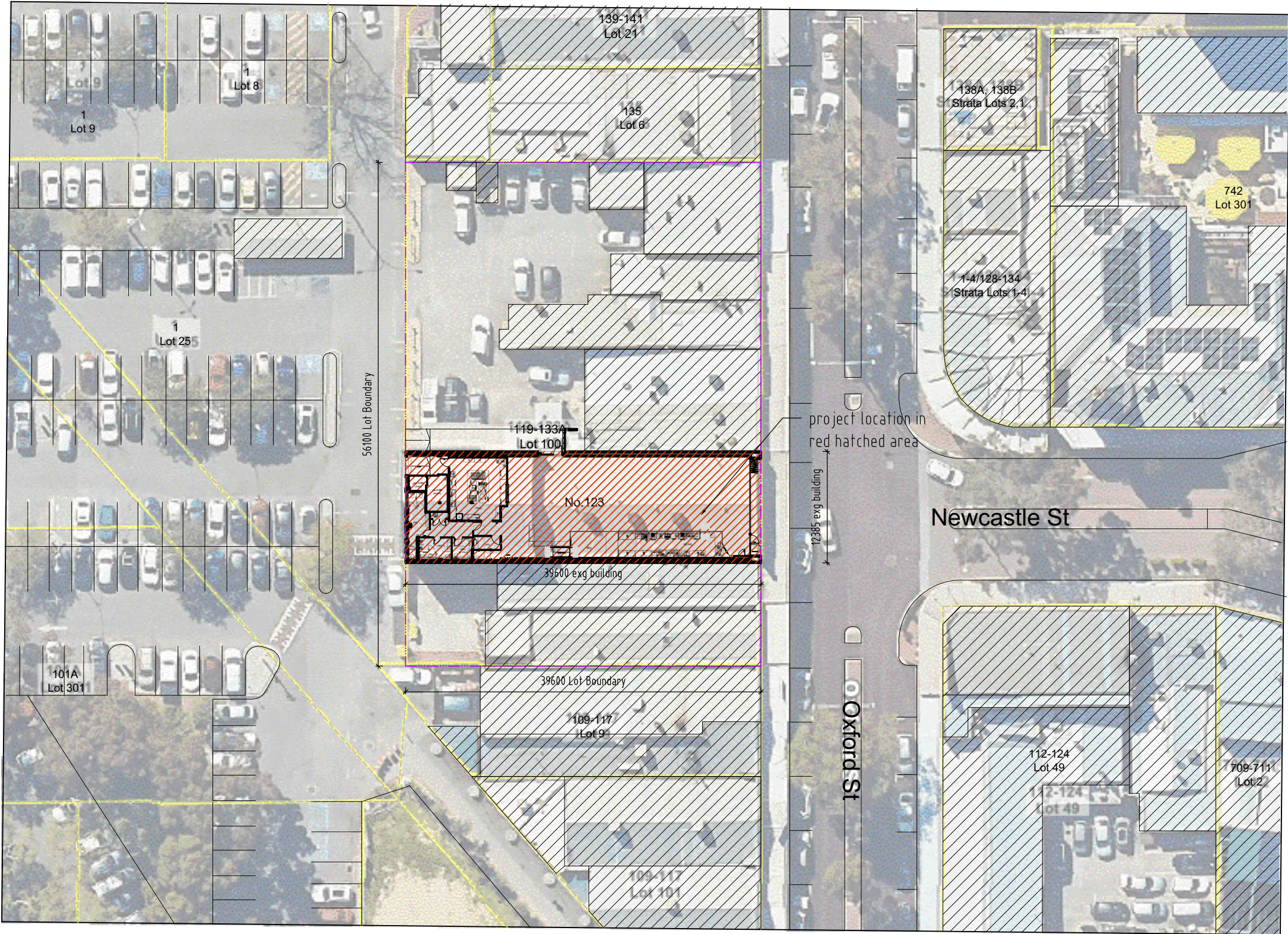
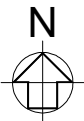




1

LOCATION PLAN

1:500 at A3



JOINERY NOTE:

