

Planning and Development Act 2005

City of Vincent

Notice of determination on application for development approval

Location: No. 26 Moir Street PERTH

Lot, Plan/Diagram: LOT: 119 D/P: 4576, LOT: 29 D/P: 4576

Vol. No: 1073

Folio No: 138

Application date: 4 November 2020

Received on: 4 November 2020

Serial No: 5.2020.452.1

Description of proposed development: Alterations and Additions to Single House

Plans dated: 22 October 2021

This application for development approval is subject to the following conditions:

1. Development Plans

This approval is for Alterations and Additions to a Single House as shown on the approved plans dated 22 October 2021. No other development forms part of this approval;

2. Boundary Walls

The surface finish of boundary walls facing an adjoining property shall be of a good and clean condition, prior to the occupation or use of the development, and thereafter maintained, to the satisfaction of the City. The finish of boundary walls is to be fully rendered or face brick, or material as otherwise approved, to the satisfaction of the City;

3. Visual Privacy

Prior to occupancy or use of the development, all privacy screening shown on the approved plans shall be installed and shall be visually impermeable and is to comply in all respects with the requirements of Clause 5.4.1 of the Residential Design Codes (Visual Privacy) deemed to comply provisions, to the satisfaction of the City;

4. Colours and Materials

Prior to first occupation or use of the development, the colours, materials and finishes of the development shall be in accordance with the details and annotations as indicated on the approved plans which forms part of this approval, and thereafter maintained, to the satisfaction of the City;

5. Landscaping

All landscaping works shall be undertaken in accordance with the approved plans dated 22 October 2021, prior to the occupancy or use of the development and maintained thereafter to the satisfaction of the City at the expense of the owners/occupiers;

6. Stormwater

Stormwater from all roofed and paved areas shall be collected and contained on site. Stormwater must not affect or be allowed to flow onto or into any other property or road reserve; and

7. Construction Management Plan

A Construction Management Plan shall be lodged with and approved by the City prior to the issue of a building permit. This plan is to detail how construction (including demolition and/or forward works) will be managed to minimise disruption in the area and shall include:

- The delivery of and delivery times for materials and equipment to the site;
- Parking arrangements for contractors and sub-contractors;
- Dilapidation report of nearby surrounding properties (including No. 24 and No. 28 Moir Street);
- Notification to affected landowners; and
- Construction times.


The approved management plan shall be complied with for the duration of the construction of the development.

ADVICE NOTES:

1. This is a development approval issued under the City of Vincent Local Planning Scheme No. 2 and the Metropolitan Region Scheme only. It is not a building permit or an approval to commence or carry out development under any other law. It is the responsibility of the applicant/owner to obtain any other necessary approvals and to commence and carry out development in accordance with all other laws.
2. If the development the subject of this approval is not substantially commenced within a period of 2 years, or another period specified in the approval after the date of determination, the approval will lapse and be of no further effect.
3. Where an approval has so lapsed, no development must be carried out without the further approval of the local government having first been sought and obtained.
4. If an applicant or owner is aggrieved by this determination there is a right of review by the State Administrative Tribunal in accordance with the Planning and Development Act 2005 Part 14. An application must be made within 28 days of the determination.
5. In relation to Advice Note 2 a further two years is added to the date by which the development shall be substantially commenced, pursuant to Schedule 4, Clause 4.2 of the Clause 78H Notice of Exemption from Planning Requirements During State of Emergency signed by the Minister for Planning on 8 April 2020.
6. This approval is not an authority to ignore any constraint to development on the land, which may exist through statute, regulation, contract or on title, such as an easement or restrictive covenant. It is the responsibility of the applicant and not the City to investigate any such constraints before commencing development. This approval will not necessarily have regard to any such constraint to development, regardless of whether or not it has been drawn to the City's attention.
7. The applicant is responsible for ensuring that all lot boundaries as shown on the approved plans are correct.
8. No verge trees shall be **REMOVED**. The verge trees shall be **RETAINED** and **PROTECTED** from any damage including unauthorized pruning.

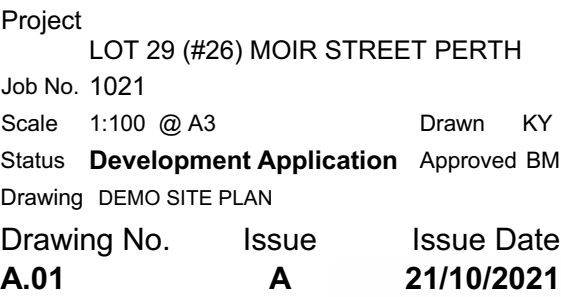
9. The owners of the subject land shall obtain the consent of the owners of relevant adjoining properties before entering those properties in order to make good the boundary walls.
10. All external fixtures, such as television antennas (of a non-standard type), radio and other antennae, satellite dishes, solar panels, external hot water heaters, air conditioners, and the like, shall not be visible from the street(s), are designed integrally with the building, and be located so as not to be visually obtrusive to the satisfaction of the City.
11. With reference to Clause 5.4.1 C1.2, Visual Privacy requirements of the R codes states that *screening devices such as obscure glazing, timber screens, external blinds, window hoods and shutters are to be at least 1.6m in height, at least 75 percent obscure, permanently fixed, made of durable material and restrict view in the direction of the overlooking into any adjoining property.*
12. With reference to lot boundary walls, the applicant shall liaise with the adjoining property owner to discuss and agree on the finish of the boundary walls, prior to preparation and submission of the building permit.
13. No further consideration shall be given to the disposal of stormwater 'offsite' without the submission of a geotechnical report from a qualified consultant. Should approval to dispose of stormwater 'offsite' be subsequently provided, detailed design drainage plans and associated calculations for the proposed stormwater disposal shall be lodged together with the building permit application working drawings.
14. A Demolition Permit shall be obtained from the City prior to commencement of any demolition works on the site.
15. An Infrastructure Protection Bond together with a non-refundable inspection fee shall be lodged with the City by the applicant, prior to commencement of all building/development works, and shall be held until all building/development works have been completed and any disturbance of, or damage to the City's infrastructure, including verge trees, has been repaired/reinstated to the satisfaction of the City. An application for the refund of the bond must be made in writing. This bond is non-transferable.
16. The movement of all path users, with or without disabilities, within the road reserve, shall not be impeded in any way during the course of the building works. This area shall be maintained in a safe and trafficable condition and a continuous path of travel (minimum width 1.5 metres) shall be maintained for all users at all times during construction works. If the safety of the path is compromised resulting from either construction damage or as a result of a temporary obstruction appropriate warning signs (in accordance with AS1742.3) shall be erected. Should a continuous path not be able to be maintained, an 'approved' temporary pedestrian facility suitable for all path users shall be put in place. If there is a request to erect scaffolding, site fencing etc. or if building materials are required to be stored within the road reserve, once a formal request has been received, the matter will be assessed by the City and if considered appropriate a permit shall be issued by the City. No permit will be issued if the proposed encroachment into the road reserve is deemed to be inappropriate.

