














9.1 NO. 109 (LOT: 100; D/P: 43470) PALMERSTON STREET, PERTH - PROPOSED FOUR GROUPED DWELLINGS**Ward:** South

- Attachments:**
1. Consultation and Location Plan 
 2. Development Plans 
 3. Perspectives 
 4. Environmentally Sustainable Design Assessment 
 5. Context Analysis 
 6. Justification Letter 
 7. Arboricultural Survey 
 8. Summary of Submissions - Administration Response 
 9. Summary of Submissions - Applicant Response 
 10. Streetscape Setback Analysis 
 11. Overshadowing Analysis 
 12. Visual Privacy Analysis 
 13. Determination Advice Notes 

RECOMMENDATION:

That Council, in accordance with the provisions of the City of Vincent Local Planning Scheme No. 2 and the Metropolitan Region Scheme, APPROVES the development application for Four Grouped Dwellings at No. 109 (Lot: 100; D/P: 43470) Palmerston Street, Perth in accordance with the plans in Attachment 2, subject to the following conditions, with the associated determination advice notes in Attachment 13:

1. Development Plans

This approval is for Four Grouped Dwellings as shown on the approved plans dated 14 September 2022, 20 October 2022 and 9 November 2022. No other development forms part of this approval;

2. Boundary Walls

The surface finish of boundary walls facing No. 107 Palmerston Street, Perth shall be of a good and clean condition, prior to the occupation or use of the development, and thereafter maintained, to the satisfaction of the City. The finish of boundary walls is to be fully rendered or face brick, or material as otherwise approved, to the satisfaction of the City;

3. External Fixtures

All external fixtures, such as television antennas (of a non-standard type), radio and other antennae, satellite dishes, solar panels, external hot water heaters, air conditioners, and the like, shall not be visible from the street(s), are designed integrally with the building, and be located so as not to be visually obtrusive to the satisfaction of the City;

4. Colours and Materials

- 4.1 Prior to first occupation or use of the development, the colours, materials and finishes of the development shall be in accordance with the details and annotations as indicated on the approved plans which forms part of this approval, and thereafter maintained, to the satisfaction of the City; and
- 4.2 The meter boxes are to be painted the same colour as the wall they are attached so as to not be visually obtrusive, to the satisfaction of the City;

5. Landscaping

- 5.1 Prior to the issue of a Building Permit, a detailed landscape and reticulation plan for the development site and adjoining road verge, to the satisfaction of the City, shall be lodged with and approved by the City. The plan shall be drawn to a scale of 1:100, be generally

in accordance with the landscaping plan dated 14 September 2022 and show the following:

5.1.1 The location and type of existing and proposed trees and plants;

5.1.2 Areas to be irrigated or reticulated; and

5.1.3 The provision of an additional landscaping area containing two trees as marked in red on the approved plans. The tree species are to be consistent with the City's Tree Selection Tool so as to maximise the provision of canopy coverage and to the satisfaction of the City;

5.2 All landscaping works shall be undertaken in accordance with the approved plans dated 14 September 2022, as modified in Condition 5.1.3, prior to the occupancy or use of the development and maintained thereafter to the satisfaction of the City; and

5.3 No verge trees shall be removed without the prior written approval of the City. Verge trees shall be retained and protected from damage including unauthorised pruning to the satisfaction of the City. Prior to any pruning of verge trees, an arborist report shall be prepared by the landowner and submitted to the City;

6. Privacy Screening

Prior to occupancy or use of the development, all privacy screening shown on the approved plans shall be installed and shall be visually impermeable and is to comply in all respects with the visual privacy requirements of the Residential Design Codes, to the satisfaction of the City;

7. Sight Lines

Walls, fences, and other structures truncated or reduced to no higher than 0.75 metres within 1.5 metres of where walls, fences, other structures adjoin vehicle access points where a driveway meets a public street, with the exception of:

- One pier at max width of 0.4 metres x 0.4 metres and 1.8 metres height, with decorative capping permitted to a height of 2.0 metres;
- Infill that provides a clear sight line;
- If a gate is proposed:
 - When closed: a min of 50 percent unobstructed view; or
 - When open: a clear sightline;

unless otherwise approved by the City;

8. Front Fence

Fencing infill panels above the approved solid portions of fence shall be visually permeable in accordance with the Residential Design Codes Volume 1, to the satisfaction of the City;

9. Car Parking and Access

9.1 The layout and dimensions of all driveways and parking areas shall be in accordance with AS2890.1;

9.2 All driveways, car parking and manoeuvring areas which form part of this approval shall be sealed, drained, paved and line marked in accordance with the approved plans prior to the first occupation of the development and maintained thereafter by the owner/occupier to the satisfaction of the City;

9.3 No goods or materials being stored, either temporarily or permanently, in the parking or landscape areas or within the access driveways. All goods and materials are to be stored within the buildings or storage areas, where provided;

9.4 The new crossover to Palmerston Street shall be reduced to a maximum width of three

metres to maximise the separation from the existing verge tree; and

- 9.5 Prior to the first occupation of the development, the redundant or “blind” crossovers shall be removed, the verge area landscaped, and the kerb made good to the City’s specifications and to the satisfaction of the City, at the applicant/owner’s full expense;

10. Tree Protection

Prior to the issue of a Building Permit a Tree Protection Plan prepared in accordance with Australian Standard AS4970-2009 shall be submitted and approved by the City. The Tree Protection Plan is to include details of the construction methods for works to be undertaken on site to minimise impact on the Moreton Bay Fig situated in Robertson Park and adjacent to the northern boundary of the subject site. The Tree Protection Plan shall include the following details:

- Fencing of the Tree Protection Zone (TPZ) and Structural Root Zone, as defined in the Arboricultural Report stamp dated 8 June 2021, for the duration of works to avoid compaction and root severance;
- Methodology and construction details for site grading, retaining walls and boundary fencing within the TPZ;
- Location and construction methodology for utility trenching to minimise impact on TPZ;
- Soakwells and stormwater pipes within the TPZ to be manually excavated to avoid root severance;
- Construction methodology for footings of Units 3 and 4 within the TPZ to minimise impact on the tree roots; and
- Driveway to be manually compacted;

The recommendations of the Tree Protection Plan shall be implemented and complied with for the duration of the construction of the development, to the satisfaction of the City;

11. Construction Management Plan

A Construction Management Plan shall be lodged with and approved by the City prior to the issue of a Building Permit. This plan is to detail how construction will be managed to minimise disruption in the area and shall include:

- The delivery of and delivery times for materials and equipment to the site;
- Storage of materials and equipment on site;
- Parking arrangements for contractors and sub-contractors;
- The impact on traffic movement;
- Dilapidation report of the nearby properties at No’s. 107 and 116 Palmerston Street, Perth;
- Notification to affected land owners; and
- Construction times;

The management plan shall be complied with for the duration of the construction of the development; and

12. Stormwater

All stormwater produced on the subject land shall be retained on site or connected to the City’s drainage system at the expense of the applicant/landowner, to the satisfaction of the City.

Moved: Cr Wallace, **Seconded:** Cr Ioppolo

That the recommendation be adopted.

AMENDMENT 1

Moved: Cr Hallett, **Seconded:** Cr Worner

That Condition 4 be deleted and replaced with the following:

4. Colours and Materials

~~4.1 Prior to first occupation or use of the development, the colours, materials and finishes of the development shall be in accordance with the details and annotations as indicated on the approved plans which forms part of this approval, and thereafter maintained, to the satisfaction of the City; and~~

~~4.2 The meter boxes are to be painted the same colour as the wall they are attached so as to not be visually obtrusive, to the satisfaction of the City;~~

~~4.1 Prior to the issue of a building permit, a schedule detailing the colours, materials and finishes of the development must be submitted to and approved by the City.~~

~~The schedule is to include the use of 'San Selmo Reclaimed Bricks' or similar colour for the face brick portions of the development as indicated on the approved plans, to the satisfaction of the City.~~

~~The development must be finished and thereafter maintained in accordance with the approved schedule of colours and materials, prior to occupation of the development and to the satisfaction of the City;~~

REASON:

To ensure that the brick colour and finish used for the development is consistent with the brick work shown in the perspectives.

AMENDMENT CARRIED (8-0)

For: Cr Gontaszewski, Cr Alexander, Cr Castle, Cr Loden, Cr Worner, Cr Hallett, Cr Ioppolo and Cr Wallace

Against: Nil

(Mayor Cole was an apology for the Meeting.)

PROCEDURAL MOTION

DEFERRED

Moved: Cr Wallace, **Seconded:** Cr Worner

1. That the motion be deferred, to address the following concerns:

The proposed development is inconsistent with the objectives of the Residential Zone under the City of Vincent's Local Planning Scheme No. 2, as the proposal does not result in a design that is compatible with, and that enhances the amenity and character of the residential neighbourhood and streetscape. This is because the proposed development that faces the Palmerston Street frontage does not offer sufficient setbacks or landscaping to reduce impacts of building bulk to the street;

The proposed development does not satisfy relevant design principles of State Planning Policy 7.3 – Residential Design Codes Volume 1 (R Codes) and local housing objectives of the City's Policy 7.1.1 – Built Form (Built Form Policy), including:

- a) Clause 5.1 of the Built Form Policy and Clause 5.1.2 of the R Codes in relation to Street Setbacks. The development is not set back from the street sufficiently to contribute to, or be consistent with, the established streetscape. The proposed setback from the street

results in a building bulk and scale that is not consistent with, and does not contribute to the established streetscape and would adversely affect the amenity of the neighbouring property;

- b) Clause 5.1.3 of the R Codes in relation to Lot Boundary Setbacks. The proposed development would adversely affect the amenity of the neighbouring property at No. 107 Palmerston Street because it would not maintain adequate access to direct sun into buildings and open spaces, and the proposed development has not been appropriately set back from the south western lot boundary nor designed to reduce the impacts of building bulk and scale;
- c) Clause 5.3.2 of the R Codes in relation to Landscaping. The proposed street setback would result in reduced landscaping opportunities within the street setback area. The resultant landscaping does not contribute to the appearance and amenity of the development for residents or positively contribute to the streetscape;
- d) Clause 5.3 of the Built Form Policy and Clause 5.1.6 of the R Codes in relation to Building Height. The proposed building height would contribute towards adversely affecting the amenity of the neighbouring property as outlined in Reason 2b; and
- e) Clause 5.4.2 of the R Codes in relation to Solar Access for Adjoining Sites. The development has not been appropriately designed to protect the neighbouring property's (No. 107 Palmerston Street) access to direct sunlight to outdoor living areas and major openings, and would adversely affect the amenity of the neighbouring property; and

2. Having regard to the reasons above, the proposed development:

- a) Is not physically compatible with its setting nor with the adjoining development (Clause 67(2)(m) of the Deemed Provisions in Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015*); and
- b) Would have an adverse and detrimental impact on the amenity and character of the locality (Clause 67(2)(n) of the Deemed Provisions in Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015*).