- CONSTRUCTION OF JOINERY ITEM IS GENERALLY 33MM & 16MM MDF, HMR TO WET AREAS, USING GRADES DESIGNED BY THE MANUFACTURER TO HAVE MOISTURE RESISTANCE APPROPRIATE TO THE CONDITIONS OF USE. OTHER THICKNESS OF LAMINATE AS SPECIFICALLY NOTED
- UNLESS OTHERWISE SPECIFIED, ALL INTERNAL CARCASS OF JOINERY TO BE IN PRE-LAMINATED BOARD.
- SCRIBE PIECE BETWEEN JOINERY AND ADJACENT SURFACES AND SEAL ALL WORK TO MAKE WATERPROOF AND / OR VERMIN PROOF AS APPLICABLE.
- USE INLAID METAL PROTECTION TO ALL EXPOSED JOINERY EDGES UNLESS OTHERWISE PROTECTED.
- ALL NOTE FOR ALL FIRE HAZARD PROPERTIES OF LININGS, MATERIALS AND ASSEMBLIES TO COMPLY WITH BCA C1.10 AS REQUIRED

Date	Amendment	Rev

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Project
JAGGA DAKU - LEEDERVILLE

Address
Unit 123, LOT100, NO 119-133A, OXFORD ST,
LEEDERVILLE, WA 6007.

CHANGE OF USE SUBMISSION

DATE: 24/08/2022

Dwg title
LOCATION PLAN

Drawn
LL
Scale
1:1000 AT A3

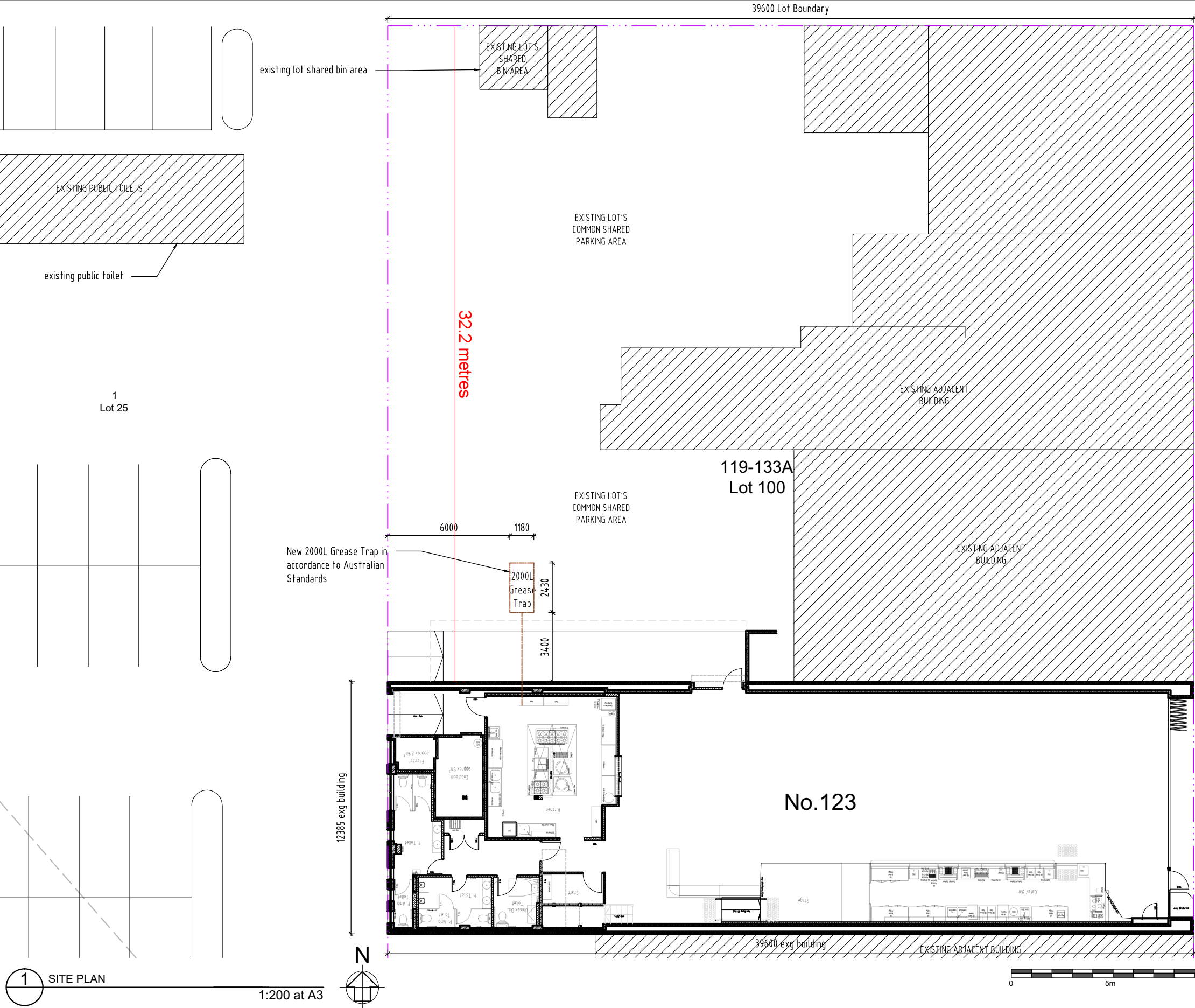
Dwg no.