Date of determination: 14 December 2021


Signed:
Mitchell Hoad
A/COORDINATOR PLANNING SERVICES
for and on behalf of the City of Vincent

Final Plans

A/Coordinator Planning Services



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22 October 2021

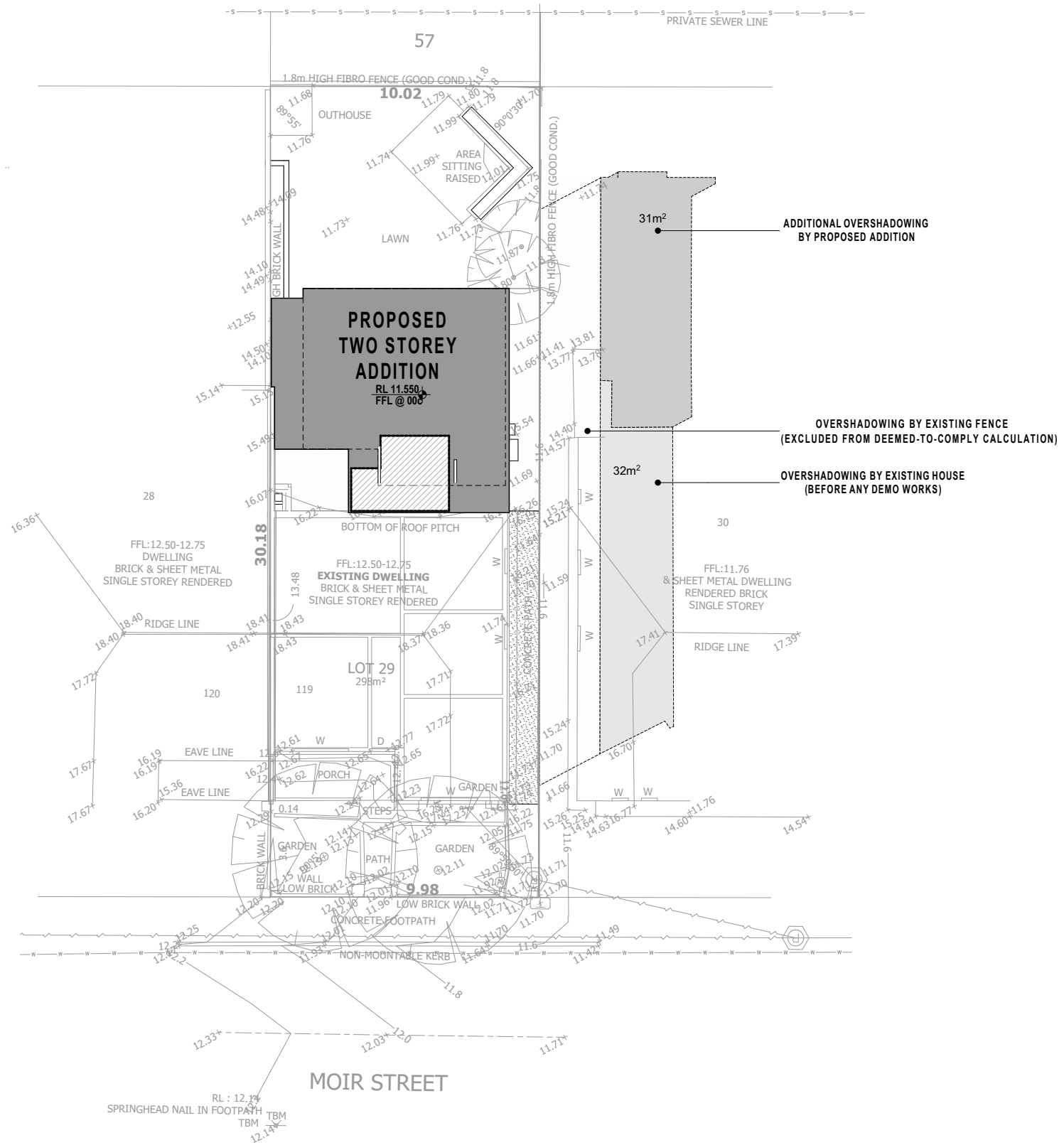
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CITY OF VINCENT
DA No. 5.2020.452.1

