,165)	-2%	
Drainage Expenditure Total	345,440	345,440	339,275	(6,165)	-2%	
Drainage Expenditure Total	345,440	345,440	339,275	(6,165)	-2%	

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 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
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	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Footpaths/Cycleways Expenditure</u>						
Footpaths/Cycleways Expenditure						
Other Expenses	948,190	948,190	904,360	(43,830)	-5%	
Footpaths/Cycleways Expenditure Total	948,190	948,190	904,360	(43,830)	-5%	
<u>Footpaths/Cycleways Expenditure Total</u>	<u>948,190</u>	<u>948,190</u>	<u>904,360</u>	<u>(43,830)</u>	<u>-5%</u>	
<u>Rights of Way Expenditure</u>						
Rights of Way Expenditure						
Other Expenses	286,530	286,530	232,016	(54,514)	-19%	Timing variance on general maintenance.
Rights of Way Expenditure Total	286,530	286,530	232,016	(54,514)	-19%	
<u>Rights of Way Expenditure Total</u>	<u>286,530</u>	<u>286,530</u>	<u>232,016</u>	<u>(54,514)</u>	<u>-19%</u>	
<u>Roads Expenditure</u>						
Roads Expenditure						
Other Expenses	3,044,746	3,044,746	2,795,235	(249,511)	-8%	
Roads Expenditure Total	3,044,746	3,044,746	2,795,235	(249,511)	-8%	
<u>Roads Expenditure Total</u>	<u>3,044,746</u>	<u>3,044,746</u>	<u>2,795,235</u>	<u>(249,511)</u>	<u>-8%</u>	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Street Cleaning Expenditure</u>						
Street Cleaning Expenditure						
Other Expenses	747,500	747,500	708,973	(38,527)	-5%	
Street Cleaning Expenditure Total	747,500	747,500	708,973	(38,527)	-5%	
Street Cleaning Expenditure Total	747,500	747,500	708,973	(38,527)	-5%	
<u>Traffic Control for Roadworks Expenditure</u>						
Traffic Control for Roadworks Expenditure						
Other Expenses	166,000	166,000	112,337	(53,663)	-32%	Timing variance, awaiting final invoices.
Traffic Control for Roadworks Expenditure Total	166,000	166,000	112,337	(53,663)	-32%	
Traffic Control for Roadworks Expenditure Total	166,000	166,000	112,337	(53,663)	-32%	
<u>Roadwork Signs and Barricades Expenditure</u>						
Roadwork Signs and Barricades Expenditure						
Other Expenses	500	500	0	(500)	-100%	
Roadwork Signs and Barricades Expenditure Total	500	500	0	(500)	-100%	
Roadwork Signs and Barricades Expenditure Total	500	500	0	(500)	-100%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Sump Expenditure</u>						
Sump Expenditure						
Other Expenses	0	0	620	620	100%	
Sump Expenditure Total	0	0	620	620	100%	
Sump Expenditure Total	0	0	620	620	100%	
<u>Works Depot</u>						
Works Depot Expenditure						
Employee Costs	226,886	226,886	181,533	(45,353)	-20%	Favourable variance as over budgeted.
Other Employee Costs	3,000	3,000	1,166	(1,834)	-61%	
Other Expenses	9,750	9,750	3,073	(6,677)	-68%	
Works Depot Expenditure Total	239,636	239,636	185,772	(53,864)	-22%	
Works Depot Indirect Costs						
Allocations	(239,636)	(239,636)	(185,367)	54,269	-23%	
Works Depot Indirect Costs Total	(239,636)	(239,636)	(185,367)	54,269	-23%	
Works Depot Total	0	0	405	405	100%	
<u>Works Depot Revenue</u>						
Works Depot Revenue						
Revenue	0	0	(387)	(387)	100%	
Works Depot Revenue Total	0	0	(387)	(387)	100%	
Works Depot Revenue Total	0	0	(387)	(387)	100%	

CITY OF VINCENT
 NOTE 4 - SUMMARY OF INCOME AND EXPENDITURE
 BY SERVICE AREAS
 AS AT 30 JUNE 2019

	Current Budget 2018/19 \$	YTD Budget 30/06/2019 \$	YTD Actual 30/06/2019 \$	YTD Variance \$	Variance %	Variance Commentary
<u>Depot Building</u>						
Depot Occupancy Costs						
Building Maintenance	101,350	101,350	104,651	3,301	3%	
Ground Maintenance	5,100	5,100	12,379	7,279	143%	
Other Expenses	253,105	253,105	238,389	(14,716)	-6%	
Depot Occupancy Costs Total	359,555	359,555	355,419	(4,136)	-1%	
Depot Indirect Costs						
Allocations	(359,555)	(359,555)	(355,419)	4,136	-1%	
Depot Indirect Costs Total	(359,555)	(359,555)	(355,419)	4,136	-1%	
Depot Building Total	0	0	0	(0)	100%	
Net Operating	4,365,038	4,365,038	(4,926)	(4,369,964)	-100%	

CITY OF VINCENT
NOTE 5 - CAPITAL WORKS SCHEDULE 2018/19
AS AT 30 JUNE 2019

	Current Budget 2018/19	YTD Budget 2018/19	YTD Actual 2018/19	YTD Variance	Variance	Commentary
LAND & BUILDING ASSETS						
ADMINISTRATION & CIVIC CENTRE						
Administration and Civic Centre - Workforce Accommodation Upgrade/Renewal	240,000	240,000	232,024	(7,976)	-3%	Works completed.
BEATTY PARK LEISURE CENTRE						
Beatty Park Leisure Centre - Risk Renewals	492,609	492,609	138,259	(354,350)	-72%	Air handling unit project to be carried forward to FY19/20 (\$370k).
Beatty Park Leisure Centre - Plumbing Compliance	66,746	66,746	66,746	(0)	0%	Works completed.
Beatty Park Leisure Centre - Remedial Works	60,831	60,831	60,831	0	0%	Works completed.
Beatty Park Leisure Centre - Changeroom Tiles Replacement	2,970	2,970	2,970	0	0%	Works completed.
DEPARTMENT OF SPORTS AND RECREATION						
Carpet Replacement - DSR	150,000	150,000	129,529	(20,471)	-14%	Project will not be completed in FY 2018/19 due to an onsite adverse condition. Balance to be carried forward to 2019/20.
LOFTUS RECREATION CENTRE						
Loftus Centre Stormwater Infrastructure Renewal	5,742	5,742	5,742	0	0%	Works completed.
Renewal of ceiling fabric and upgrade of lights throughout centre	112,485	112,485	108,792	(3,693)	-3%	Works completed.
Refrigerated A/C Plant Renewal	3,159	3,159	3,159	0	0%	Works completed.
LEEDERVILLE OVAL						
Leederville Oval - Miscellaneous Structural Renewal	60,000	60,000	48,306	(11,694)	-19%	Works completed.
Carpet Replacement - Leederville Oval Buildings (East Perth Football Club)	30,000	30,000	16,050	(13,950)	-47%	Works completed.
WORKS DEPOT						
Depot - Resurfacing and Reconstruction of Front Bin Bays	75,000	75,000	74,131	(869)	-1%	Works completed.