The application to be returned to Council no later than 90 days from today.

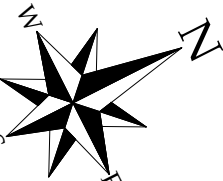
CARRIED (5-3)

For: Cr Gontaszewski, Cr Alexander, Cr Loden, Cr Worner and Cr Wallace

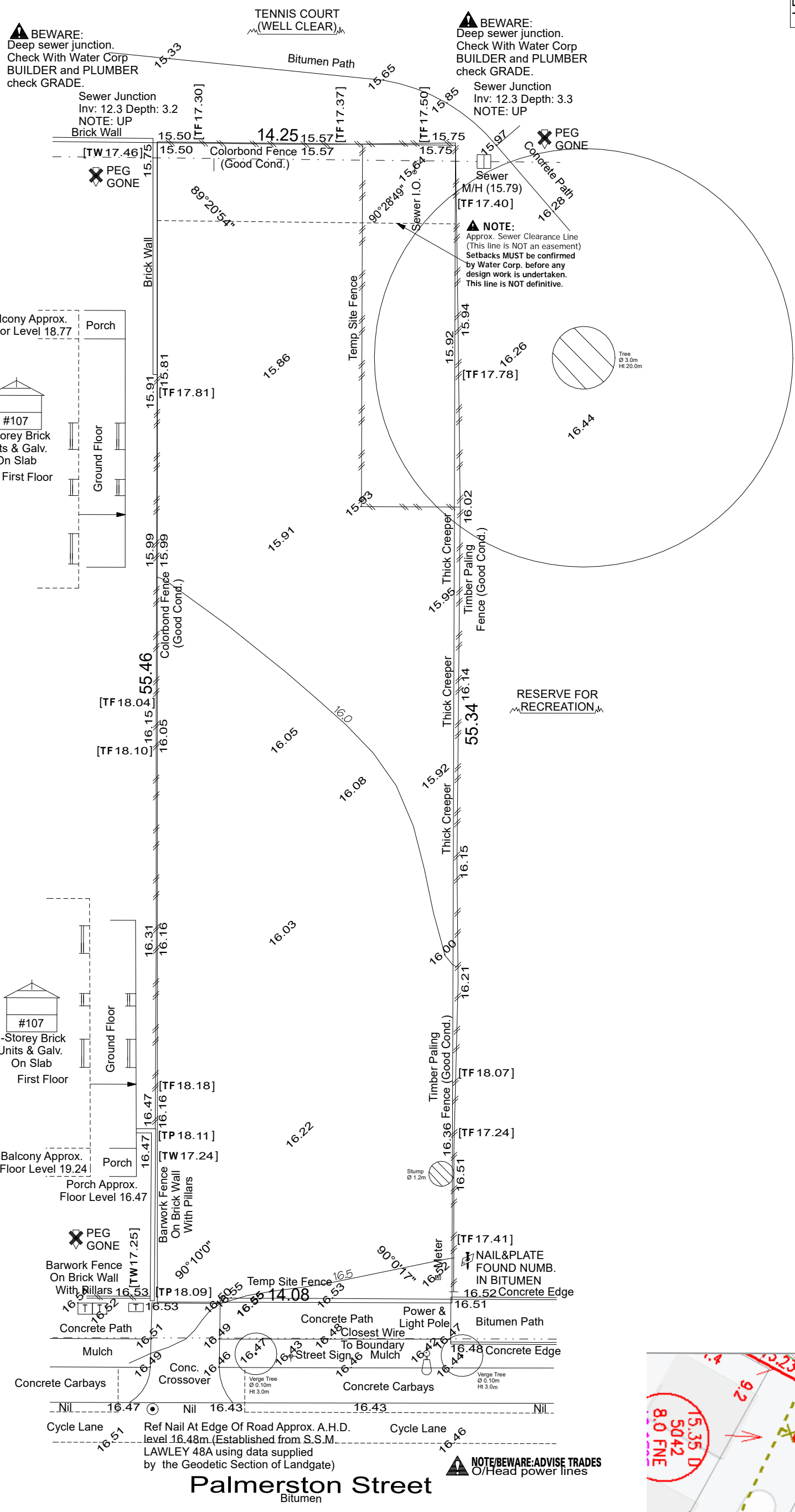
Against: Cr Castle, Cr Hallett and Cr Ioppolo

(Mayor Cole was an apology for the Meeting.)

This Drawing is to be read in conjunction with all relevant Drawings related to the Project for accurate co-ordination of services. The Contractor is to check all dimensions on site before the commencement of work. Should any discrepancies occur, notify the Builder immediately. These Drawings remain the property of the Builder and shall be returned upon request.



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20 October 2022



LOT MISCLOSE
0.004 m

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

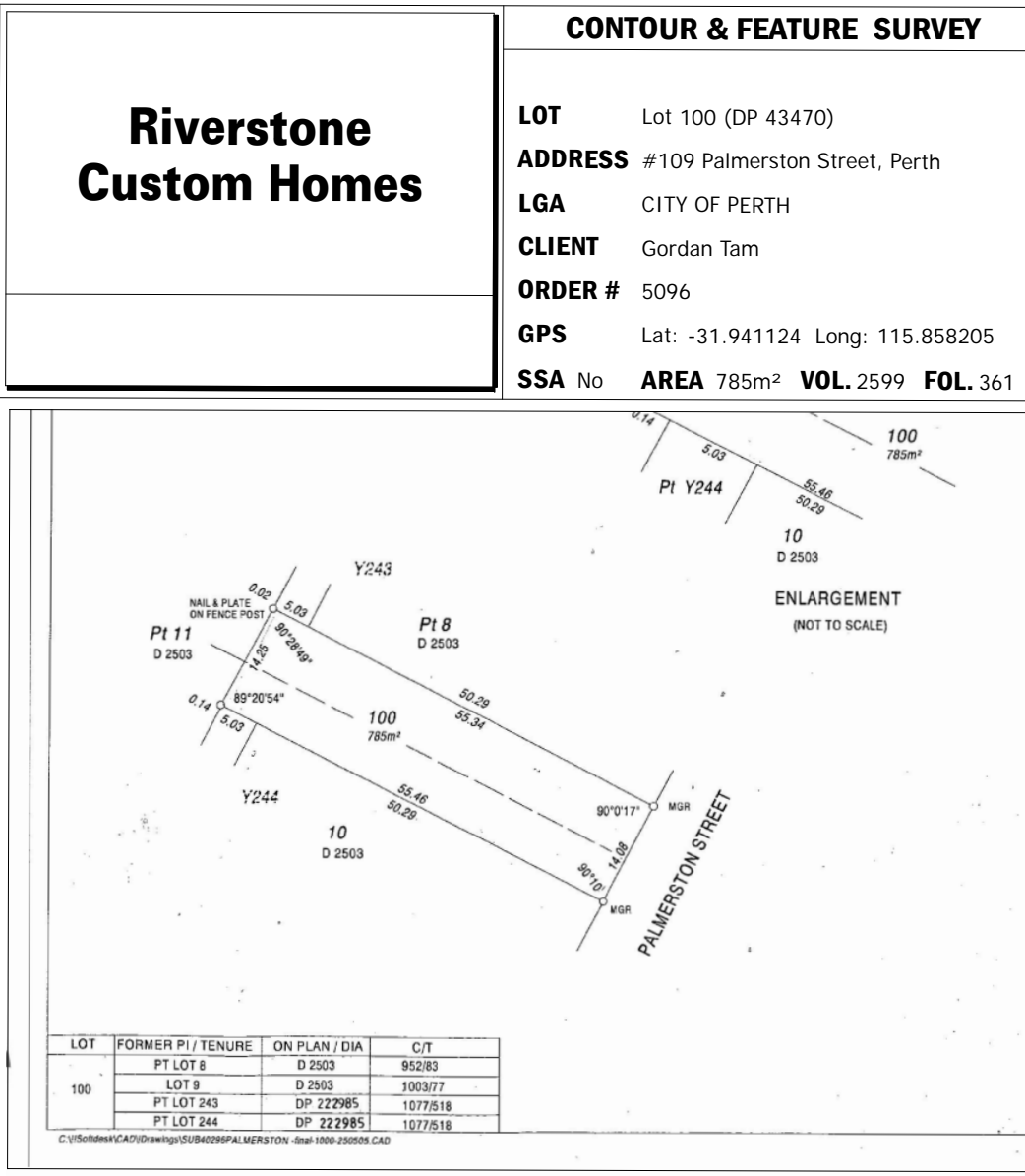
DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted

Existing Site Plan Scale: 1:200

+	Power Dome
+	Power Pole
+	Phone Pits
+	Water Conn.
TP 10.00	Top Pillar/Post
TW 10.00	Top Wall
TR 10.00	Top Retaining
TF 10.00	Top Fence

Drawing List		Page Name
1 Perspectives		1.01 Perspectives
2 Plans - MASTER		
	2.01	Site Plan - Existing
	2.02	Site Plan - New - MASTER
	2.03	Plans - MASTER
	2.04	Plans - MASTER
	2.05	Plans - MASTER
	2.06	Landscaping Plan - MASTER



ELEC.	O/Head	SEWER	Yes	ROADS	Bitumen	COASTAL	No
GAS	Check Alinta	COMMS	Yes	PATH	Concrete	SOIL	Sand
WATER	Yes	DRAINAGE	Good	KERBS	Nil	VEG.	Light Grass Cover