14 December 2021

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Project

LOT 29 (#26) MOIR STREET PERTH

Job No. 1021

Scale 1:100 @ A3

Drawn KY

Status **Development Application** Approved BM

Drawing PROPOSED SITE PLAN

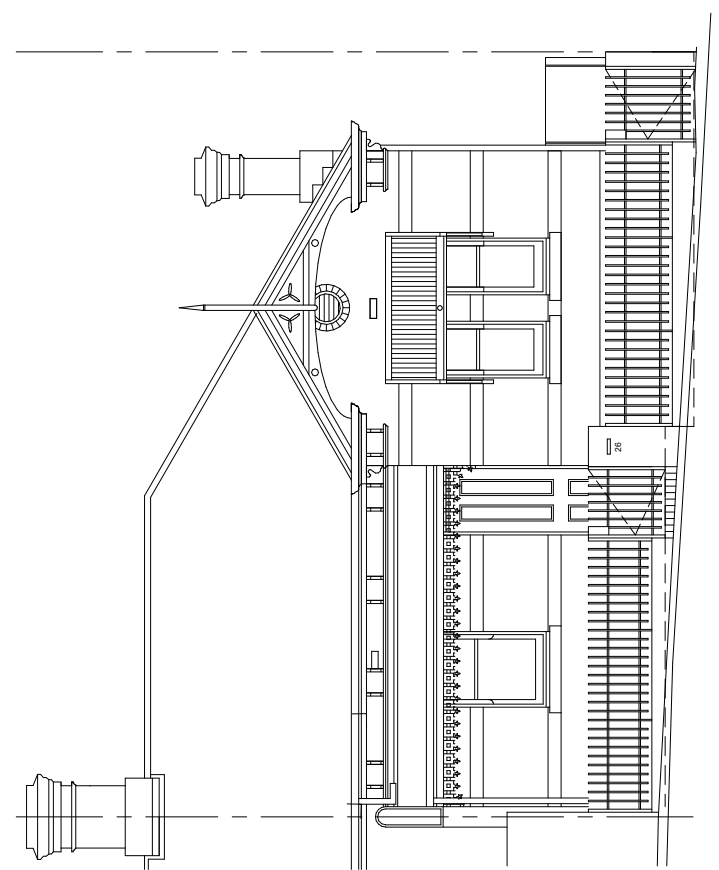
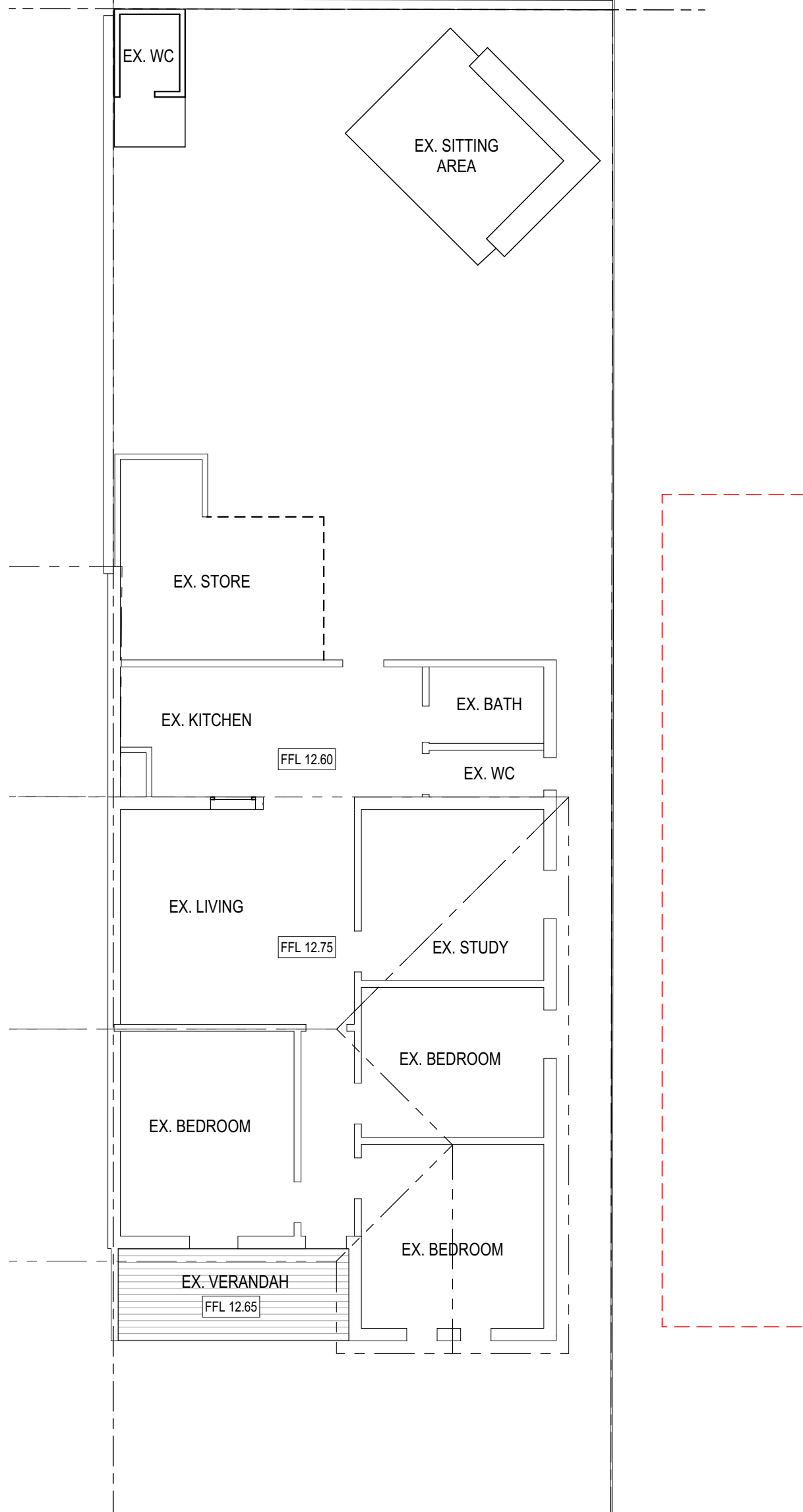
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| Drawing No. | Issue | Issue Date |
| A.02 | A | 21/10/2021 |