A02

CITY OF VINCENT
RECEIVED
20 September 2022

Oxford St

Newcastle St



1 SITE PLAN

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CHANGE OF USE SUBMISSION

DATE: 24/08/2022

Dwg title
SITE PLAN

Drawn
LL
Scale
1:200 AT A3

Dwg no.
A03

1:100 at A3



SCALE BAR 1:100



CHANGE OF USE SUBMISSION

DATE: 24/08/2022

Dwg title
EXISTING & DEMOLITION PLAN

Drawn

LL

Scale
1:100 AT A3

0wa no.

A04

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Date	Amendment	Rev

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Project

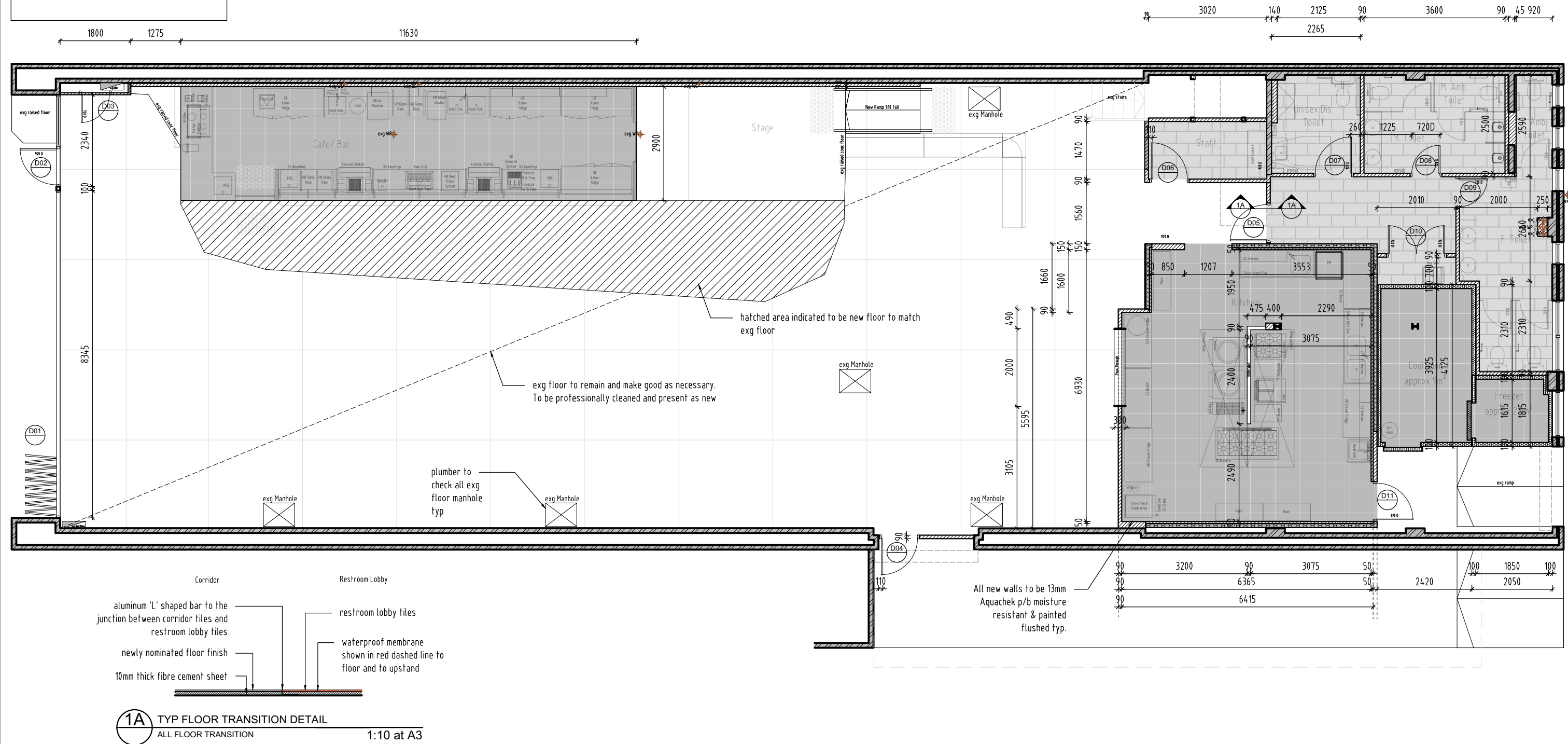
JAGGA DAKU - LEEDERVILLE

Address

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NOTE:
Shopfitter to ensure all floor wet areas
to have water proofing up to 1500AFL
as accord to Australian Standards for
commercial kitchen