COTTAGE SURVEYS
LICENSED SURVEYORS

87-89 Guthrie St
Osborne Park
WA 6017

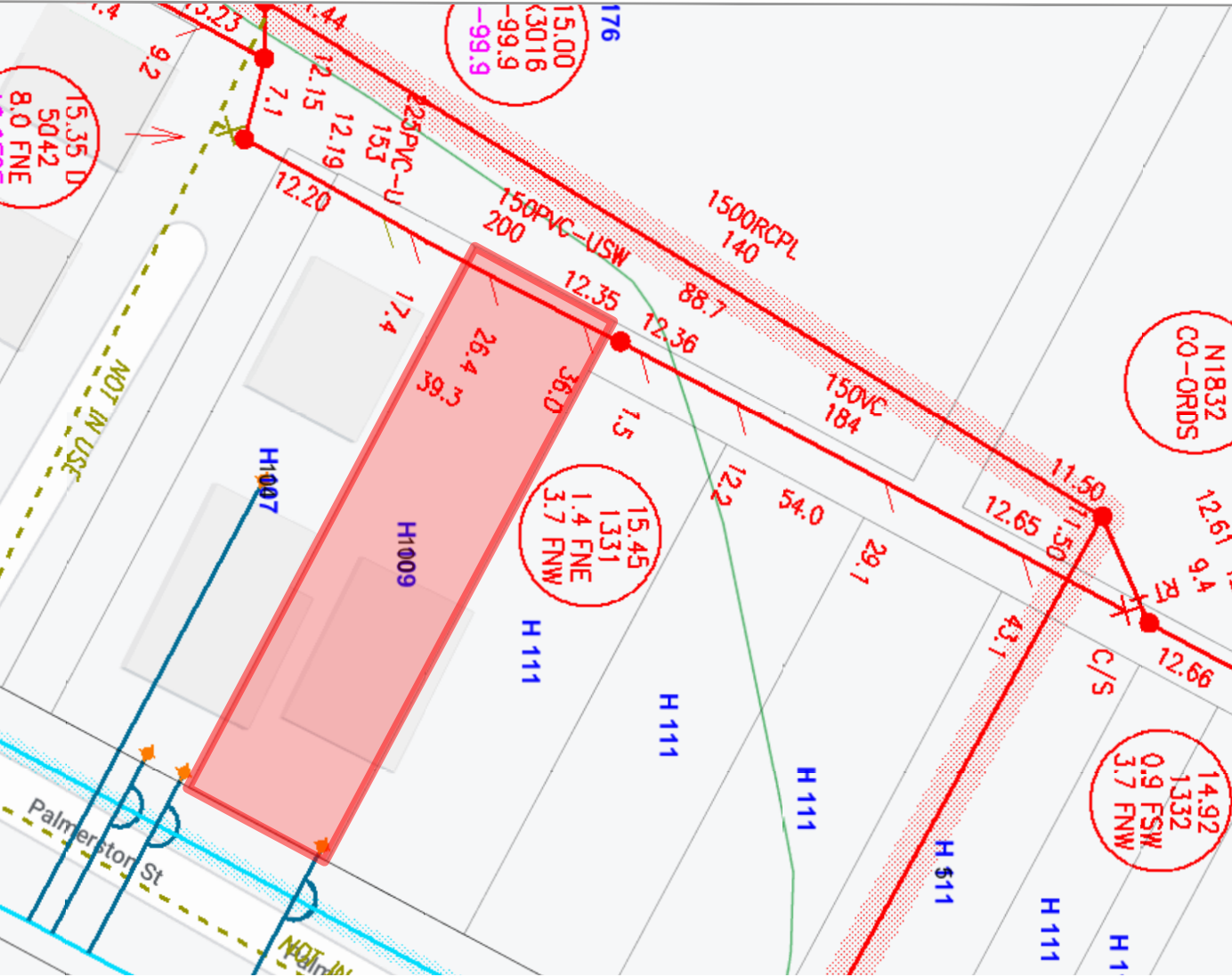
PO Box 1611
Osborne Park BC
WA 6917

P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB: 524052

DATE: 14 Apr 22

DRAWN: T. Do



Scale 1:200

COTTAGE SURVEYS LICENSED SURVEYORS	87-89 Guthrie Street Osborne Park, WA 6017	JOB # 524052	GPS Lat: -31.941124 Long: 115.858205		ROADS Bitumen	ELEC. O/Head
	PO Box 1611 Osborne Park Business Centre WA 6917	CLIENT Gordan Tam	ORDER # 5096		KERBS Nil	COMMS. Yes
	P: (08) 9446 7361 E: perth@cottage.com.au W: www.cottage.com.au	ADDRESS #109 Palmerston Street	LOT Lot 100 (DP 43470)		FOOTPATH Concrete	WATER Yes
		SUBURB Perth			SOIL Sand	GAS Check Alinta
		LGA CITY OF PERTH	AREA 785m ² VOL. 2599 FOL. 361		DRAINAGE Good	SEWER Yes
		DRAWN T. Do	DATE 14 Apr 22	SSA No	VEGETATION Light Grass Cover	COASTAL No



A: Suite 44 Cottlesloe Central Shopping Centre, 460 Stirling Highway, Peppermint Grove, WA 6011
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Tam-Palmerston ST
Lot 100, (#109), Palmerston St
Perth, WA 6000

Wind Classification	T.B.C.	Amendments	DA01-
Local Authority	City of Vincent		
Dwn.	S.McChesney		
Plot Date	19/10/2022 at 4:59 PM		

Signatures:	
Client:	
Client:	
Builder:	

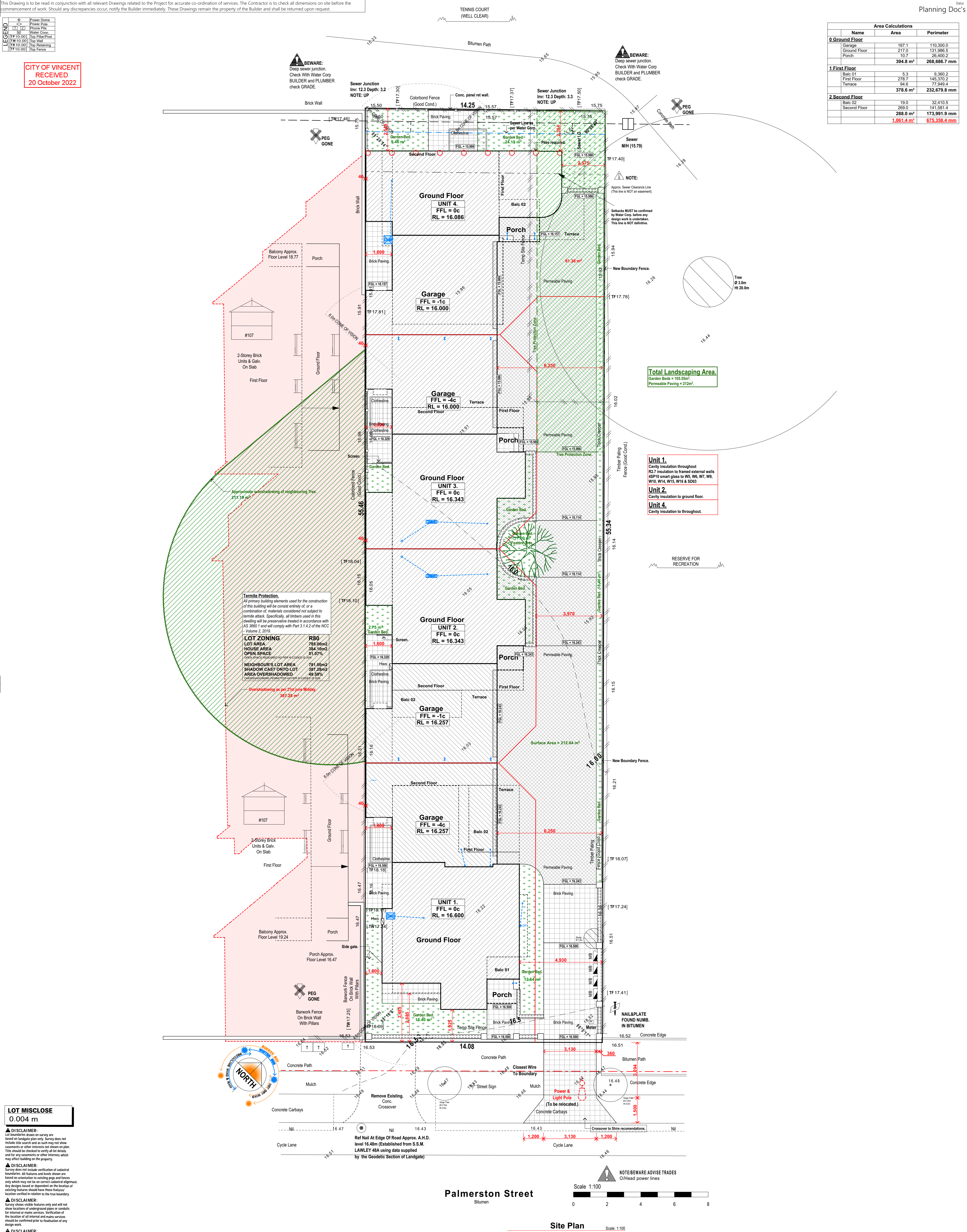
Site Plan - Existing

Rev No.	Rev	Rev
1	N/A.	
2	5096	
3	2.01	

This Drawing is to be read in conjunction with all relevant Drawings related to the Project for accurate co-ordination of services. The Contractor is to check all dimensions on site before the commencement of work. Should any discrepancies occur, notify the Builder immediately. These Drawings remain the property of the Builder and shall be returned upon request.

+	Power Dome
+	Power Pole
+	Power Pole
+	Power Pole
+	Water Conn.
+	Top Floor
+	Top Floor
+	Top Floor
+	Top Floor
+	Top Floor
+	Top Floor

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COTTAGE SURVEYS
LICENCED SURVEYORS

87-89 Guthrie Street Osborne Park, WA 6017	JOB # 524052	GPS Lat: -31.941124 Long: 115.858205	ROADS Bitumen	ELEC. Overhead
PO Box 1611 Osborne Park Business Centre WA 6917	CLIENT Gordon Tam	ORDER # 5096	KERBS Nil	COMMS. Yes
P: (08) 9446 7361 E: perth@cottage.com.au W: www.cottage.com.au	ADDRESS #109 Palmerston Street	LOT Lot 100 (DP 43470)	FOOTPATH Concrete	WATER Yes
	SUBURB Perth	LGA CITY OF PERTH	SOIL Sand	GAS Check Alinta
	DRAWN T. Do	DATE 14 Apr 22	DRAINAGE Good	SEWER Yes
		VOL. 2599 FOL. 361	VEGETATION Light Grass Cover	COASTAL No

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Peppermint Grove, WA 6011
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Tam-Palmerston ST
Lot 100, (#109), Palmerston St
Perth, WA 6000

Wind Classification	T.B.C.
Local Authority	City of Vincent
Drawn	S.McChesney
19/10/2022 at 5:00 PM	