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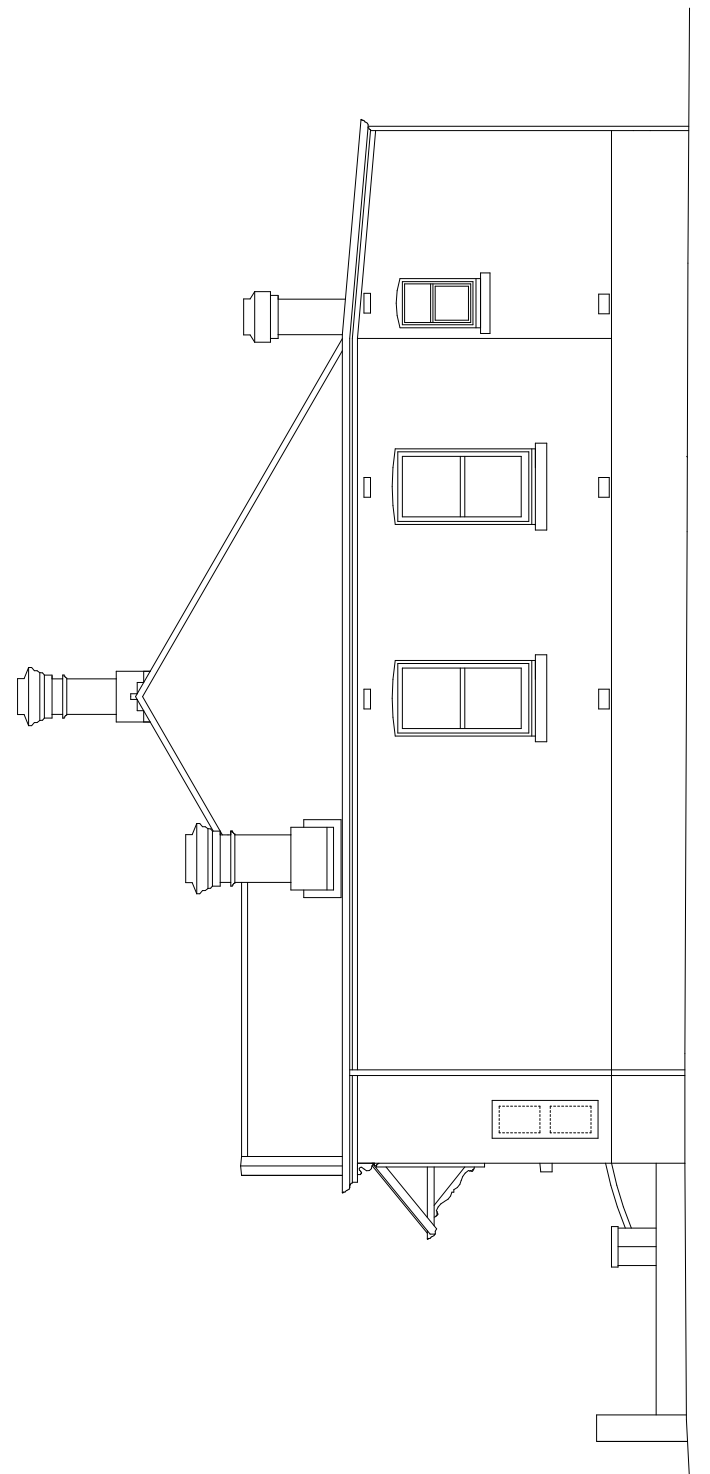
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Final Plans



EXISTING SOUTH ELEVATION
SCALE 1:100



EXISTING WEST ELEVATION
SCALE 1:100

CITY OF VINCENT
DA No. 5.2020.452.1

14 December 2021

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Project LOT 29 (#26) MOIR STREET PERTH
Job No. 1021
Scale 1:100 @ A3 Drawn KY
Status **Development Application** Approved BM
Drawing EXISTING
Drawing No. Issue Issue Date
A.03 A 21/10/2021