CITY OF VINCENT
NOTE 5 - CAPITAL WORKS SCHEDULE 2018/19
AS AT 30 JUNE 2019

	Current Budget 2018/19	YTD Budget 2018/19	YTD Actual 2018/19	YTD Variance	Variance	Commentary
MISCELLANEOUS						
Braithwaite Park public toilet block upgrade and refurbishment	99,512	99,512	99,111	(401)	0%	Works completed.
Mens Shed - Macerator Sewer Upgrade	46,200	46,200	34,862	(11,338)	-25%	Works completed.
Child Health Centres - Yield Up to Lease Renewal, Leederville Child Health Clinic	9,038	9,038	10,963	1,925	21%	Works completed.
Child Health Centres - Yield Up to Lease Renewal Mt Hawthorn Child Health Clinic	33,270	33,270	33,270	0	0%	Works completed.
Child Health Centres - Yield Up to Lease Renewal Highgate Child Health Clinic	7,946	7,946	7,946	0	0%	Works completed.
Child Health Centres - Yield Up to Lease Renewal North Perth.	8,161	8,161	8,161	0	0%	Works completed.
North Perth Main Hall - A/C New	100,000	100,000	96,719	(3,281)	-3%	Works completed.
North Perth Bowling Club - Timber Floor Renewal	19,837	19,837	19,837	0	0%	Works completed.
Miscellaneous Building Renewal	86,681	86,681	92,643	5,962	7%	Works completed.
Mt Hawthorn Community Centre - Hub Upgrade	320,637	320,637	326,847	6,210	2%	Works completed.
Loton Park Tennis Club - Compliance and Structure Renewal	20,000	20,000	11,750	(8,250)	-41%	Works completed.
Sports Club - Forrest Park Croquet Ceiling and Lighting Renewal	80,000	80,000	65,574	(14,426)	-18%	Works completed.
Solar Photovoltaic Panel System Installation - Library	39,100	39,100	27,667	(11,433)	-29%	Works completed.
Solar Photovoltaic Panel System Installation - Beatty Park	144,670	144,670	68,638	(76,033)	-53%	Project to be carried forward to 2019/20.
Solar Photovoltaic Panel System Installation - Administration and Civic Centre	112,643	112,643	13,220	(99,424)	-88%	Project to be carried forward to 2019/20.
Solar Photovoltaic Panel System Installation - Depot	39,100	39,100	39,770	670	2%	Works completed.
Library - Reception Desk Fit-Out Renewal	35,000	35,000	4,250	(30,750)	-88%	Remainder of the project to be carried forward.
Airconditioner Renewal Program	25,000	25,000	22,300	(2,700)	-11%	Works completed.
Woodville Reserve - Power upgrade	9,205	9,205	9,424	219	2%	Works completed.
FOR LAND & BUILDING ASSETS	2,535,542	2,535,542	1,879,491	(656,051)	-26%	

CITY OF VINCENT
NOTE 5 - CAPITAL WORKS SCHEDULE 2018/19
AS AT 30 JUNE 2019

	Current Budget 2018/19	YTD Budget 2018/19	YTD Actual 2018/19	YTD Variance	Variance	Commentary
INFRASTRUCTURE ASSETS						
TRAFFIC MANAGEMENT						
Improvements at Vincent/Oxford Streets	5,500	5,500	0	(5,500)	-100%	Work completed - awaiting outstanding invoice (PO raised). If not paid by the payment cut-off date, the amounts will be accrued.
Intersections at Bourke and Loftus Streets	33,955	33,955	30,512	(3,443)	-10%	Works completed.
Improved pedestrian crossings at signalised intersections	180,000	180,000	9,122	(170,878)	-95%	Multi-year project and balance to be carried forward.
40kph area wide speed zone trial	150,000	150,000	35,457	(114,543)	-76%	Multi-year project and works completed. Any outstanding invoices relating to completed works will be paid by the payment cut-off date and balance of the project will be carried forward.
Intersection Modifications Scarborough Beach Road, Green, Main and Brady Streets	30,000	30,000	0	(30,000)	-100%	Multi-year project and balance to be carried forward.
Retractable Bollards Leederville Town Centre	60,000	60,000	60,000	0	0%	Works completed.
Miscellaneous Traffic Management Requests	80,000	80,000	71,838	(8,162)	-10%	Works completed.
Safety Balustrade Beaufort Street, Highgate	5,257	5,257	4,541	(716)	-14%	Works completed.
Signalised Pedestrian Crossings Program	250,000	250,000	4,108	(245,892)	-98%	Works completed. Invoice to be paid by the payment cut-off date.
BLACK SPOT PROGRAM						
Newcastle and Palmerston Streets	16,000	16,000	16,000	0	0%	Works completed.
Ruby and Fitzgerald Streets	10,626	10,626	8,479	(2,147)	-20%	Works completed.
Intersection Lincoln and Wright Streets Roundabout	150,000	150,000	122,118	(27,882)	-19%	Majority of the works has been completed except for Main Road line marking works which is to be carried forward.
STREETSCAPE IMPROVEMENTS						
Greening (Streetscapes)	335,268	335,268	168,687	(166,581)	-50%	Multi-year project and balance to be carried forward.
North Perth Public Open Space	718,744	718,744	693,480	(25,264)	-4%	Works completed.
Oxford street/Newcastle street shared space	310,000	310,000	290,087	(19,913)	-6%	Works completed.
Planned Fitzgerald Street Upgrades	15,000	15,000	9,770	(5,230)	-35%	Multi-year project and balance to be carried forward.
Streetscape Improvements/Place Making - Miscellaneous Renewals	31,392	31,392	31,346	(46)	0%	Works completed.