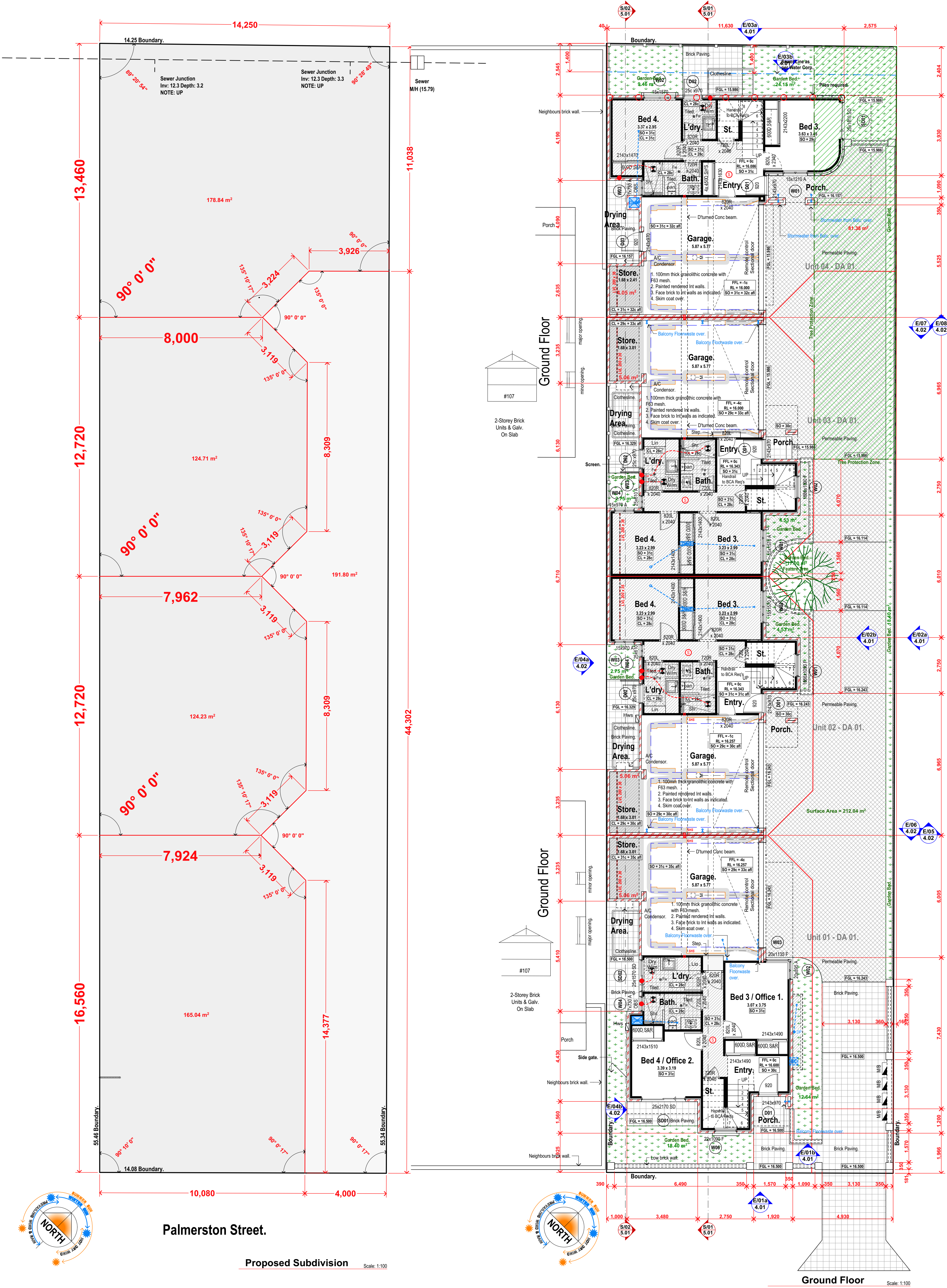
Site Plan - New - MASTER DA 01

Signatures:	Rev No.	Rev No.
Client:	5096	
Client:	2.02	
Builder:		

Rev No.	Rev No.
N/A.	
5096	
2.02	

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Area Calculations		
Name	Area	Perimeter
0 Ground Floor		
Garage	167.1	110,300.0
Ground Floor	217.0	131,986.5
Porch	10.7	26,400.2
	394.8 m²	268,686.7 mm
1 First Floor		
Balc 01	5.3	9,360.2
First Floor	278.7	145,370.2
Terrace	94.6	77,949.4
	378.6 m²	232,679.8 mm
2 Second Floor		
Balc 02	19.0	32,410.5
Second Floor	269.0	141,581.4
	288.0 m²	173,991.9 mm
	1,061.4 m²	675,358.4 mm



Total Landscaping Area.
Garden Beds = 195.5m²
Permeable Paving = 212m²

- Unit 1.**
Cavity insulation throughout
R2.7 insulation to framed external walls
ESP18 smart glass to W6, W6, W7, W8, W10, W14, W15, W16 & SD03
- Unit 2.**
Cavity insulation to ground floor.
- Unit 4.**
Cavity insulation to throughout.

LEGEND	
	Smoke Alarm - Hard Wired, Interlinked and to AS 3786-2014
	Exhaust fan - flumed to external air and not into the roof space.
	Wall mounted cold water hose tap
	Water supply for fridge
	Gas bayonet point
COMPLIANCE NOTES	
Artificial Lighting To comply with NCC Vol. 2 Part 3.12.5.5	
Fall Prevention Bedroom windows - where floor is 2m more than surface beneath unless opening sash is greater than 1700mm AFL opening must be permanently restricted to 125mm or fitted with a non-removable robust screen.	
All other windows - where the fall height is 4m or greater must have a transom above 850mm and a sill height less than 150mm - No restriction is required to opening. Refer to NCC V2 Part 3.9.2.6 and 3.9.2.7	
Boundary Walls To Provide Fire Separation To comply with NCC Vol. 2 Part 3.7.3.2	
Fireplace To comply with NCC Vol. 2 Part 3.10.7	
Parapet/Boundary Fireproofing To comply with NCC Vol. 2 Part 3.7.2.4	
Staircase, Balustrade and Handrails To comply with NCC Vol. 2 Part 3.9.1 and 3.9.2 (Non. 280 Going x 172 Rise).	
Stormwater Drainage To comply with NCC Vol. 2 Part 3.13 citing AS 3500.3	
Swimming Pool Barriers To comply with AS 1926.1 and 1926.2	
Timber Framing To comply with AS 1684	
Termite Protection All primary building elements used for the construction of this building will consist entirely of, or a combination of, materials considered not subject to termite attack. Specifically, all timbers used in this dwelling will be preservative treated in accordance with AS 3660.1 and will comply with Part 3.1.4.2 of the Building Code of Australia - Volume 2, 2019 Amendment 1.	
Parapet Walls FMC Homeguard as physical Termite barrier as per AS 3660.1 - 2014 and will comply with Part 3.1.4.2 of the Building Code of Australia - Volume 2, 2019 Amendment 1.	
Wet areas To comply with NCC Vol. 2 Part 3.8.1	
Steelwork Exposed steel shall have an anti-corrosive treatment in accordance with the NCC 2019	

Plans - MASTER DA 01

5096
2.03

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Tam-Palmerston ST
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Perth, WA 6000

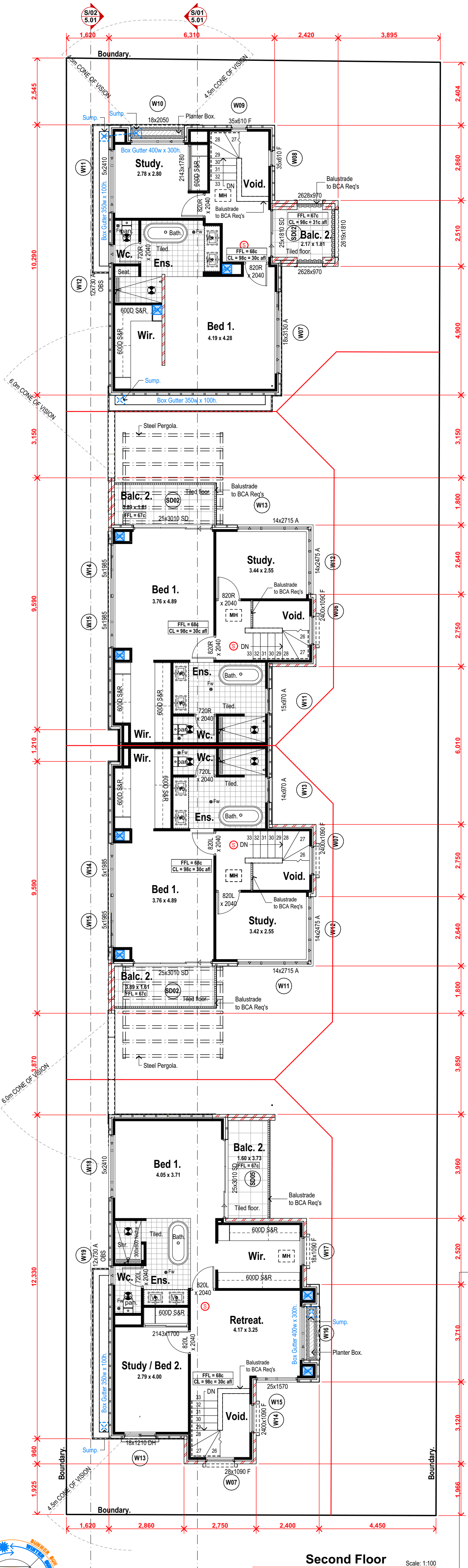
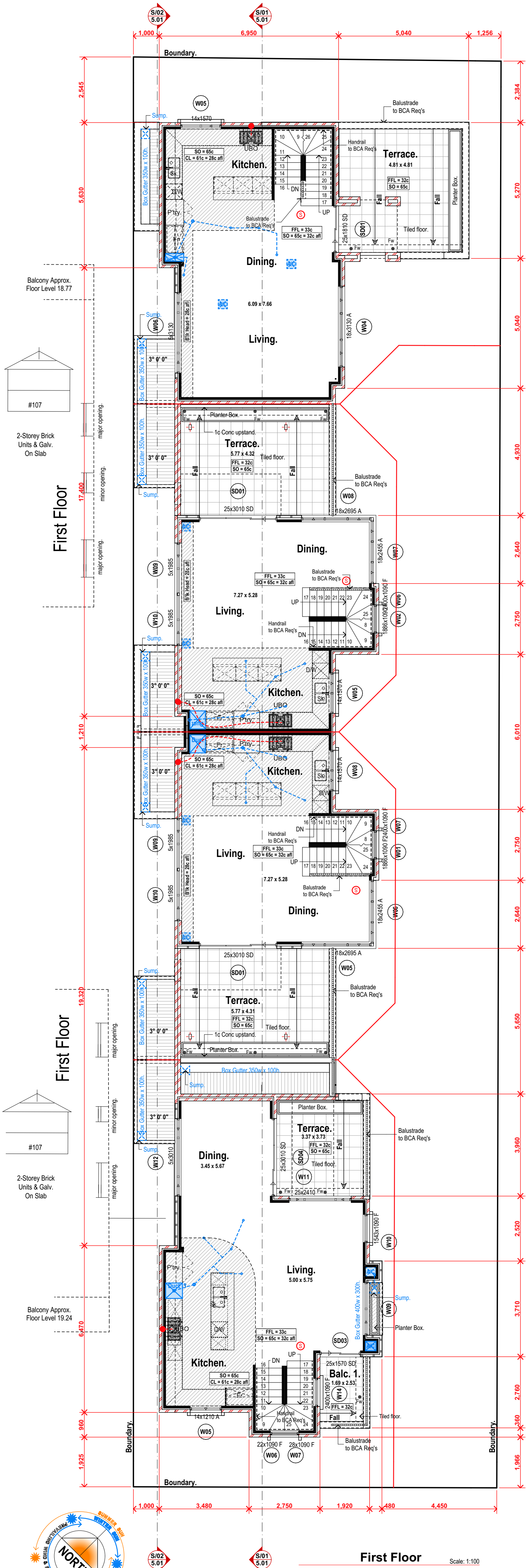
Wind Classification T.B.C.
Local Authority City of Vincent
Drawn S.McChesney
19/10/2022 at 5:00 PM

Signatures:
Client:
Client:
Builder:

N/A.