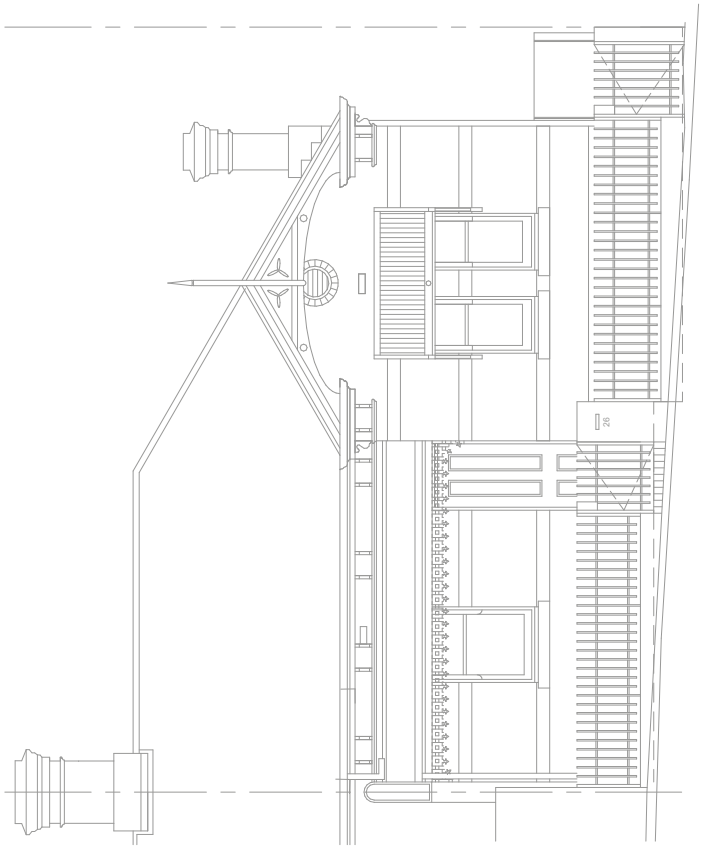
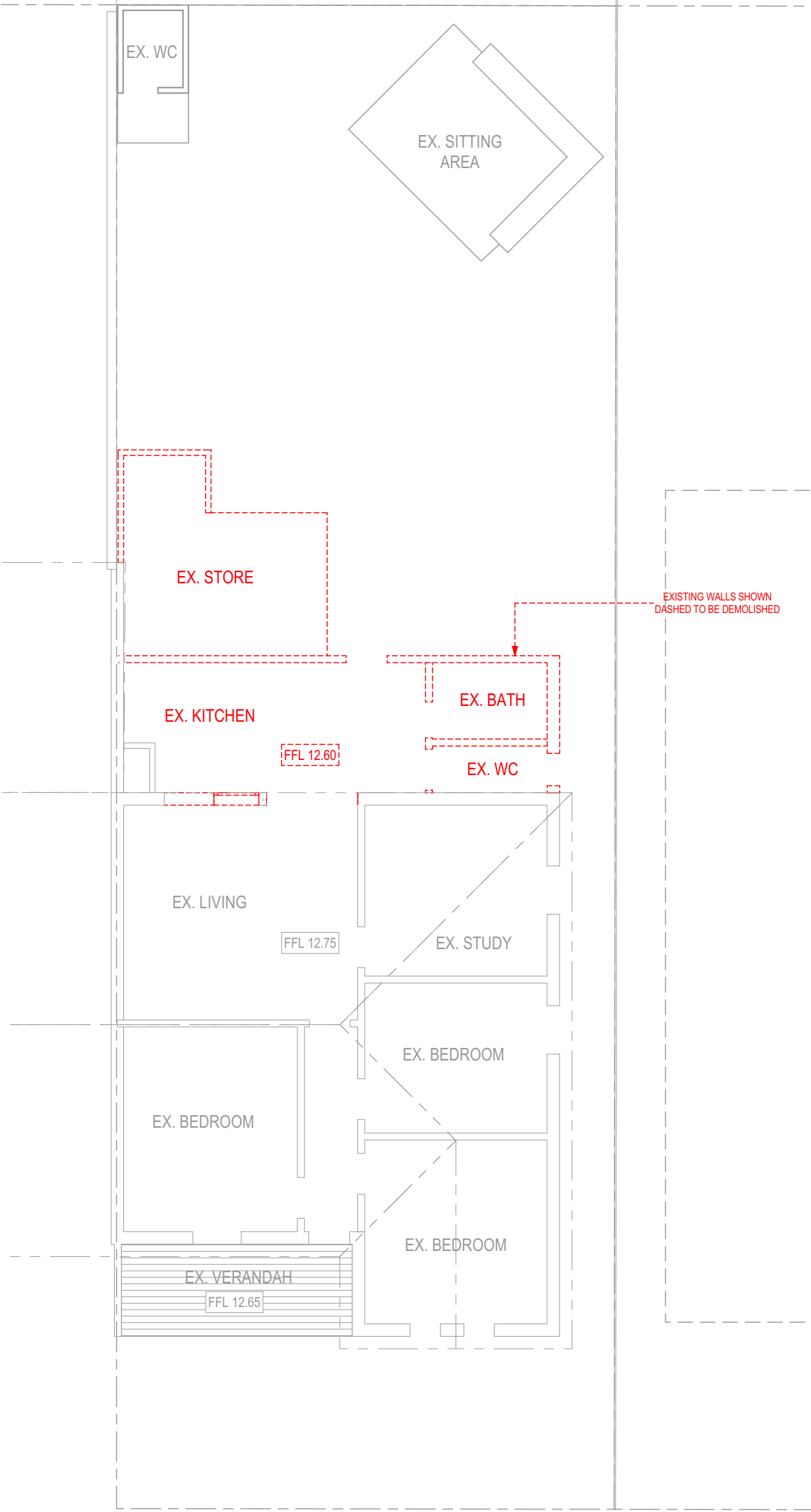
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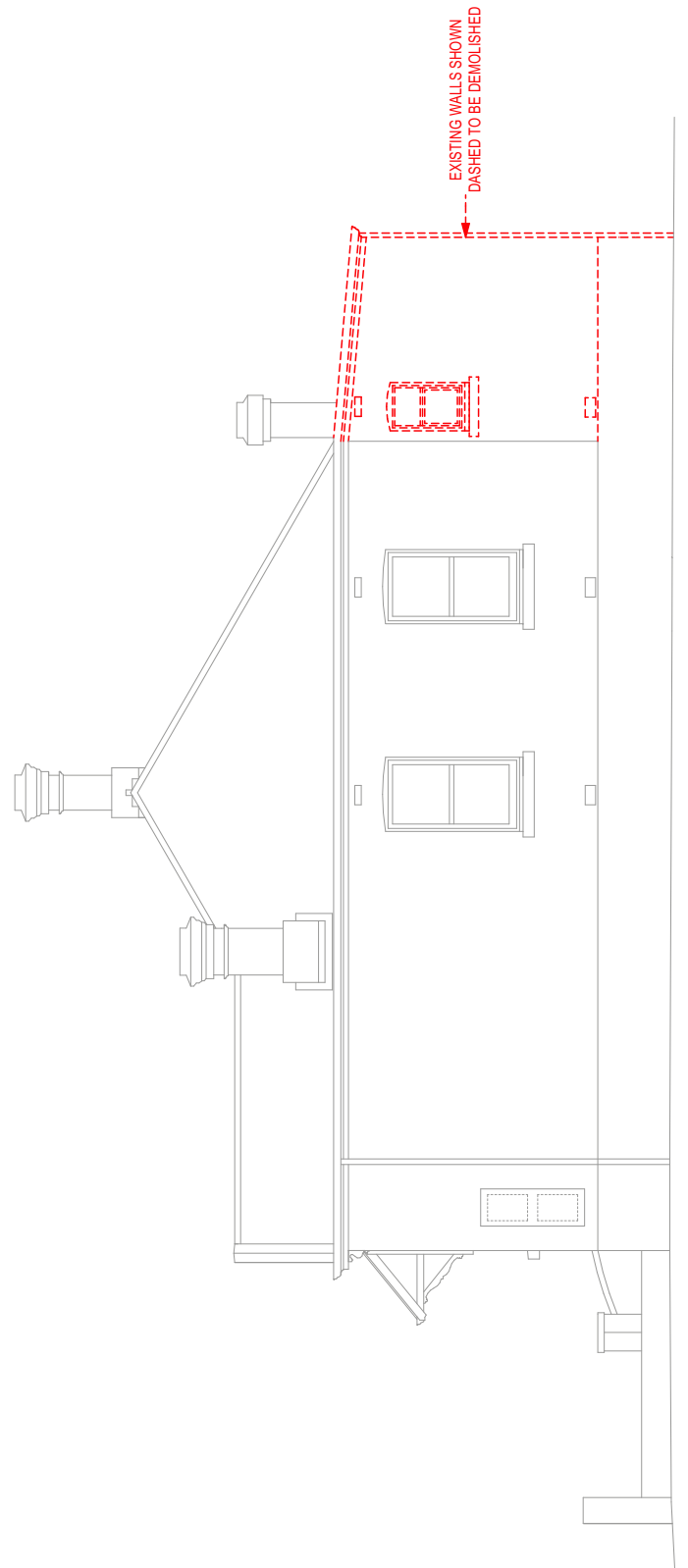
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EXISTING SOUTH ELEVATION

