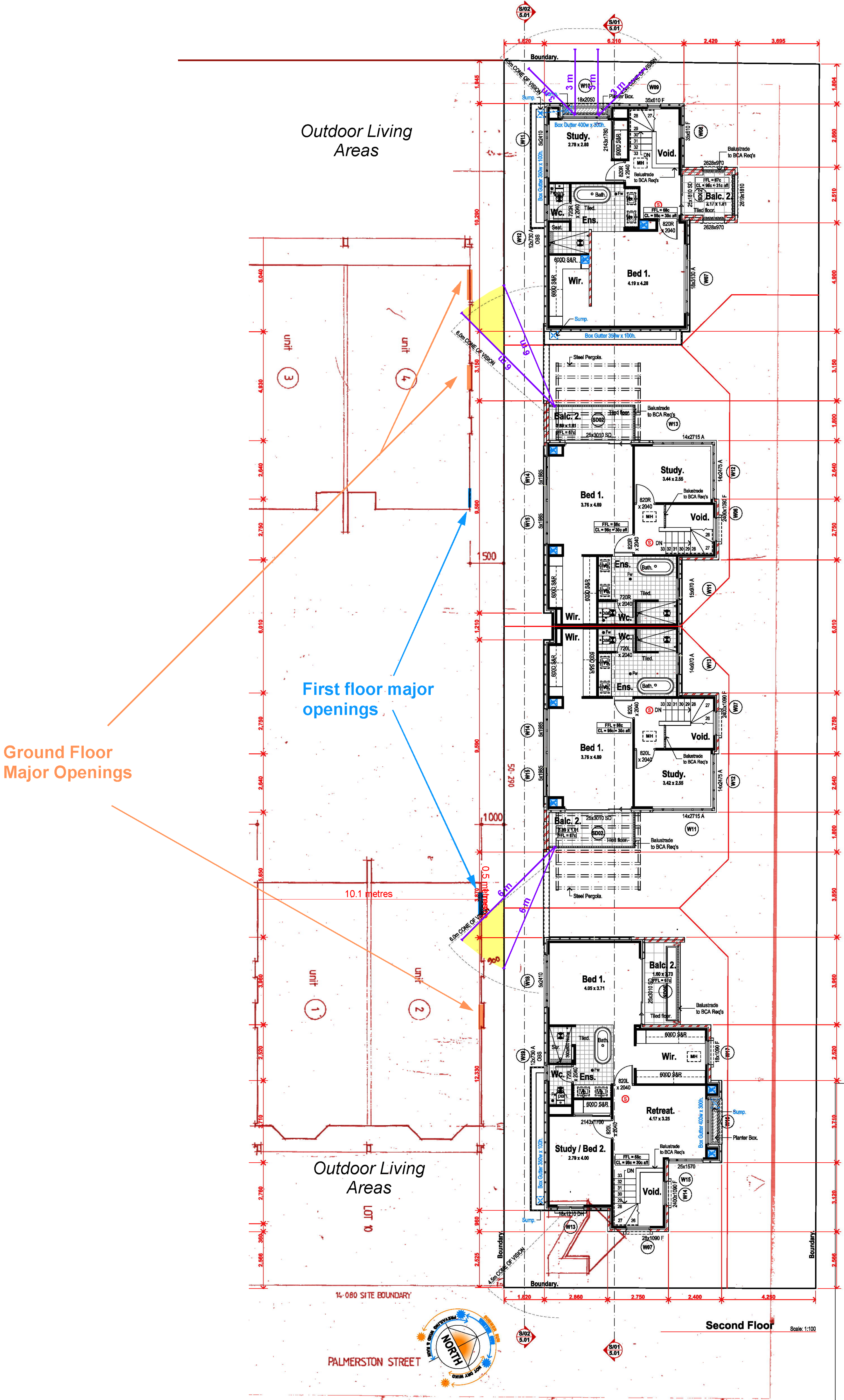


| Area Calculations     |                   |                     |
|-----------------------|-------------------|---------------------|
| Name                  | Area              | Perimeter           |
| <b>0 Ground Floor</b> |                   |                     |
| Garage                | 169.6             | 111,900.0           |
| Ground Floor          | 219.2             | 133,186.5           |
| Porch                 | 10.7              | 26,400.2            |
|                       | <b>399.5 m²</b>   | <b>271,486.7 mm</b> |
| <b>1 First Floor</b>  |                   |                     |
| Unit 01               | 5.3               | 9,360.2             |
| First Floor           | 278.7             | 145,370.2           |
| Terrace               | 94.6              | 77,949.4            |
|                       | <b>378.6 m²</b>   | <b>232,679.8 mm</b> |
| <b>2 Second Floor</b> |                   |                     |
| Unit 02               | 19.0              | 32,410.5            |
| Second Floor          | 289.0             | 141,581.4           |
|                       | <b>288.0 m²</b>   | <b>173,991.9 mm</b> |
|                       | <b>1,086.1 m²</b> | <b>878,158.4 mm</b> |