CITY OF VINCENT
NOTE 5 - CAPITAL WORKS SCHEDULE 2018/19
AS AT 30 JUNE 2019

	Current Budget 2018/19	YTD Budget 2018/19	YTD Actual 2018/19	YTD Variance	Variance	Commentary
ROADWORKS - LOCAL ROADS PROGRAM						
Cleaver St - Carr St - Roundabout	52,283	52,283	49,913	(2,370)	-5%	Works completed.
Norfolk Street - Vincent St to Chelmsford Rd	49	49	49	0	0%	Works completed.
Hutt Street - Grosvenor Rd to Raglan Rd	1,003	1,003	1,003	(0)	0%	Works completed.
Summers Street - Joel to River	12,214	12,214	12,214	0	0%	Works completed.
Magnolia Street - Farmer to Waugh	60,000	60,000	49,836	(10,164)	-17%	Works completed.
Mignonette Street - Farmer to Waugh	60,000	60,000	49,986	(10,014)	-17%	Works completed.
Marian Street - Oxford to Scott	90,779	90,779	76,150	(14,629)	-16%	Works completed.
Rae Street - Marian to Tennyson	61,474	61,474	61,474	0	0%	Works completed.
Bondi Street - Scar Bch Rd to Merredin	24,545	24,545	24,545	0	0%	Works completed.
Brentham St - Slow point near school to Namatjira	131,000	131,000	99,257	(31,743)	-24%	Works completed.
Elven Street - Richmond to Emmerson	13,261	13,261	13,261	(0)	0%	Works completed.
Curtis Street - Walcott to Harold	20,848	20,848	20,848	(0)	0%	Works completed.
Cleaver Street - Carr to Newcasatle	24,395	24,395	24,395	0	0%	Works completed.
ROADWORKS - REHABILITATION (MRRG PROGRAM)						
Beaufort/Brisbane Street Intersection Improvements	360,000	360,000	0	(360,000)	-100%	Project to be carried forward. Works to commence in FY19-20.
Bulver Street, Lord Street to Brisbane Street	156,600	156,600	147,955	(8,645)	-6%	Works completed.
Newcastle Street, Loftus Street to Charles Street	226,600	226,600	174,766	(51,834)	-23%	Majority of the works has been completed except for Main Road line marking works which is to be carried forward.
Smith Street - Lincoln Street to Harold Street	227,680	227,680	210,685	(16,995)	-7%	Works completed.
ROADWORKS - ROADS TO RECOVERY PROGRAM						
Newcastle Street - Oxford Street to Carr Place	880	880	716	(164)	-19%	Works completed.
Curtis Street - Walcott to Harold	53,091	53,091	66,606	13,515	25%	Works completed.
Cleaver Street - Carr to Newcasatle	86,007	86,007	86,007	(0)	0%	Works completed.
Randell Street - Fitzgerald St to Palmerston St	5,221	5,221	5,221	0	0%	Works completed.

CITY OF VINCENT
NOTE 5 - CAPITAL WORKS SCHEDULE 2018/19
AS AT 30 JUNE 2019

	Current Budget 2018/19	YTD Budget 2018/19	YTD Actual 2018/19	YTD Variance	Variance	Commentary
RIGHTS OF WAY						
Rights of Way Renewal Program	64,374	64,374	59,868	(4,506)	-7%	Works completed.
SLAB FOOTPATH PROGRAMME						
Footpath Prog - Kalgoorlie St	0	0	(95)	(95)	100%	2017-18 project, refund received.
Newcastle St - Water Corp to Loftus St	22,500	22,500	20,255	(2,245)	-10%	Works completed.
Walcott St - Alma Rd to Raglan Rd	8,000	8,000	7,405	(595)	-7%	Works completed.
Anzac Rd - Loftus St to Scarborough Bch Road	19,000	19,000	11,210	(7,790)	-41%	Works completed.
Bourke St - Deague Court to Charles St	12,500	12,500	11,688	(812)	-6%	Works completed.
Golding St - Newcastle St to Old Aberdeen Place	13,000	13,000	12,894	(106)	-1%	Works completed.
Green St - Matlock St to Bus Stop	25,000	25,000	22,111	(2,889)	-12%	Works completed.
Tactile Paving Town Centres	10,000	10,000	9,612	(388)	-4%	Works completed.
Ellesmere Street path extension - Stage 3	52,000	52,000	62,092	10,092	19%	Works completed.
BICYCLE NETWORK						
Bicycle Network Oxford - Anzac to Scarb Bch Rd	190,000	190,000	222,051	32,051	17%	Works completed.
Bike Boulevard Stage 2	76,397	76,397	252,073	175,676	230%	Department of Transport has reimbursed the City for the increased project cost.
Bike Network Plan 2015-16 Implementation (Loftus Street - Vincent to Richmond St)	420,000	420,000	207,757	(212,243)	-51%	Majority of works have been completed except MRWA line marking and western power pole relocation. These costs will be carried forward.
Swan River PSP Upgrade - Summers St to Windan Bridge Link	135,000	135,000	95,668	(39,332)	-29%	Works completed.
Bike Parking	30,000	30,000	17,450	(12,550)	-42%	Works completed.