SCALE 1:100



EXISTING WEST ELEVATION

SCALE 1:100

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Project LOT 29 (#26) MOIR STREET PERTH
Job No. 1021
Scale 1:100 @ A3 Drawn KY
Status **Development Application** Approved BM
Drawing DEMO PLAN
Drawing No. Issue Issue Date
A.04 A 21/10/2021

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AREAS:

| | |
|---------------------|-----------------------|
| STORE BELOW BATHR'M | = 9.43m ² |
| GROUND FLOOR | = 66.25m ² |
| UPPER FLOOR | = 51.42m ² |
| TOTAL | = 127.1m ² |

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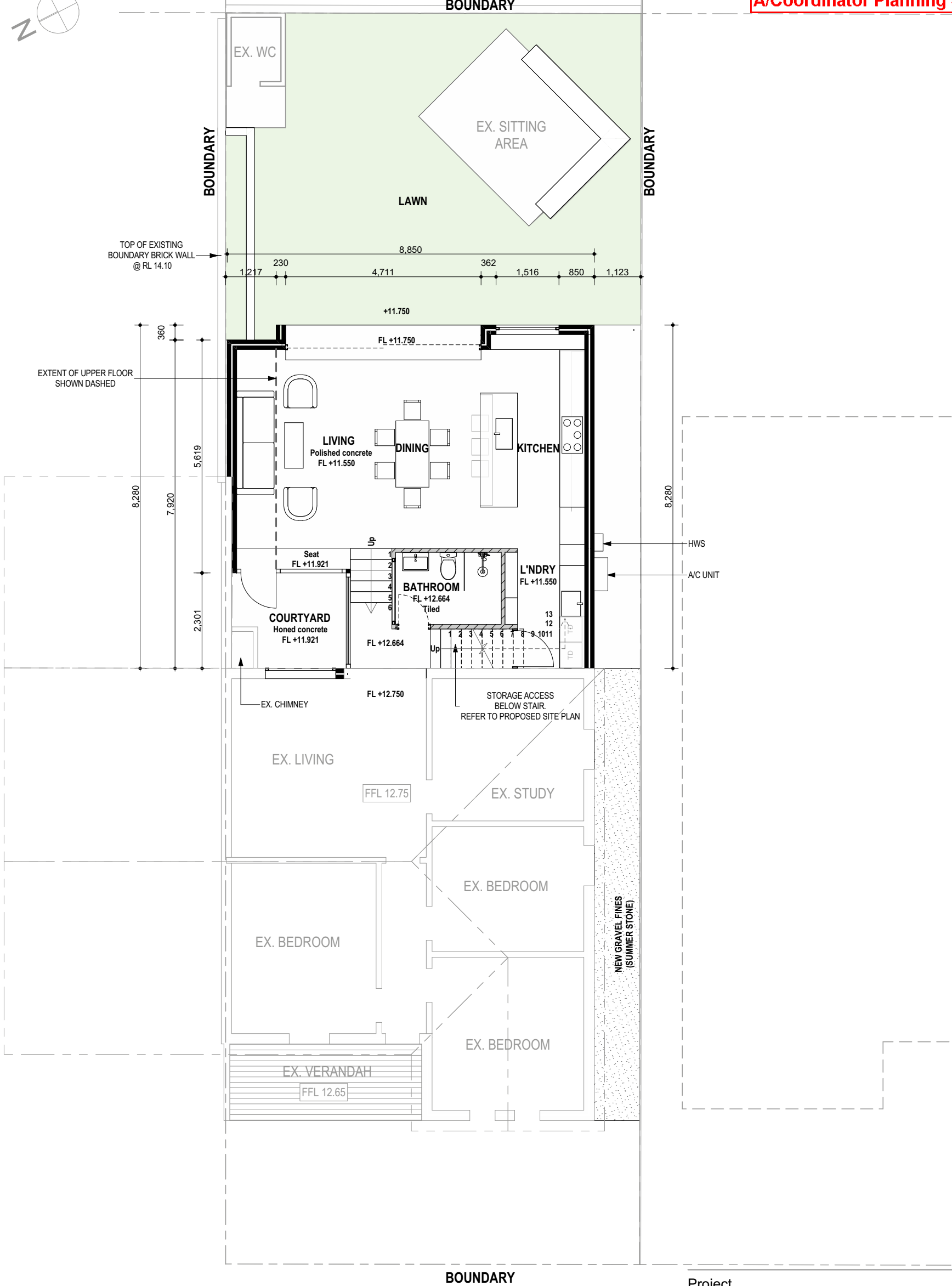
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DA No. 5.2020.452.1

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Project LOT 29 (#26) MOIR STREET PERTH
Job No. 1021
Scale 1:100 @ A3 Drawn KY
Status **Development Application** Approved BM
Drawing PROPOSED GF PLAN
Drawing No. Issue Issue Date
A.05 A 21/10/2021