CITY OF VINCENT  
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16 December 2022

Robertson Park



| LEGEND                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                   |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|
|                                                                                                                                                                                                                                                                                                                                                                                                                     | Smoke Alarm - Hard Wired, Interlinked and to AS 3786:2014         |
|                                                                                                                                                                                                                                                                                                                                                                                                                     | Exhaust fan - Rained to external air and not into the roof space. |
|                                                                                                                                                                                                                                                                                                                                                                                                                     | Water supply for ridge                                            |
|                                                                                                                                                                                                                                                                                                                                                                                                                     | Gas supply point                                                  |
| COMPLIANCE NOTES                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                   |
| <b>Artificial Lighting</b>   To comply with NCC Vol. 2 Part 3.12.5                                                                                                                                                                                                                                                                                                                                                  |                                                                   |
| <b>Fall Prevention</b>   Bedroom windows - where floor is 2m more than surface beneath unless opening sash is greater than 1700mm AFL opening must be permanently restricted to 125mm or fitted with a non-removable robust screen.                                                                                                                                                                                 |                                                                   |
| <b>All other windows</b> - where the fall height is 4m or greater must have a screen above 800mm and a sill height less than 150mm - No restriction is required to opening.                                                                                                                                                                                                                                         |                                                                   |
| Refer to NCC V2 Part 3.8.2.6 and 3.8.2.7                                                                                                                                                                                                                                                                                                                                                                            |                                                                   |
| <b>Boundary Walls To Provide Fire Separation</b>   To comply with NCC Vol. 2 Part 3.7.3.2                                                                                                                                                                                                                                                                                                                           |                                                                   |
| <b>Fireplace</b>   To comply with NCC Vol. 2 Part 3.10.7                                                                                                                                                                                                                                                                                                                                                            |                                                                   |
| <b>Parapet/Boundary Fireproofing</b>   To comply with NCC Vol. 2 Part 3.7.2.4                                                                                                                                                                                                                                                                                                                                       |                                                                   |
| <b>Staircase, Balustrade and Handrails</b>   To comply with NCC Vol. 2 Part 3.8.1 and 3.8.2 (Non-280 Going x 172 Rise).                                                                                                                                                                                                                                                                                             |                                                                   |
| <b>Stormwater Drainage</b>   To comply with NCC Vol. 2 Part 3.1.3 citing AS 3602.3                                                                                                                                                                                                                                                                                                                                  |                                                                   |
| <b>Swimming Pool Barriers</b>   To comply with AS 1926.1 and 1926.2                                                                                                                                                                                                                                                                                                                                                 |                                                                   |
| <b>Timber Framing</b>   To comply with AS 1684                                                                                                                                                                                                                                                                                                                                                                      |                                                                   |
| <b>Termite Protection</b>   All primary building elements used for the construction of this building will consist entirely of, or a combination of, materials considered not subject to termite attack. Specifically, all timbers used in this dwelling will be preservative treated in accordance with AS 3602.1 and will comply with Part 3.1.4.2 of the Building Code of Australia - Volume 2, 2019 Amendment 1. |                                                                   |
| <b>Parapet Walls</b>   FMC Homguard as physical Termite barrier as per AS 3602.1 - 2014 and will comply with Part 3.1.4.2 of the Building Code of Australia - Volume 2, 2019 Amendment 1.                                                                                                                                                                                                                           |                                                                   |
| <b>Wet areas</b>   To comply with NCC Vol. 2 Part 3.8.1                                                                                                                                                                                                                                                                                                                                                             |                                                                   |
| <b>Steelwork</b>   Exposed steel shall have an anti-corrosive treatment in accordance with the NCC 2019                                                                                                                                                                                                                                                                                                             |                                                                   |

Plans - MASTER

N/A.