CITY OF VINCENT
NOTE 5 - CAPITAL WORKS SCHEDULE 2018/19
AS AT 30 JUNE 2019

	Current Budget 2018/19	YTD Budget 2018/19	YTD Actual 2018/19	YTD Variance	Variance	Commentary
CAR PARK DEVELOPMENT						
Chelmsford Road Car Park	42,512	42,512	42,512	(0)	0%	Works completed.
North Perth Parking	98,800	98,800	13,660	(85,140)	-86%	Works completed.
North Perth ACROD Parking Bays	1,045	1,045	588	(457)	-44%	Works completed.
Parking Restriction Implementation	75,000	75,000	0	(75,000)	-100%	Project did not proceed.
Chelmsford Road Car Park Rehabilitation Works Stage 2	10,000	10,000	6,934	(3,066)	-31%	Works completed.
Dunedin Street Car Park Rehabilitation Works	46,000	46,000	45,837	(163)	0%	Works completed.
Frame Court Car Park Rehabilitation Works - Stage 1	45,285	45,285	45,285	0	0%	Works completed.
Raglan Road Car Park Rehabilitation Works Stage 2	83,000	83,000	92,883	9,883	12%	Works completed.
The Avenue Car Park Rehabilitation Works - Stage 1	34,715	34,715	35,824	1,109	3%	Works completed.
Beatty Park Reserve car park - Lighting	2,936	2,936	2,936	0	0%	Works completed.
Raglan Road Car Park - Resurfacing & Lighting	31,236	31,236	31,236	0	0%	Works completed.
DRAINAGE						
Beatty Park Reserve - Drainage Improvements	150,000	150,000	59,499	(90,501)	-60%	Works completed. Carry forward \$30,000 to FY19-20.
Lawler Street Sump - Infill	1,120	1,120	1,120	0	0%	Works completed.
Gully Soakwell Program	80,000	80,000	54,735	(25,265)	-32%	Works completed.
Drainage - Miscellaneous Improvements	40,000	40,000	7,915	(32,085)	-80%	Works completed.
Drainage - Britannia Road Drain Inspection	25,000	25,000	12,849	(12,151)	-49%	Works completed.

CITY OF VINCENT
NOTE 5 - CAPITAL WORKS SCHEDULE 2018/19
AS AT 30 JUNE 2019

	Current Budget 2018/19	YTD Budget 2018/19	YTD Actual 2018/19	YTD Variance	Variance	Commentary
PARKS AND RESERVES						
Axford Park - Redevelopment	165,000	165,000	184,791	19,791	12%	Works completed.
Kyilla Park	274	274	274	0	0%	Works completed.
Les Lilleyman Reserve - Eco-zoning	181	181	914	733	405%	Works completed.
Menzies Park - Replace groundwater bore	9,562	9,562	9,562	0	0%	Works completed.
Loftus Rec Centre - Synthetic Soccer Pitch Surface	38,460	38,460	38,460	0	0%	Works completed.
Playgrounds for under 4yo	40,000	40,000	76	(39,924)	-100%	Project to be carried forward. Works to commence in FY19-20.
Hyde Park Lighting Improvement	45,000	45,000	41,179	(3,821)	-8%	Works completed.
Central Control Irrigation System	60,000	60,000	58,291	(1,709)	-3%	Works completed.
Stuart Street Reserve - Replace Groundwater Bore	45,000	45,000	27,110	(17,890)	-40%	Works completed.
Public Open Space Strategy Implementation	250,000	250,000	40,092	(209,908)	-84%	Project to be carried forward. Works to commence in FY19-20.
Banks Reserve Master Plan Implementation - Stage 1	450,000	450,000	130,740	(319,260)	-71%	Project to be carried forward. Works to commence in FY19-20.
Les Lilleyman Reserve - Installation of perimeter path (Stage 2)	59,220	59,220	92,372	33,152	56%	Works completed.
Forrest Park - Replacement Playground Shade Sails	12,000	12,000	7,390	(4,610)	-38%	Works completed.
Les Lilleyman Reserve - Replace Playground Softfall	47,390	47,390	40,000	(7,390)	-16%	Works completed.
Parks Furniture - Replacement	20,000	20,000	19,202	(798)	-4%	Works completed.
Woodville Reserve - Extension to Perimeter Fencing	24,000	24,000	23,094	(906)	-4%	Works completed.
Jack Marks Reserve - Installation of additional paving	15,000	15,000	17,290	2,290	15%	Works completed.
Jack Marks Reserve - Installation of Seating (Dog Park)	25,000	25,000	20,837	(4,163)	-17%	Works completed.
Netball Installation Public Open Space	12,000	12,000	0	(12,000)	-100%	Project to be carried forward. Works to commence in FY19-20.
Banks Reserve - Foreshore restoration stage 2	23,710	23,710	7,750	(15,960)	-67%	Works completed.
Robertson Park - Fencing of Dog Exercise Area	11,000	11,000	0	(11,000)	-100%	Works completed. Outstanding invoice to be paid by the payment cut-off date (17 July 2019).

CITY OF VINCENT
NOTE 5 - CAPITAL WORKS SCHEDULE 2018/19
AS AT 30 JUNE 2019

	Current Budget 2018/19	YTD Budget 2018/19	YTD Actual 2018/19	YTD Variance	Variance	Commentary
MISCELLANEOUS						
Bus Shelters	1,210	1,210	1,210	0	0%	Works completed.
Leederville Tennis Club - Bore Motor Replacement	3,590	3,590	3,588	(2)	0%	Works completed.
North Perth Community Garden (NPCG)	10,000	10,000	12,029	2,029	20%	Works completed.
Oxford Skate Park - Metal Halfpipe Renewal	58,000	58,000	52,047	(5,953)	-10%	Works completed.
Install Recycling Bins in Public Areas	35,000	35,000	29,023	(5,977)	-17%	Works completed.
Upgrade and Install New Street Lighting	9,993	9,993	25,096	15,103	151%	Works completed.
Bus Shelters- Replace and Upgrade	40,000	40,000	39,825	(175)	0%	Works completed.
Regrade and Resurface Verge Parking for Church Adjacent 49 Jugan Street, Mt Hawthorn	70,000	70,000	11,765	(58,235)	-83%	Works completed.
TOTAL EXPENDITURE						
FOR INFRASTRUCTURE ASSETS	7,474,682	7,474,682	5,130,291	(2,344,391)	-31%	