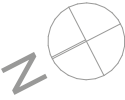
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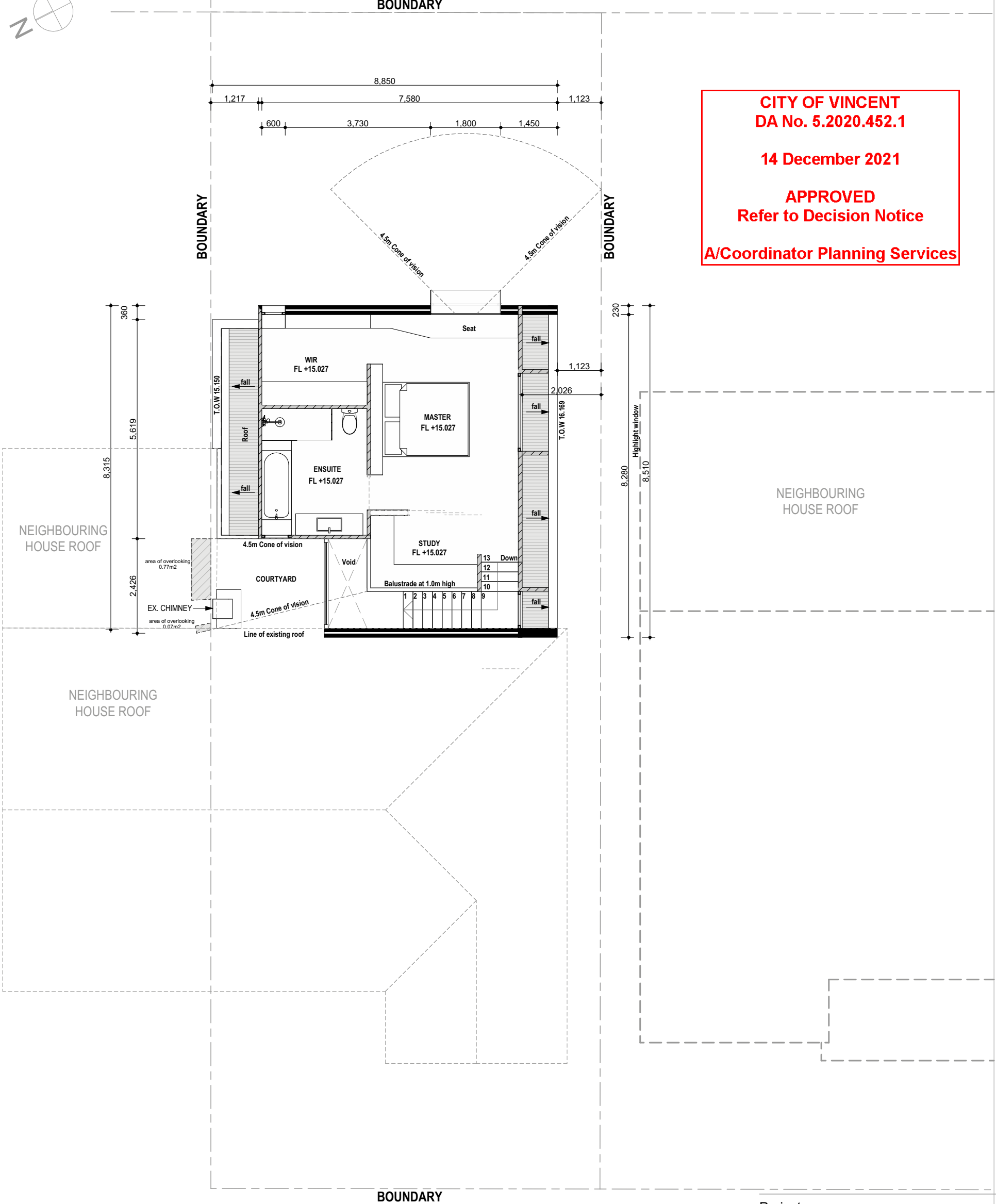
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Project LOT 29 (#26) MOIR STREET PERTH
Job No. 1021
Scale 1:100 @ A3 Drawn KY
Status **Development Application** Approved BM
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Drawing No. **A.06** Issue **A** Issue Date **21/10/2021**

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FINISHES SCHEDULE:

- (A) - EXISTING 1c BRICKWORK
COLOUR: HERITAGE RED
- (B) - EXISTING CORRUGATED ROOF
COLOUR: LIGHT GREY
- (C) - EXISTING PAINTED RENDER
COLOUR: WHITE
- (D) - PROPOSED PAINTED RENDER
COLOUR: WHITE
- (E) - PROPOSED BRICKWORK
COLOUR: HERITAGE RED TO MATCH EXISTING
- (F) - CORRUGATED SHEET CLADDING
COLOUR: TO MATCH EXISTING CORRUTED ROOF SHEET
- (G) - ALUMINIUM WINDOW FRAMES & DOORS
COLOUR: MATTE BLACK
- (H) - GUTTERS, DOWNPIPES & FLASHINGS
COLOUR: OFF WHITE