Area Calculations		
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CITY OF VINCENT
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20 October 2022



LEGEND	
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	Exhaust fan - flumed to external air and not into the roof space.
	Water mounted cold water hose tap
	Water supply for fridge
	Gas bayonet point

COMPLIANCE NOTES	
Artificial Lighting To comply with NCC Vol. 2 Part 3.12.5.5	
Fire Prevention Bedroom windows - where floor is 2m more than surface beneath unless opening sash is greater than 1700mm AFL opening must be permanently restricted to 125mm or fitted with a non-removable robust screen.	
All other windows - where the fall height is 4m or greater must have a transom above 850mm and a sill height less than 150mm - No restriction is required to opening. Refer to NCC V2 Part 3.9.2.6 and 3.9.2.7	
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Stormwater Drainage To comply with NCC Vol 2 Part 3.1.3 citing AS 3500.3	
Swimming Pool Barriers To comply with AS 1926.1 and 1926.2	
Timber Framing To comply with AS 1684	
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Steelwork Exposed steel shall have an anti-corrosive treatment in accordance with the NCC 2019	

Plans - MASTER

DA 01

5096

2.04

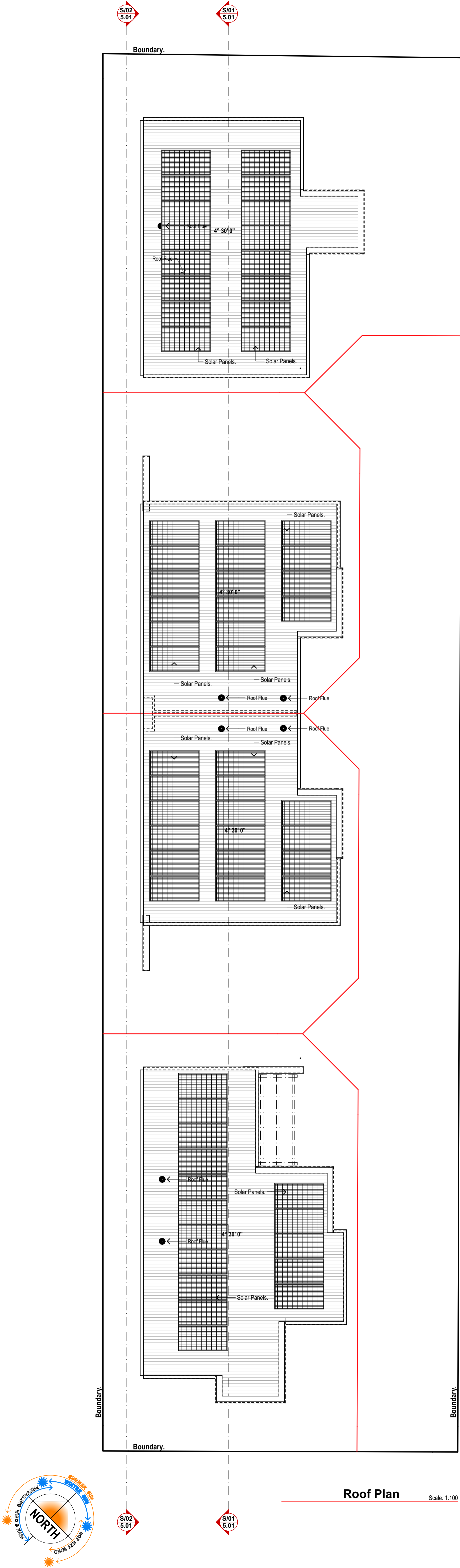
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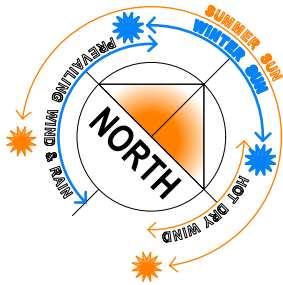
Tam-Palmerston ST
Lot 100, (#109), Palmerston St
Perth, WA 6000

Wind Classification T.B.C.
Local Authority City of Vincent
Drawn S.McChesney
19/10/2022 at 5:00 PM

Signatures:
Client: _____
Client: _____
Builder: _____



LEGEND	
	Smoke Alarm - Hard Wired, Interlinked and to AS 3786-2014
	Exhaust fan - flumed to external air and not into the roof space.
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All other windows - where the fall height is 4m or greater must have a transom above 850mm and a sill height less than 150mm - No restriction is required to opening. Refer to NCC V2 Part 3.9.2.6 and 3.9.2.7	
Boundary Walls To Provide Fire Separation To comply with NCC Vol.2 Part 3.7.3.2	
Fireplace To comply with NCC Vol.2 Part 3.10.7	
Parapet/Boundary Fireproofing To comply with NCC Vol.2 Part 3.7.2.4	
Staircase, Balustrade and Handrails To comply with NCC Vol. 2 Part 3.9.1 and 3.9.2 (Non. 280 Going x 172 Riser).	
Stormwater Drainage To comply with NCC V2 Part 3.1.3 citing AS 3500.3	
Swimming Pool Barriers To comply with AS 1926.1 and 1926.2	
Timber Framing To comply with AS 1684	
Termite Protection All primary building elements used for the construction of this building will consist entirely of, or a combination of, materials considered not subject to termite attack. Specifically, all timbers used in this dwelling will be preservative treated in accordance with AS 3660.1 and will comply with Part 3.1.4.2 of the Building Code of Australia - Volume 2, 2019 Amendment 1.	
Parapet Walls FMC Homeguard as physical Termite barrier as per AS 3660.1 - 2014 and will comply with Part 3.1.4.2 of the Building Code of Australia - Volume 2, 2019 Amendment 1.	
Wet areas To comply with NCC Vol.2 Part 3.8.1	
Steelwork Exposed steel shall have an anti-corrosive treatment in accordance with the NCC 2019	



Roof Plan

Scale: 1:100



A: Suite 44 Cottlesloe Central Shopping Centre, 460 Stirling Highway,
Peppermint Grove, WA 6011
T: 08 9294 4866 F: 08 9384 6144 E: reception@riverstone.com.au
W: www.riverstone.com.au
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Tam-Palmerston ST
Lot 100, (#109), Palmerston St
Perth, WA 6000