CITY OF VINCENT
NOTE 5 - CAPITAL WORKS SCHEDULE 2018/19
AS AT 30 JUNE 2019

	Current Budget 2018/19	YTD Budget 2018/19	YTD Actual 2018/19	YTD Variance	Variance	Commentary
<u>PLANT & EQUIPMENT ASSETS</u>						
LIGHT FLEET VEHICLE REPLACEMENT PROGRAMME						
Light Fleet - Annual Changeovers	543,407	543,407	512,033	(31,374)	-6%	Two vehicles to be purchased in FY 19-20.
MAJOR PLANT REPLACEMENT PROGRAMME						
Single Axle Truck (Flocon)	230,000	230,000	0	(230,000)	-100%	Purchase order raised, carry forward as delivery date set for next year
All Terrain Vehicle (ATV) - Parks	30,000	30,000	27,227	(2,773)	-9%	Purchase complete.
Single Axle Truck (Parks Mowing Operations)	170,000	170,000	0	(170,000)	-100%	Purchase order raised, carry forward as delivery date set for next year
Replace Existing Rear Loader (Rubbish Truck)	430,000	430,000	0	(430,000)	-100%	Carried forward.
Replace Existing Hydraulic Breaker	30,000	30,000	10,332	(19,668)	-66%	Purchase complete.
Renew Existing Plant: Depot Forklift	40,000	40,000	30,901	(9,099)	-23%	Purchase complete.
Replace Existing Skid Steer Loader	0	0	0	0	0%	
Replace Existing Side Loader (Rubbish Truck)	430,000	430,000	0	(430,000)	-100%	Carry forward. Truck has been ordered and delivery to take place in FY 2019-20.
Tractor/Front End Loader (FEL) - Hyde Park	70,000	70,000	58,700	(11,300)	-16%	Purchase complete.
Miscellaneous Minor Plant & Equipment - Works & Operations Services	30,000	30,000	2,719	(27,281)	-91%	Plant less than \$5,000 are transferred to operating account.
ADMINISTRATION & CIVIC CENTRE						
Multiple Sites - CCTV Upgrade/New	62,282	62,282	0	(62,282)	-100%	Project will not proceed as scoping has not been undertaken
BEATTY PARK LEISURE CENTRE						
Boiler Replacement	171,201	171,201	161,650	(9,551)	-6%	Works completed. Awaiting final invoice from supplier.
Upgrade fire panel	6,180	6,180	0	(6,180)	-100%	Project did not proceed.
Switchboard in top level of plantroom	11,934	11,934	11,934	0	0%	Works completed.
Beatty Park Leisure Centre - Safety Fence - New	25,000	25,000	20,963	(4,037)	-16%	Works completed.

CITY OF VINCENT
NOTE 5 - CAPITAL WORKS SCHEDULE 2018/19
AS AT 30 JUNE 2019

	Current Budget 2018/19	YTD Budget 2018/19	YTD Actual 2018/19	YTD Variance	Variance	Commentary
COMMUNITY SERVICES						
Parking Machines Asset Replacement Program	40,000	40,000	38,450	(1,550)	-4%	Works completed.
Rosemount Hotel Car Park - ticket parking machines	17,700	17,700	17,700	0	0%	Works completed.
Replace Autocite Units (mobile infringement hardware)	318	318	0	(318)	-100%	
Parking Machines Asset Replacement Program	4,600	4,600	5,040	440	10%	Works completed.
WORKS DEPOT						
Works Depot - APAC HVAC Renewal	25,000	25,000	15,497	(9,503)	-38%	Works completed.
High Pressure Cleaner for Depot	15,000	15,000	11,525	(3,475)	-23%	Works completed.
MISCELLANEOUS						
Water and Energy Efficiency Initiatives	75,000	75,000	78,019	3,019	4%	Works completed however as the plant acquisition is less than \$5,000, it has been transferred to the corresponding operating account.
Loftus Recreation Centre - Asset Renewal Program (Lease) Belgravia Leisure	50,000	50,000	21,293	(28,707)	-57%	Works completed however as the plant acquisition is less than \$5,000, it has been transferred to the corresponding operating account.
Laneway Lighting Program (Right of Way)	84,990	84,990	0	(84,990)	-100%	Project to be carried forward. Works to commence in FY19-20.
Relocate UMS supply for the CCTV Camera in Oxford street	20,000	20,000	0	(20,000)	-100%	Project to be carried forward. Works to commence in FY19-20.
Beaufort Street CCTV Network Upgrade	305,510	305,510	0	(305,510)	-100%	Project to be carried forward. Works to commence in FY19-20.
COMMUNITY SERVICES						
Parking Sensors Pilot Project	51,410	51,410	0	(51,410)	-100%	Project to be carried forward. Works to commence in FY19-20.
LIBRARY						
Library - Split System Renewal	3,350	3,350	0	(3,350)	-100%	Works completed however as the plant acquisition is less than \$5,000, it has been transferred to the corresponding operating account.
TOTAL EXPENDITURE						
FOR PLANT & EQUIPMENT ASSETS	2,972,882	2,972,882	1,023,984	(1,948,898)	-66%	