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20 September 2022



1 WALL LAYOUT & FLOOR FINISH PLAN
1:100 at A3



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Date	Amendment	Rev

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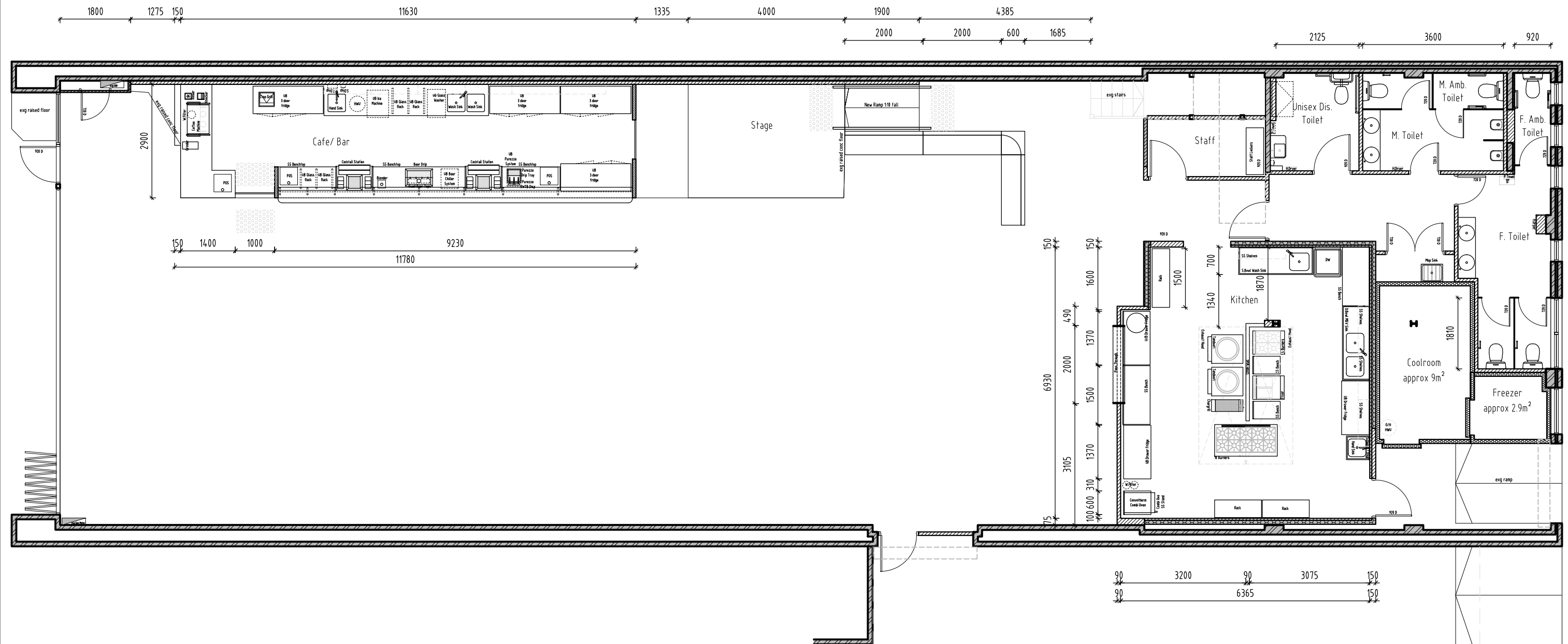
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CHANGE OF USE SUBMISSION

DATE: 24/08/2022	
Dwg title WALL LAYOUT & FLOOR FINISH PLAN	
Drawn LL	Dwg no. A05
Scale 1:100 AT A3	



1 FLOOR LAYOUT PLAN
1:100 at A3



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Date	Amendment	Rev

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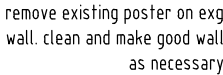
Project
JAGGA DAKU - LEEDERVILLE

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CHANGE OF USE SUBMISSION

DATE: 24/08/2022
Dwg title
FLOOR LAYOUT PLAN

Drawn LL	Dwg no. A06
Scale 1:100 AT A3	



1:50 at A3

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Date	Amendment	Rev

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CHANGE OF USE SUBMISSION	
DATE: 24/08/2022	
Dwg title EXISTING & DEMOLITION PLAN	
Drawn LL	Dwg no. A09
Scale 1:50 AT A3	