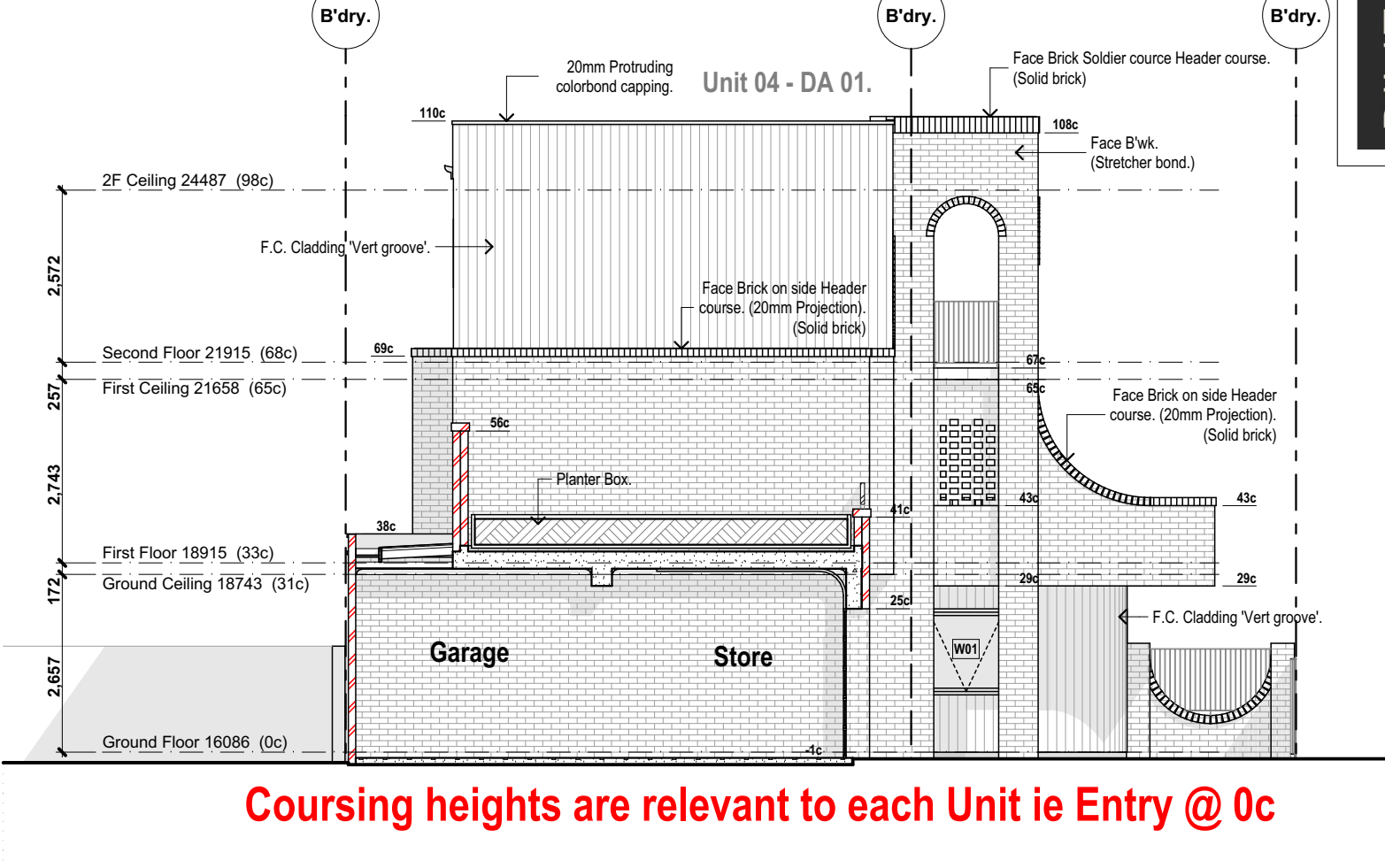
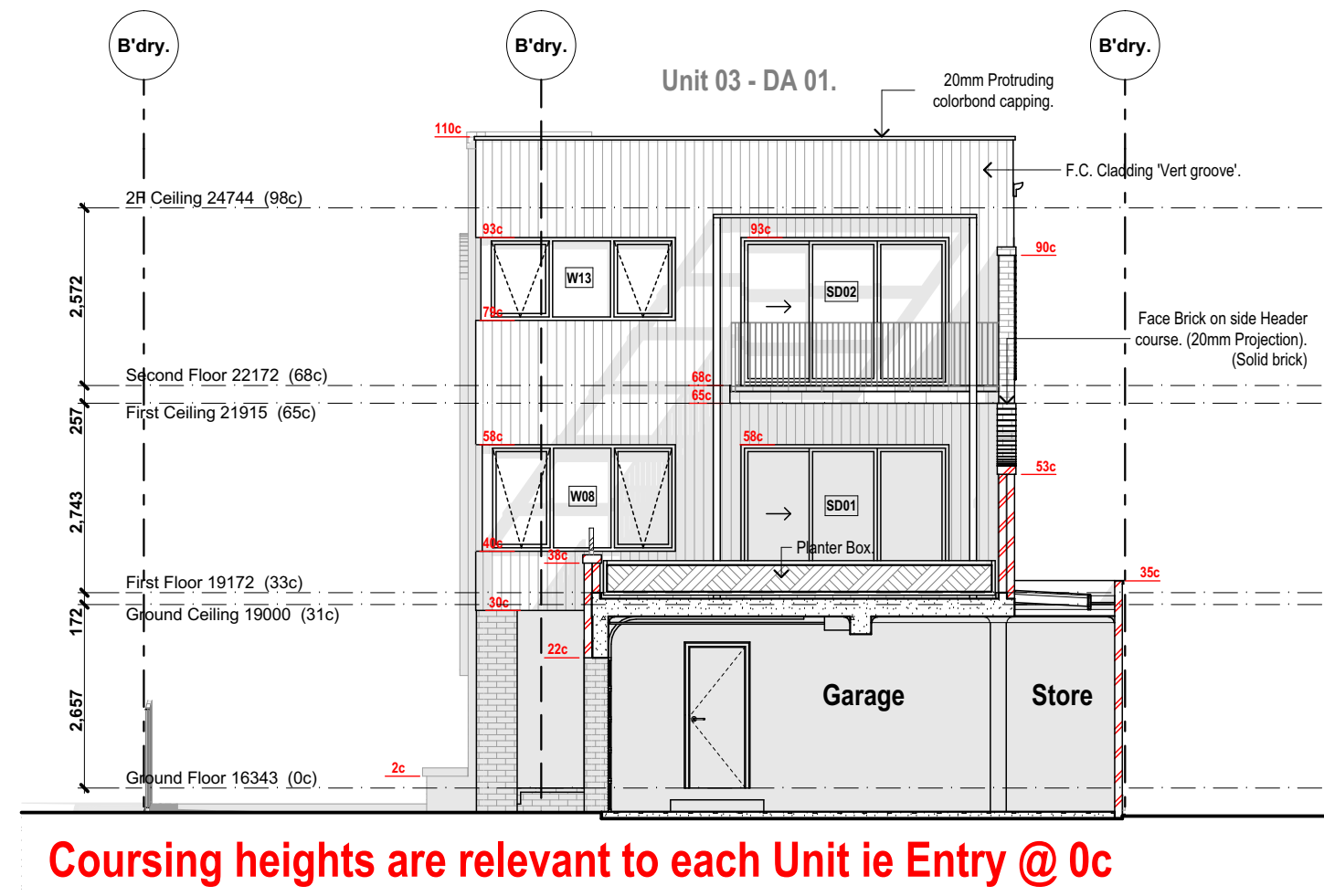
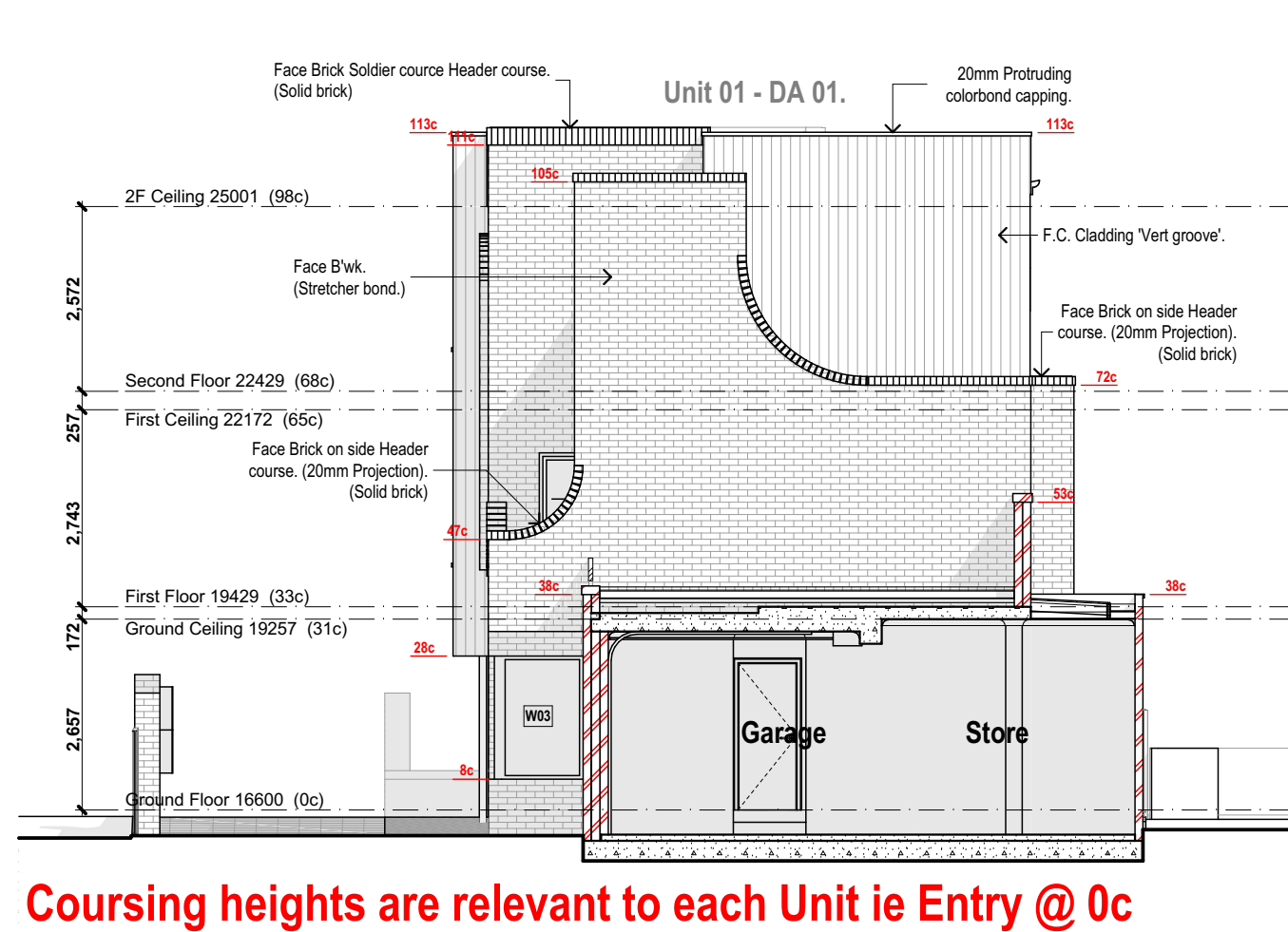
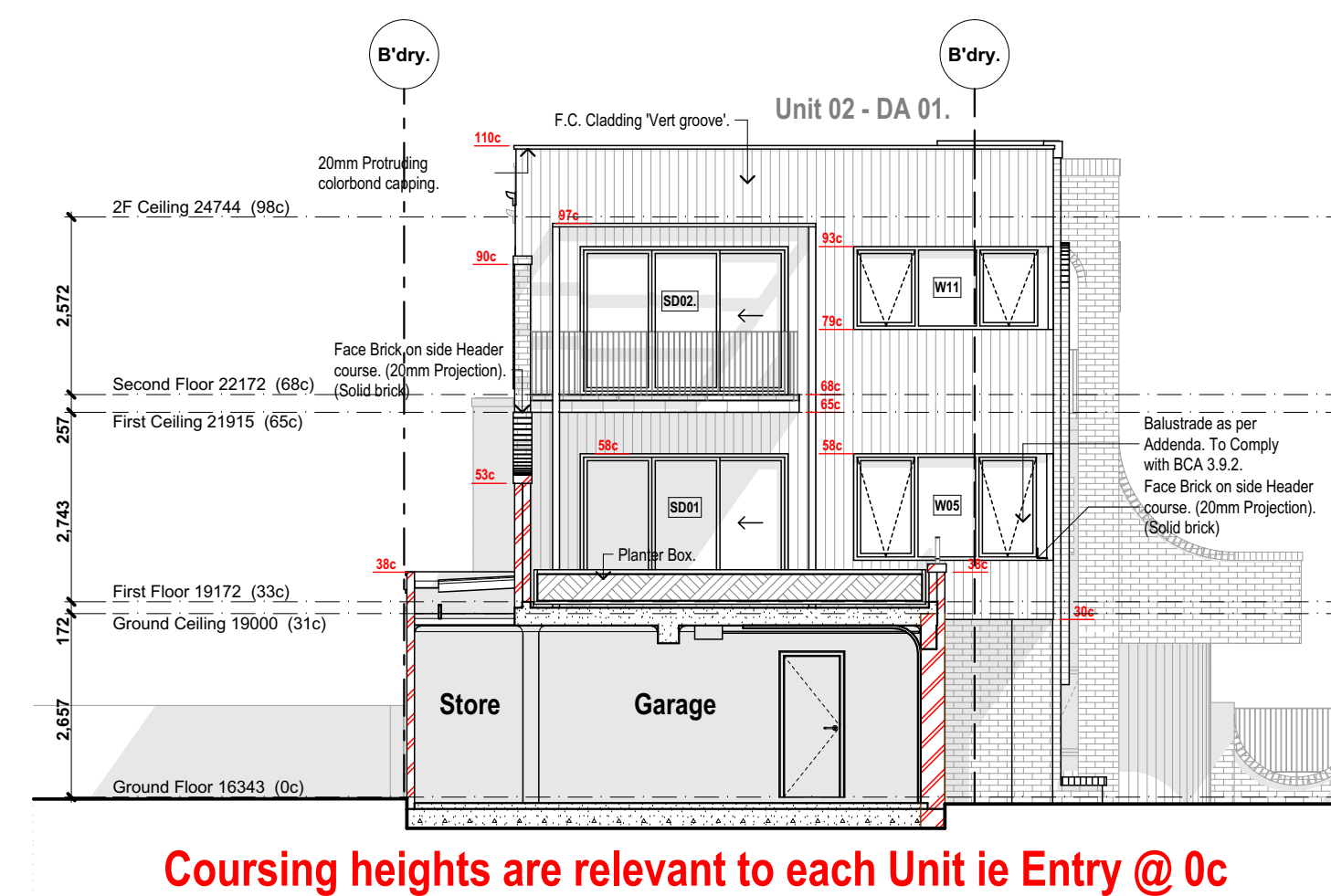
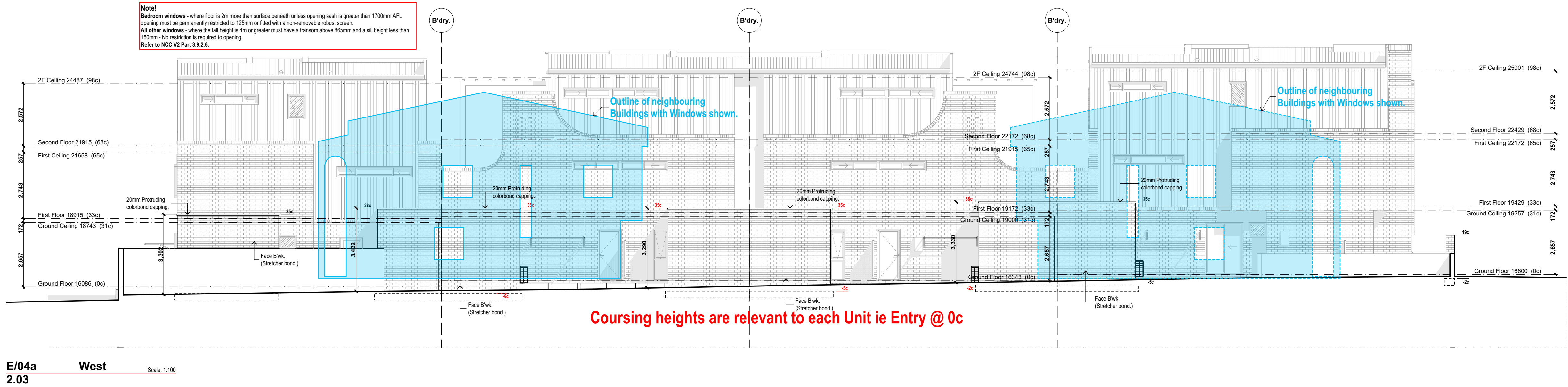
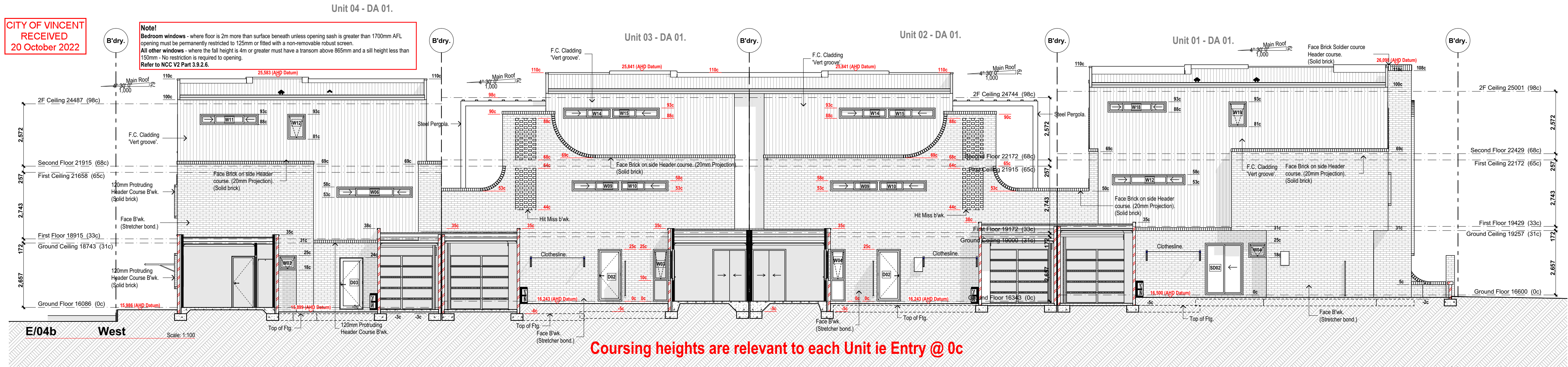
Wind Classification	T.B.C.	Wind directions.
Local Authority	City of Vincent	
Drawn	S.McChesney	
Rev	0	
Rev Date	9/11/2022 at 12:55 PM	