CITY OF VINCENT
NOTE 5 - CAPITAL WORKS SCHEDULE 2018/19
AS AT 30 JUNE 2019

	Current Budget 2018/19	YTD Budget 2018/19	YTD Actual 2018/19	YTD Variance	Variance	Commentary
FURNITURE & EQUIPMENT ASSETS						
ADMINISTRATION & CIVIC CENTRE						
INFORMATION TECHNOLOGY						
Replacement of CARs system	40,000	40,000	11,853	(28,148)	-70%	Project on hold.
Upgrade of IT Firewall	69,000	69,000	1,630	(67,370)	-98%	Project to be carried forward. Works to commence in FY19-20.
Upgrade IT Network Remote Access Facility	20,000	20,000	0	(20,000)	-100%	Project to be carried forward. Works to commence in FY19-20.
Online Lodgement of Applications	70,000	70,000	0	(70,000)	-100%	Project to be carried forward. Works to commence in FY19-20.
Upgrade Two Way Radio Fleet	106,033	106,033	0	(106,033)	-100%	Works completed however as the plant acquisition is less than \$5,000, it has been transferred to the corresponding operating account.
Backup Server	40,000	40,000	0	(40,000)	-100%	Project to be carried forward. Works to commence in FY19-20.
Business System Implementation Project	0	0	0	0	0%	Project to be carried forward. Works to commence in FY19-20.
Disc for Storage System	10,000	10,000	0	(10,000)	-100%	Project to be carried forward. Works to commence in FY19-20.
Replacement of the old printers	20,000	20,000	0	(20,000)	-100%	Project complete, awaiting invoices from supplier (PO raised).
Renew Switches	35,000	35,000	0	(35,000)	-100%	Project to be carried forward. Works to commence in FY19-20.
Wi-Fi Installation	60,000	60,000	9,003	(50,997)	-85%	Works commenced, remainder of the project be carried forward.
Computers - Additional to Fleet PC's	20,000	20,000	0	(20,000)	-100%	Works completed however as the acquisition is less than \$5,000, it has been transferred to the corresponding operating account.
Redevelopment of Website (stage 2)	18,309	18,309	22,021	3,712	20%	Project complete.
Graffiti Reporting Equipment	11,617	11,617	0	(11,617)	-100%	Project to be carried forward. Works to commence in FY19-20.
BEATTY PARK LEISURE CENTRE						
Beatty Park Leisure Centre - Strength Equipment	102,000	102,000	27,940	(74,060)	-73%	Remainder of the expenditure has been transferred to the operating account as purchases are below asset capitalisation threshold i.e. \$5,000.
Beatty Park Leisure Centre - NFA Renewals	20,000	20,000	6,053	(13,947)	-70%	Remainder of the expenditure has been transferred to the operating account as purchases are below asset capitalisation threshold i.e. \$5,000.
MARKETING & COMMUNICATIONS						
Mount Lawley/ Highgate Town Centre Streetscape Upgrades	75,000	75,000	0	(75,000)	-100%	Project to be carried forward. Works to commence in FY19-20.
Public Art Project	200,000	200,000	0	(200,000)	-100%	Project to be carried forward. Works to commence in FY19-20.

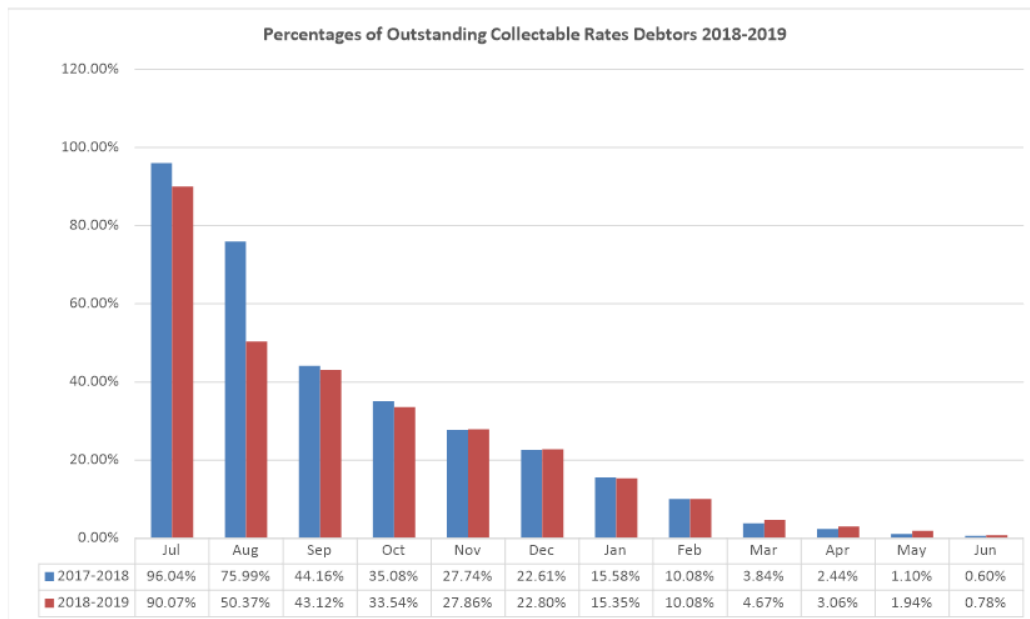
CITY OF VINCENT
NOTE 5 - CAPITAL WORKS SCHEDULE 2018/19
AS AT 30 JUNE 2019

	Current Budget 2018/19	YTD Budget 2018/19	YTD Actual 2018/19	YTD Variance	Variance	Commentary
PUBLIC HALLS						
Halls, Pavilions and Operational Buildings - Non Fixed Assets - Renewal	29,911	29,911	14,826	(15,085)	-50%	Actual expenditure transferred to operating account as the acquisition is below the asset capitalisation threshold i.e. \$5,000.
COMMUNITY SERVICES						
AV Display Unit - Council Chamber	10,000	10,000	12,430	2,430	24%	Works completed.
HEALTH SERVICES						
Replacement and upgrade of Sound Level Meters	13,000	13,000	9,867	(3,133)	-24%	Purchase completed.
TOTAL EXPENDITURE FOR FURNITURE & EQUIPMENT ASSETS	969,870	969,870	115,623	(854,247)	-88%	
TOTAL CAPITAL EXPENDITURE	13,952,976	13,952,976	8,149,389	(5,803,587)	-42%	