DA 01

5096

2.04

RIVERSTONE

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Peppermint Grove, WA 6011  
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Tam-Palmerston ST  
Lot 100, (#109), Palmerston St  
Perth, WA 6000

Wind Classification T.B.C.  
Local Authority City of Vincent  
Drawn S.McChesney  
Rev Date 6/7/2022 at 11:49 AM

Signatures:  
Client:  
Client:  
Builder:

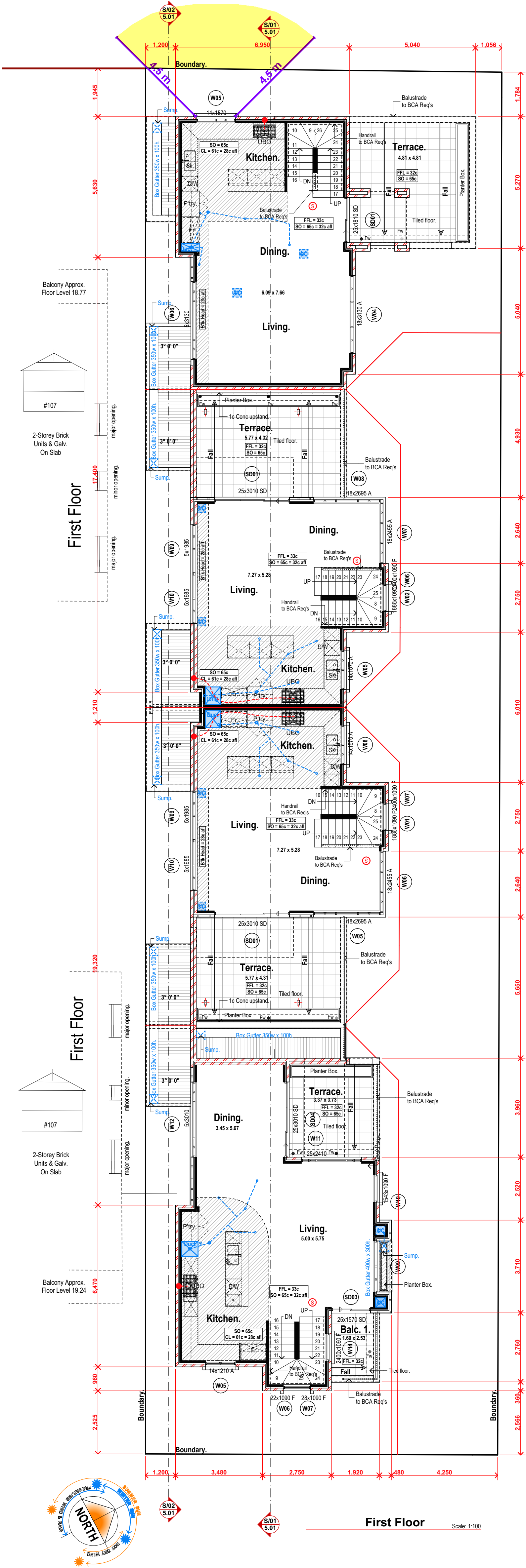
Rev No. N/A.  
Rev No. 5096  
Rev No. 2.04



| Area Calculations     |                   |                     |  |
|-----------------------|-------------------|---------------------|--|
| Name                  | Area              | Perimeter           |  |
| <b>0 Ground Floor</b> |                   |                     |  |
| Garage                | 169.6             | 111,900.0           |  |
| Ground Floor          | 219.2             | 133,186.5           |  |
| Porch                 | 10.7              | 26,400.2            |  |
|                       | <b>399.5 m²</b>   | <b>271,486.7 mm</b> |  |
| <b>1 First Floor</b>  |                   |                     |  |
| Balc 01               | 5.3               | 9,360.2             |  |
| First Floor           | 278.7             | 145,370.2           |  |
| Terrace               | 94.6              | 77,949.4            |  |
|                       | <b>378.6 m²</b>   | <b>232,679.8 mm</b> |  |
| <b>2 Second Floor</b> |                   |                     |  |
| Balc 02               | 19.0              | 32,410.5            |  |
| Second Floor          | 269.0             | 141,581.4           |  |
|                       | <b>288.0 m²</b>   | <b>173,991.9 mm</b> |  |
|                       | <b>1,086.1 m²</b> | <b>878,158.4 mm</b> |  |