Plans - MASTER DA 01

Client:	Rev No:	5096
Client:	Doc No:	2.05
Builder:	Rev No:	

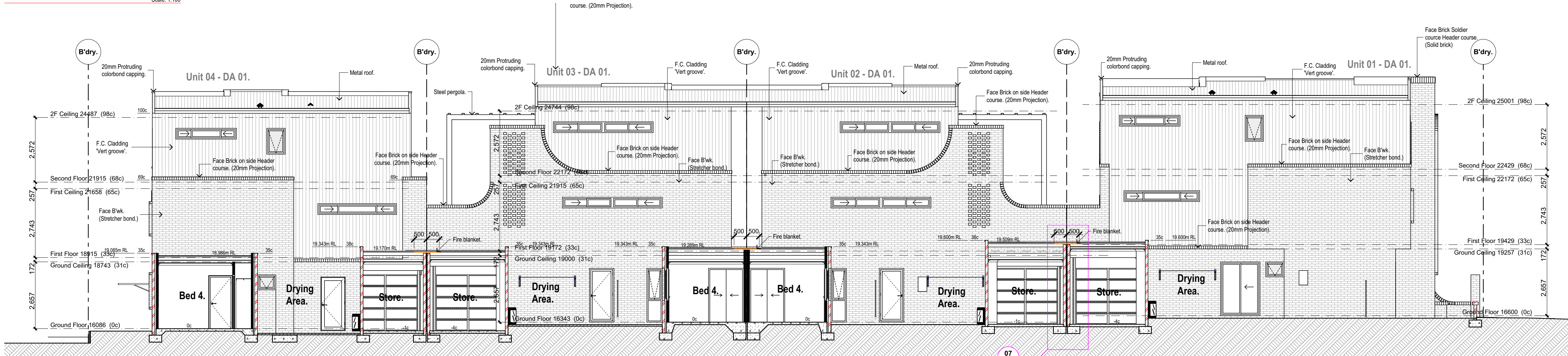
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20 October 2022

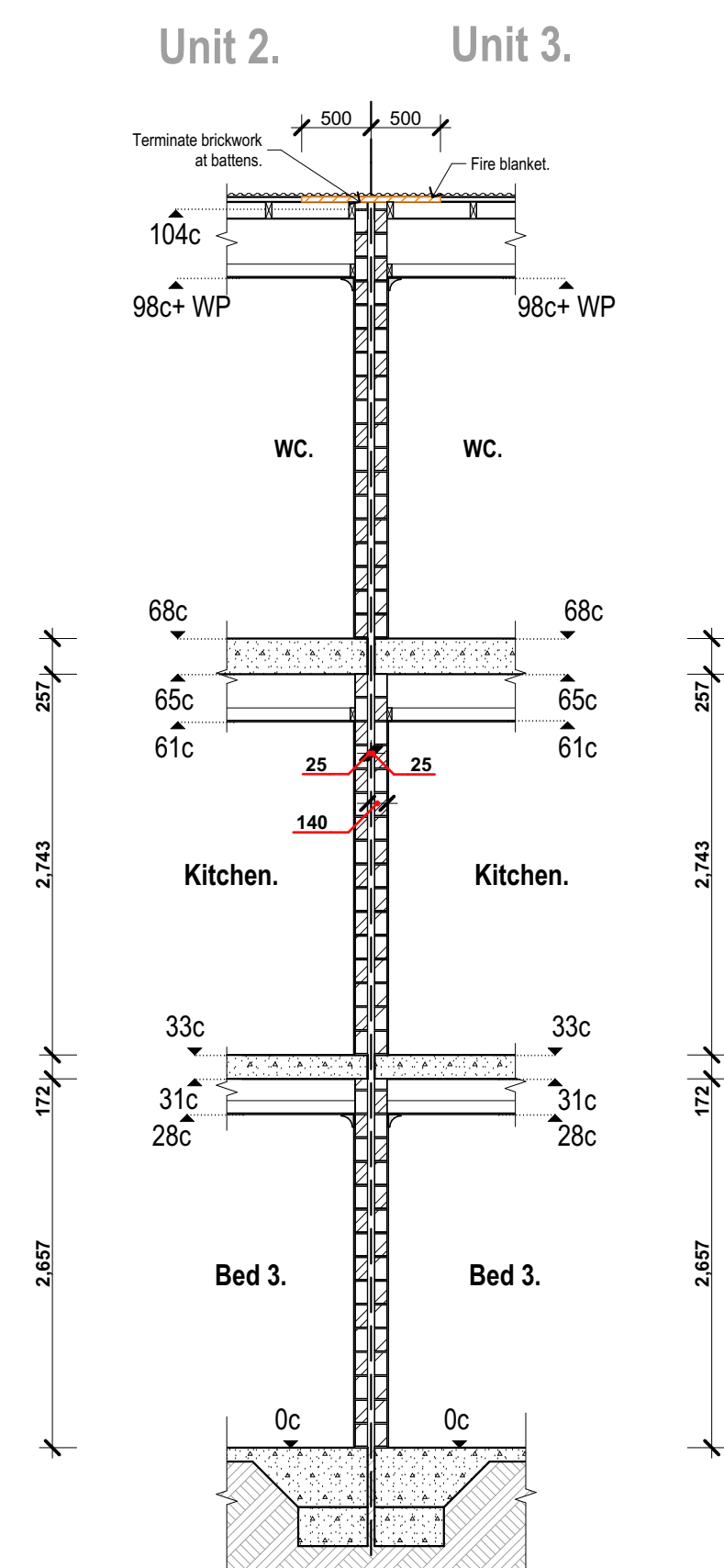


The architectural floor plan illustrates a three-story residential building divided into four units, each with a distinct layout and amenities. The building's structure is defined by a ground floor, first floor, and second floor, with various ceiling heights and floor levels indicated. Unit 01 (DA 01) on the left includes a garage, living area, dining, kitchen, retreat, and bedroom. Unit 02 (DA 01) in the center features a garage, living area, dining, kitchen, terrace, and two bedrooms. Unit 03 (DA 01) on the right includes a garage, living area, dining, kitchen, and two bedrooms. Unit 04 (DA 01) on the far right includes a garage, living area, dining, kitchen, and two bedrooms. The plan also shows common areas, stairs, and structural elements like walls, doors, and windows. Dimensions and levels are provided for each room and the overall building structure.