CITY OF VINCENT
NOTE 6 - CASH BACKED RESERVES
AS AT 30 JUNE 2019

Reserve Particulars	Budget Opening Balance 01/07/2018 \$	Actual Opening Balance 01/07/2018 \$	Budget Transfers to Reserve 30/06/2019 \$	YTD Actual Transfers to Reserve 30/06/2019 \$	Budget Interest Earned 30/06/2019 \$	YTD Actual Interest Earned 30/06/2019 \$	Budget Transfers from Reserve 30/06/2019 \$	YTD Actual Transfers from Reserve 30/06/2019 \$	Budget Closing Balance 30/06/2019 \$	Actual Closing Balance 30/06/2019 \$
Administration Centre Reserve	325	363	0	0	8	1	(333)	(364)	0	0
Asset Sustainability Reserve	3,896,088	3,896,230	663,585	662,175	91,212	103,206	(1,090,715)	(482,937)	3,560,170	4,181,401
Beatty Park Leisure Centre Reserve	158,558	149,681	0	0	3,712	4,565	(55,000)	(55,000)	107,270	99,246
Capital Reserve	7,707	7,671	0	0	180	17	(7,887)	(7,688)	0	0
Cash in Lieu Parking Reserve	775,156	1,688,491	0	154,750	18,148	38,378	(83,800)	(13,660)	709,504	1,855,373
Electronic Equipment Reserve	54,098	54,004	0	0	1,267	119	(55,365)	(54,123)	0	0
Hyde Park Lake Reserve	152,430	152,168	0	0	3,569	3,998	0	0	155,999	156,166
Land and Building Acquisition Reserve	284,705	284,213	0	0	6,665	7,464	0	0	291,370	291,677
Leederville Oval Reserve	221,911	222,530	0	0	5,195	5,842	(90,000)	(64,356)	137,106	164,016
Leederville Tennis Reserve	3,021	3,024	14,345	14,371	71	294	(16,386)	(16,384)	1,051	0
Loftus Community Centre Reserve	24,562	24,544	6,250	6,230	575	707	0	0	31,387	31,481
Loftus Recreation Centre Reserve	58,188	58,631	57,415	57,742	1,362	1,918	0	0	116,965	118,291
North Perth Tennis Reserve	47,992	47,925	4,770	227	1,124	1,262	(47,992)	(47,992)	5,894	0
Office Building Reserve - 246 Vincent Street	535,380	536,594	0	0	12,534	14,122	(150,000)	(125,529)	397,914	425,187
Parking Facility Reserve	98,720	100,899	0	0	2,311	2,651	0	0	101,031	103,550
Percentage For Public Art Reserve	0	0	200,000	200,000	0	0	(200,000)	0	0	200,000
Plant and Equipment Reserve	208,302	210,436	0	0	4,877	5,525	(199,000)	(27,227)	14,179	188,734
State Gymnastics Centre Reserve	75,314	83,757	10,790	16,032	1,763	2,412	0	0	87,867	102,201
Strategic Waste Management Reserve	21,440	21,402	0	0	502	563	0	0	21,942	21,965
Tamala Park Land Sales Reserve	3,478,477	3,478,572	689,498	689,497	81,437	91,353	0	0	4,249,412	4,259,422
Underground Power Reserve	201,035	200,690	0	0	4,707	5,271	0	0	205,742	205,961
Waste Management Plant and Equipment Reserve	206,768	210,145	0	0	4,841	5,520	0	0	211,609	215,665
	10,510,177	11,431,970	1,646,653	1,801,024	246,060	295,188	(1,996,478)	(895,260)	10,406,412	12,620,336

**CITY OF VINCENT
NOTE 7 - RATING INFORMATION
AS AT 30 JUNE 2019**



**CITY OF VINCENT
NOTE 7 - RATING INFORMATION
FOR THE MONTH ENDED 30 JUNE 2019**

	Rateable Value	Rate in Dollar Cents	Budget	Actual	Rates Levied to Budget
	\$		\$	\$	%
Rate Revenue					
General Rate					
11,268 Residential	289,005,644	6.4750	18,713,135	18,713,136	100.0%
1627 Other	128,714,926	6.6190	8,519,642	8,519,642	100.0%
39 Vacant Other	2,410,700	12.6280	304,423	304,423	100.0%
Minimum Rate					
5664 Residential @ \$1,180	86,742,992	6.4750	6,683,520	6,683,520	100.0%
150 Other @ \$1,180	1,794,734	6.6190	177,000	177,000	100.0%
4 Vacant Other @ \$1,494	41,700	12.6280	5,976	5,976	100.0%
Interim Rates	0		300,000	200,336	66.8%
Rates Waiver	0		(135,841)	(142,212)	104.7%
Rates in Advance	0		0	(359,527)	100.0%
Total Amount Made up from Rates	508,710,696		34,567,855	34,102,294	
Non Payment Penalties					
Instalment Interest @ 5.5%			162,000	181,186	111.8%
Penalty Interest @ 11%			110,000	149,183	135.6%
Administration Charge - \$13 per instalment			252,000	255,158	101.3%
Legal Costs Recovered			45,000	39,057	86.8%
Other Reimbursements			(5,000)	5,000	-100.0%
Interest Write Off			(1,000)	0	0.0%
			35,130,855	34,731,878	
Other Revenue					
Exempt Bins - Non Rated Properties			147,819	147,732	99.9%
Commercial / Residential Additional Bins			176,820	159,092	90.0%
Swimming Pools Inspection Fees			14,000	13,111	93.7%
			35,469,494	35,051,813	
Opening Balance				432,241	
Total Collectable			35,469,494	35,484,053	100.04%
Less					
Cash Received				34,152,899	
Rebates Allowed				1,056,189	
Refunds Allowed				0	
Rates Balance To Be Collected			35,469,494	274,965	0.78%
Add					
ESL Debtors				52,988	
Pensioner Rebates Not Yet Claimed				21,933	
ESL Rebates Not Yet Claimed				2,080	
Less					
Deferred Rates Debtors				(120,125)	
Current Rates Debtors Balance				231,842	

CITY OF VINCENT
NOTE 8 - DEBTOR REPORT
FOR THE MONTH ENDED 30 JUNE 2019

DESCRIPTION	CURRENT	31-59 DAYS	60-89 DAYS	OVER 90 DAYS	BALANCE
	\$	\$	\$	\$	\$
DEBTOR CONTROL - HEALTH LICENCES	623	(94)	(318)	42,248	42,460
DEBTOR CONTROL - RUBBISH CHARGES	0	0	0	0	0
DEBTOR CONTROL - CASH IN LIEU CAR PARKING *	0	895	0	203,301	204,196
DEBTOR CONTROL - PROPERTY INCOME	(46,067)	861	4,435	53,308	12,538
DEBTOR CONTROL - RECOVERABLE WORKS	18,429	0	0	0	18,429
DEBTOR CONTROL - BEATTY PARK LEISURE CENTRE	1,350	0	0	0	1,350
DEBTOR CONTROL - OTHER	101,588	9	0	72,032	173,628
DEBTOR CONTROL - % ART CONTRIBUTIONS	0	0	0	0	0
DEBTOR CONTROL - GST	(132,823)	(97,770)	230,593	0	0
DEBTOR CONTROL - INFRINGEMENT *	99,780	68,184	39,974	1,511,698	1,719,636
PROVISION FOR DOUBTFUL DEBT	(139,788)	0	0	(146,832)	(286,620)
TOTAL DEBTORS OUTSTANDING AS AT 30/06/2019	(96,908)	(27,915)	274,685	1,735,754	1,885,617