CITY OF VINCENT  
RECEIVED  
16 December 2022

Robertson Park



| LEGEND                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                   |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------|
|                                                                                                                                                                                                                                                                                                                                                                                                                     | Smoke Alarm - Hard Wired, Interlinked and to AS 3786-2014         |
|                                                                                                                                                                                                                                                                                                                                                                                                                     | Exhaust fan - flumed to external air and not into the roof space. |
|                                                                                                                                                                                                                                                                                                                                                                                                                     | Wall mounted cold water hose tap                                  |
|                                                                                                                                                                                                                                                                                                                                                                                                                     | Water supply for fridge                                           |
|                                                                                                                                                                                                                                                                                                                                                                                                                     | Gas bayonet point                                                 |
| COMPLIANCE NOTES                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                   |
| <b>Artificial Lighting</b>   To comply with NCC Vol. 2 Part 3.12.5.5                                                                                                                                                                                                                                                                                                                                                |                                                                   |
| <b>Fire Prevention</b>   <b>Bedroom windows</b> - where floor is 2m more than surface beneath unless opening sash is greater than 1700mm AFL opening must be permanently restricted to 125mm or fitted with a non-removable robust screen.                                                                                                                                                                          |                                                                   |
| <b>All other windows</b> - where the fall height is 4m or greater must have a transom above 850mm and a sill height less than 150mm - No restriction is required to opening. Refer to NCC V2 Part 3.9.2.6 and 3.9.2.7                                                                                                                                                                                               |                                                                   |
| <b>Boundary Walls To Provide Fire Separation</b>   To comply with NCC Vol 2 Part 3.7.3.2                                                                                                                                                                                                                                                                                                                            |                                                                   |
| <b>Fireplace</b>   To comply with NCC Vol 2 Part 3.10.7                                                                                                                                                                                                                                                                                                                                                             |                                                                   |
| <b>Parapet/Boundary Fireproofing</b>   To comply with NCC Vol 2 Part 3.7.2.4                                                                                                                                                                                                                                                                                                                                        |                                                                   |
| <b>Staircase, Balustrade and Handrails</b>   To comply with NCC Vol. 2 Part 3.9.1 and 3.9.2 (Nom. 280 Gong x 172 Riser).                                                                                                                                                                                                                                                                                            |                                                                   |
| <b>Stormwater Drainage</b>   To comply with NCC V2 Part 3.1.3 citing AS 3500.3                                                                                                                                                                                                                                                                                                                                      |                                                                   |
| <b>Swimming Pool Barriers</b>   To comply with AS 1926.1 and 1926.2                                                                                                                                                                                                                                                                                                                                                 |                                                                   |
| <b>Timber Framing</b>   To comply with AS 1684                                                                                                                                                                                                                                                                                                                                                                      |                                                                   |
| <b>Termite Protection</b>   All primary building elements used for the construction of this building will consist entirely of, or a combination of, materials considered not subject to termite attack. Specifically, all timbers used in this dwelling will be preservative treated in accordance with AS 3660.1 and will comply with Part 3.1.4.2 of the Building Code of Australia - Volume 2, 2019 Amendment 1. |                                                                   |
| <b>Parapet Walls</b>   FMC Homeguard as physical Termite barrier as per AS 3660.1 - 2014 and will comply with Part 3.1.4.2 of the Building Code of Australia - Volume 2, 2019 Amendment 1                                                                                                                                                                                                                           |                                                                   |
| <b>Wet areas</b>   To comply with NCC Vol 2 Part 3.8.1                                                                                                                                                                                                                                                                                                                                                              |                                                                   |
| <b>Steelwork</b>   Exposed steel shall have an anti-corrosive treatment in accordance with the NCC 2019                                                                                                                                                                                                                                                                                                             |                                                                   |

Plans - MASTER

N/A.

DA 01

5096

2.04

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Tam-Palmerston ST  
Lot 100, (#109), Palmerston St  
Perth, WA 6000

|                        |                 |
|------------------------|-----------------|
| Wind Classification    | T.B.C.          |
| Local Authority        | City of Vincent |
| Drawn                  | S.McChesney     |
| 16/12/2022 at 11:49 AM |                 |

|            |         |         |
|------------|---------|---------|
| Signatures | Rev No. | Rev No. |
| Client:    | 5096    |         |
| Client:    |         |         |
| Builder:   | 2.04    |         |