Scale: 1:100

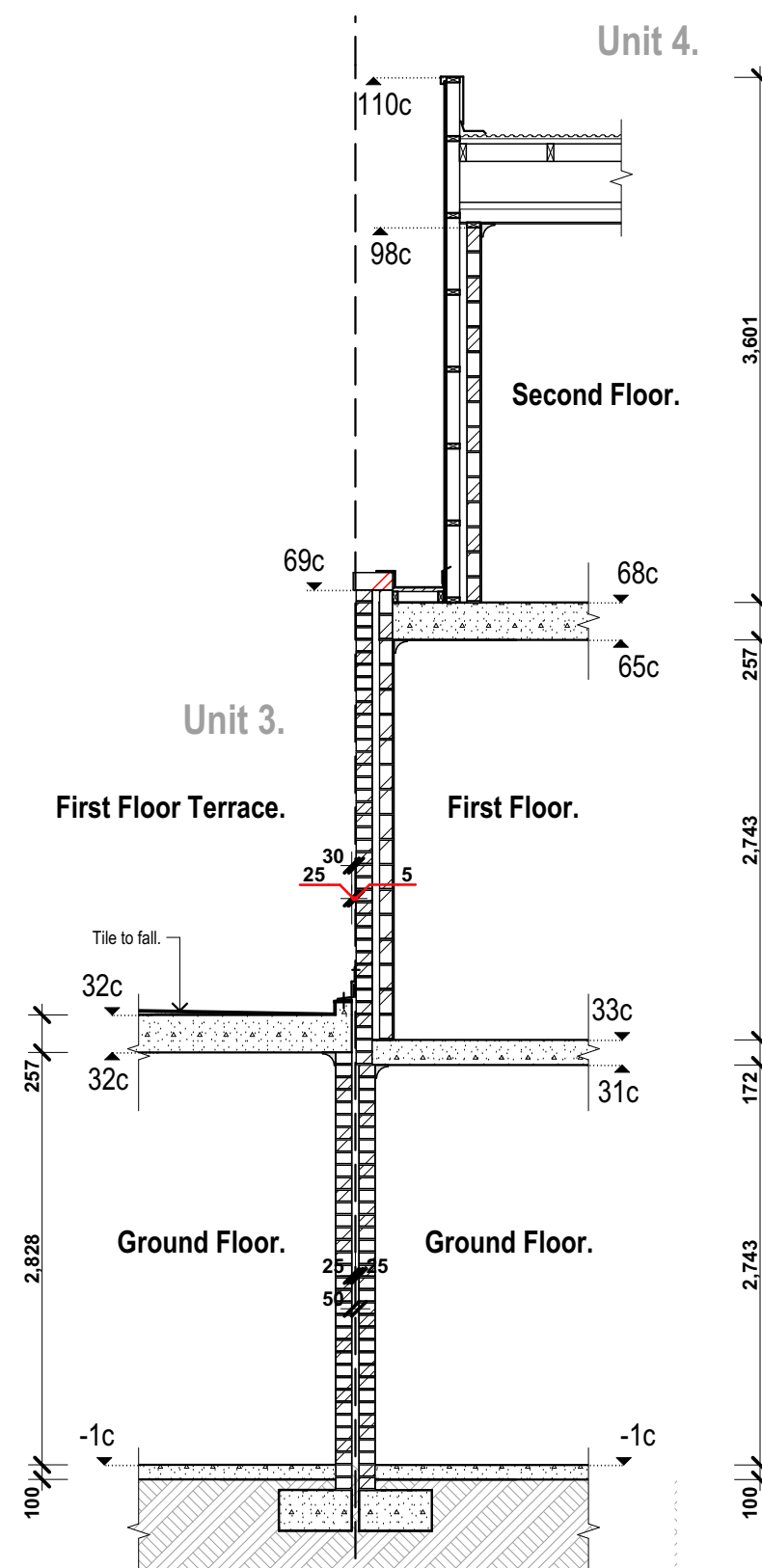


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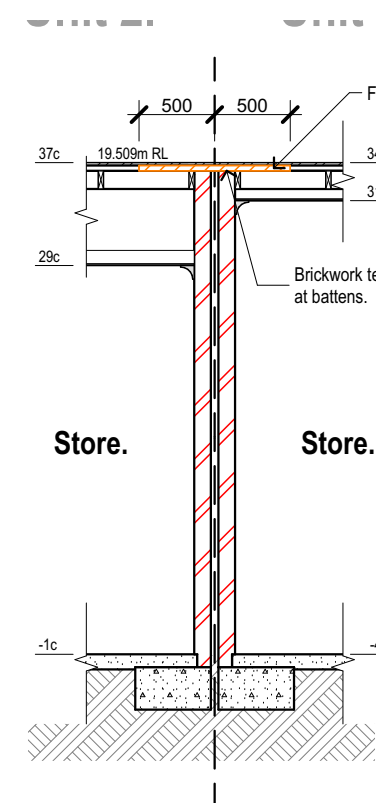


Scale: 1:50

Scale: 1:50

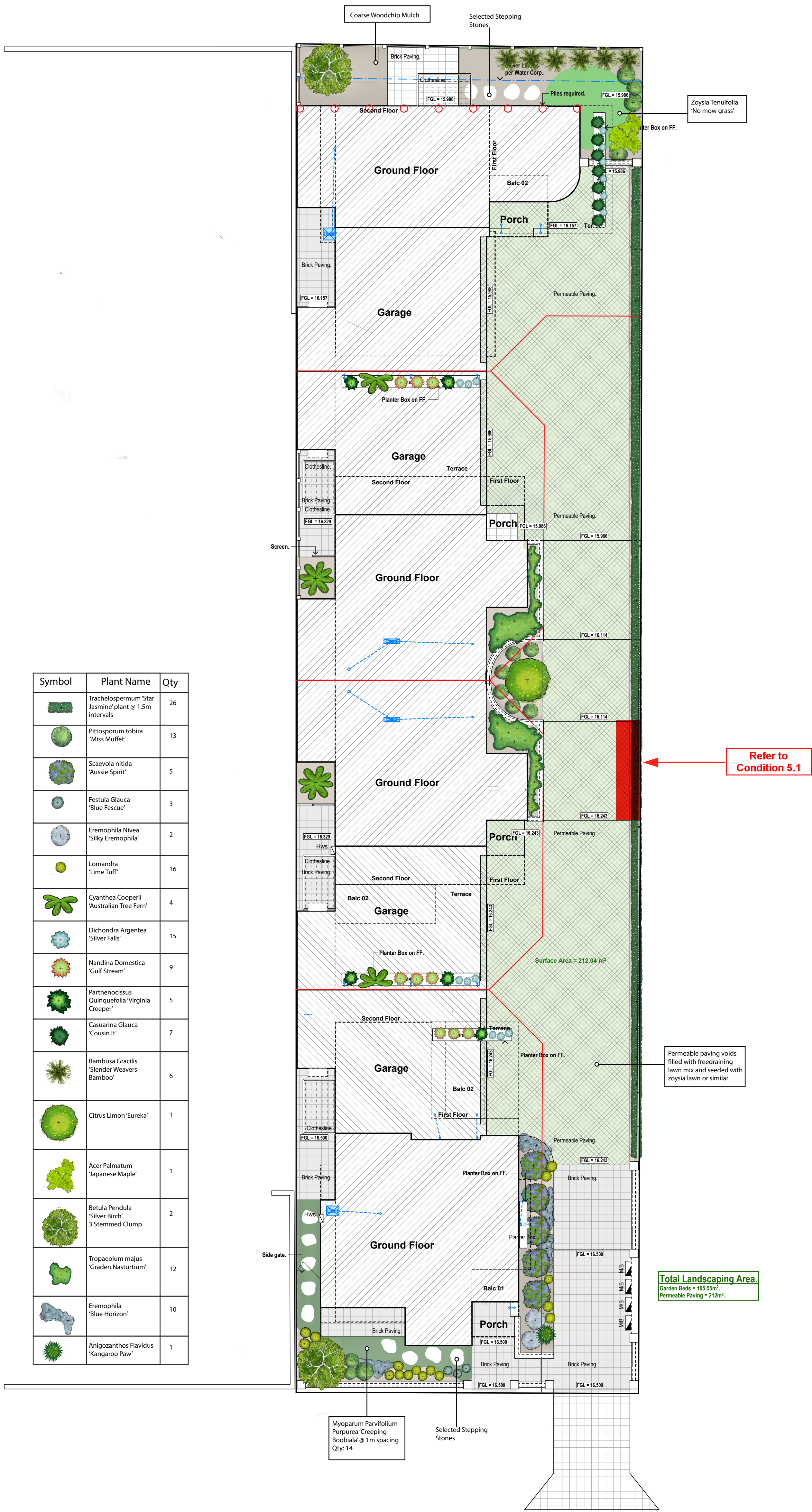


Scale: 1:50



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1 Landscaping Plan

Scale 1:100

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A: Suite 44 Cottlesloe Central Shopping Centre, 460 Stirling Highway,
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Lot 100, (# 109), Palmerston St
Perth, WA 6000

Wind Classification
T.B.C.
Local Authority
City of Vincent
Drawn
S.McChesney
Rev Date
21/06/2022 at 2:26 PM

Landscaping Plan - MASTER

Signatures:

Client:

Builder:

N/A.

5096

2.06