UNDERGROUND POWER (currently being investigated as probable write off)

0

ACCRUED INCOME

63,276

ACCRUED INTEREST

172,350

PREPAYMENTS

5,118

TOTAL TRADE AND OTHER RECEIVABLES

2,126,361

DATE	DEBTOR OVER 90 DAYS	AMOUNT	DEBT DETAILS	Comments
11/03/2019	Tennis Seniors Western Australia	4,330.74	Building Insurance 2018/19	AR addressed query, to follow up again
25/02/2015	Subiaco Football Club	16,202.10	Turf maintenance & top dressing	In the process of finalising.
25/02/2015	East Perth Football Club	19,398.04	Turf maintenance & top dressing	In the process of finalising.
21/02/2019	Loftus Community Centre	2,747.88	Building Ins, Lease, Utility & maintenance	not paying, refer to Mgr Governance, Property & Contracts
19/03/2019	Modernians Hockey Club	3,184.03	Utilities, Lease & Bond	Dispute utilities percentage, refer Property Officer.
11/03/2019	Perth Soccer Club	5,667.08	Building Insurance	AR addressed query, to follow up again
07/03/2019	Tuart Hill Cricket Club	2,001.40	Utility	Dispute utility percentage, refer Property Officer.
04/11/2016	C Caferelli	28,600.00	Breaches of Planning Development Act	Have been handed over to FER
22/08/2018	C D Hunter	14,655.25	Cost for court case	Have been handed over to FER

CITY OF VINCENT
NOTE 8 - DEBTOR REPORT
FOR THE MONTH ENDED 30 JUNE 2019

29/03/2019	AMS Holdings WA Pty Ltd	4,576.00	Non compliance Parking Permit	Federal Court Orders - awaiting payment
21/01/2019	Matthew Slinger	21,800.30	Cost for court fine	Have been handed over to FER
01/03/2019	ChatsworthDeli	2,000.00	Mural co- funding	Payment arrangement by Arts & Activation Officer
BALANCE OF 90 DAY DEBTORS OVER \$500.00		<u>125,162.82</u>		

CITY OF VINCENT
NOTE 9 - BEATTY PARK LEISURE CENTRE FINANCIAL POSITION
AS AT 30 JUNE 2019

	Current Budget	YTD	YTD	YTD	Month	Month
	2018/19	Budget	Actuals	Actuals	Actuals	Actuals
	\$	Jun-19	Jun-19	Jun-18	Jun-19	Jun-18
	\$	\$	\$	\$	\$	\$
<u>ADMINISTRATION</u>						
Revenue	0	0	0	0	0	0
Expenditure	0	0	0	49,068	(7,104)	44,555
Surplus/(Deficit)	0	0	0	49,068	(7,104)	44,555
<u>SWIMMING POOLS AREA</u>						
Revenue	2,536,892	2,536,892	2,462,352	2,152,952	158,422	128,505
Expenditure	(2,967,940)	(2,967,940)	(3,930,892)	(4,138,184)	(246,368)	(469,107)
Surplus/(Deficit)	(431,048)	(431,048)	(1,468,540)	(1,985,232)	(87,946)	(340,602)
<u>SWIM SCHOOL</u>						
Revenue	2,304,102	2,304,102	2,280,140	1,464,547	201,467	127,908
Expenditure	(2,560,372)	(2,560,372)	(1,738,978)	(1,177,800)	(110,312)	(196,496)
Surplus/(Deficit)	(256,270)	(256,270)	541,162	286,747	91,154	(68,588)
<u>CAFÉ</u>						
Revenue	1,012,309	1,012,309	980,146	668,323	70,221	38,073
Expenditure	(1,437,816)	(1,437,816)	(1,075,831)	(894,216)	(72,994)	(113,794)
Surplus/(Deficit)	(425,507)	(425,507)	(95,685)	(225,893)	(2,773)	(75,721)
<u>RETAIL SHOP</u>						
Revenue	578,284	578,284	544,601	486,687	33,535	28,099
Expenditure	(479,080)	(479,080)	(471,520)	(382,987)	(32,668)	(34,986)
Surplus/(Deficit)	99,204	99,204	73,081	103,700	867	(6,888)
<u>HEALTH & FITNESS</u>						
Revenue	562,554	562,554	542,925	1,554,966	44,105	128,218
Expenditure	(1,583,388)	(1,583,388)	(1,580,257)	(1,380,008)	(94,305)	(154,128)
Surplus/(Deficit)	(1,020,834)	(1,020,834)	(1,037,332)	174,958	(50,200)	(25,910)
<u>GROUP FITNESS</u>						
Revenue	323,206	323,206	293,676	628,697	21,814	49,132
Expenditure	(737,755)	(737,755)	(682,348)	(605,038)	(43,653)	(79,978)
Surplus/(Deficit)	(414,549)	(414,549)	(388,672)	23,659	(21,839)	(30,846)
<u>AQUAROBICS</u>						
Revenue	57,477	57,477	54,538	224,639	3,776	18,003
Expenditure	(93,848)	(93,848)	(229,840)	(163,665)	(15,200)	(24,667)
Surplus/(Deficit)	(36,371)	(36,371)	(175,302)	60,974	(11,424)	(6,664)
<u>CRECHE</u>						
Revenue	243,776	243,776	246,279	62,367	19,983	5,078
Expenditure	(752,600)	(752,600)	(491,053)	(336,167)	(27,399)	(42,390)
Surplus/(Deficit)	(508,824)	(508,824)	(244,774)	(273,800)	(7,416)	(37,312)
Net Surplus/(Deficit)	(2,994,199)	(2,994,199)	(2,796,063)	(1,785,820)	(96,681)	(547,977)
Less: Depreciation	(1,125,852)	(1,125,852)	(1,041,952)	(1,160,589)	(2,009)	(118,662)
Cash Surplus/(Deficit)	(1,868,347)	(1,868,347)	(1,754,111)	(625,231)	(94,672)	(429,315)