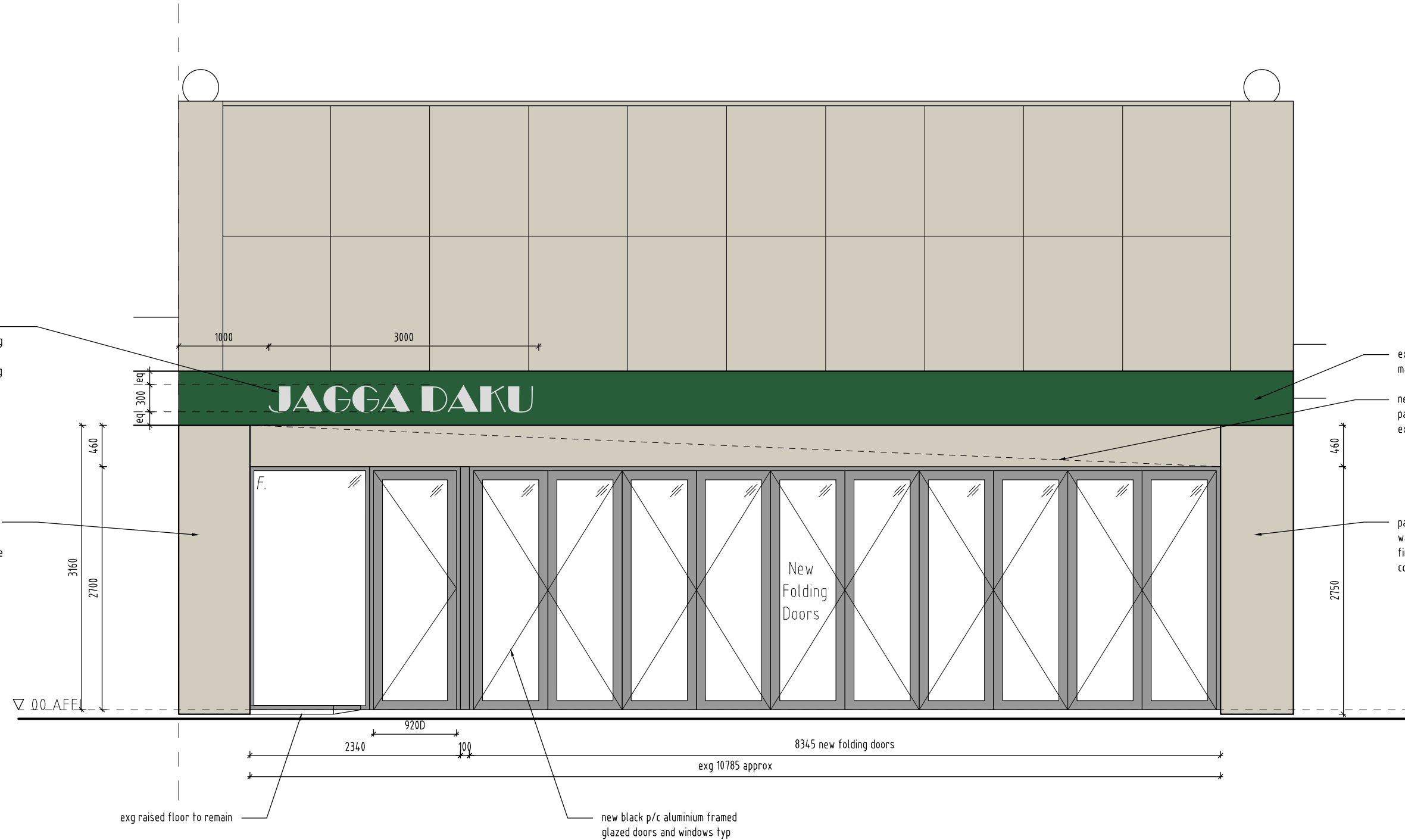
new 10mm thick, 300mm high
cutout acrylic signage lettering
"Broadway" Font type. To be
affix to face of existing awning

patch and make good existing
wall as necessary. Paint
finished to match existing beige
color

existing awning, paint finish to
match existing green color

new wall above doors, to be
painted finished o match
existing beige color

patch and make good existing
wall as necessary. Paint
finished to match existing beige
color



1

FRONT OF TENANCY ELEVATION

1:50 at A3

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CHANGE OF USE SUBMISSION

DATE: 24/08/2022	
Dwg title EXISTING & DEMOLITION PLAN	
Drawn LL	Dwg no. A10
Scale 1:50 AT A3	