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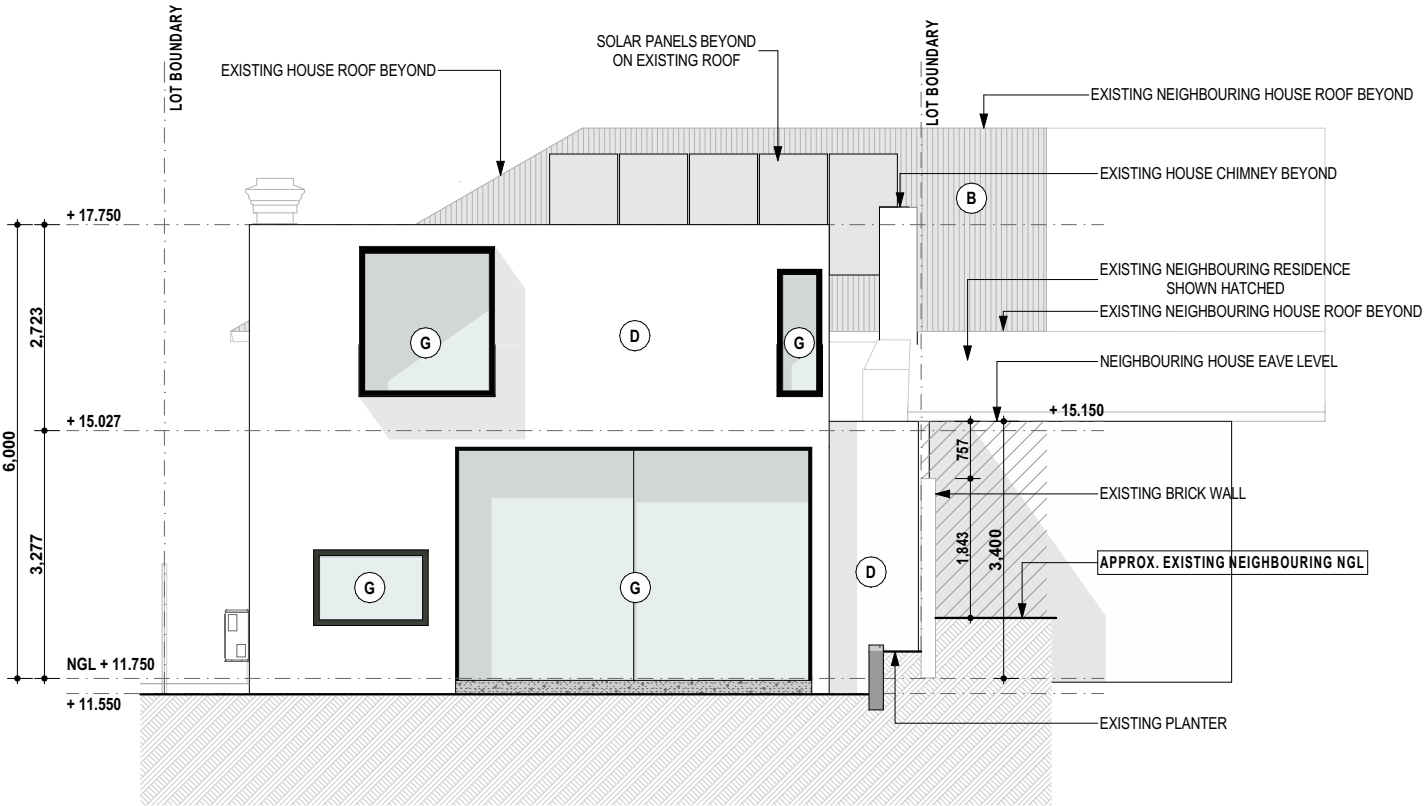
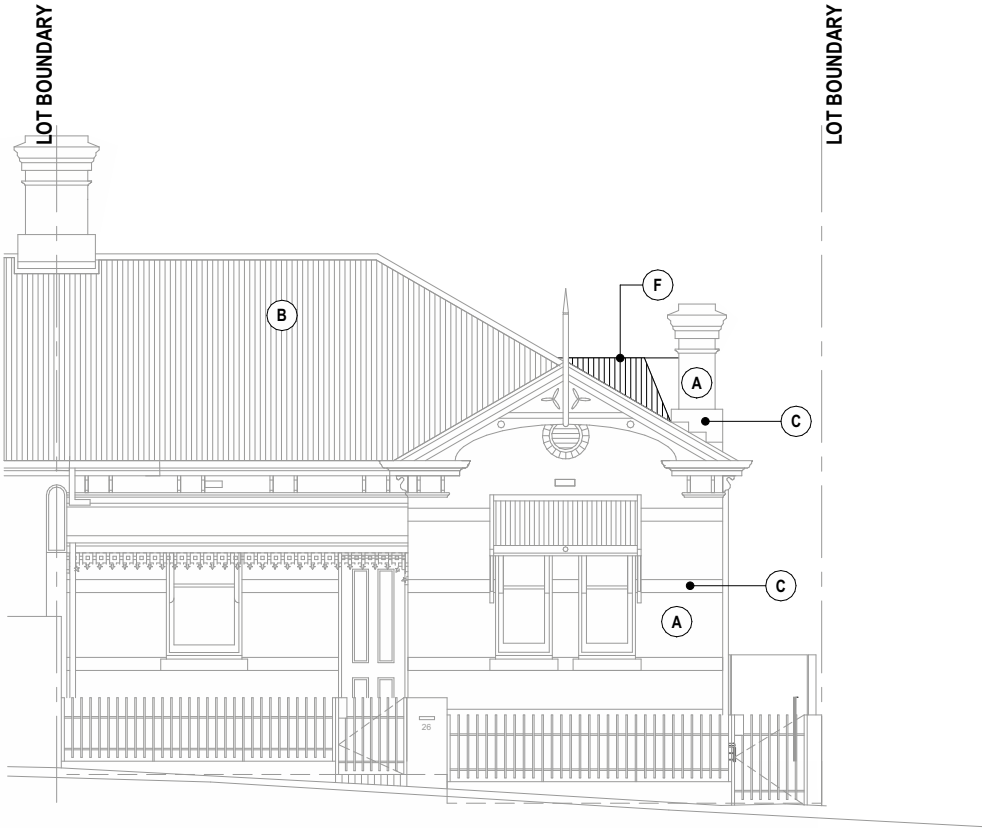
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EAST ELEVATION

1:100

Project LOT 29 (#26) MOIR STREET PERTH
Job No. J20-03
Scale as shown @ A3
Status **Design Development**
Drawing ELEVATIONS
Issue **A**
Issue Date **21/10/2021**

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Final Plans

FINISHES SCHEDULE:

- (A) - EXISTING 1c BRICKWORK
COLOUR: HERITAGE RED
- (B) - EXISTING CORRUGATED ROOF
COLOUR: LIGHT GREY
- (C) - EXISTING PAINTED RENDER
COLOUR: WHITE
- (D) - PROPOSED PAINTED RENDER
COLOUR: WHITE
- (E) - PROPOSED BRICKWORK
COLOUR: HERITAGE RED TO MATCH EXISTING
- (F) - CORRUGATED SHEET CLADDING
COLOUR: TO MATCH EXISTING CORRUTED ROOF SHEET
- (G) - ALUMINIUM WINDOW FRAMES & DOORS
COLOUR: MATTE BLACK
- (H) - GUTTERS, DOWNPIPES & FLASHINGS
COLOUR: OFF WHITE

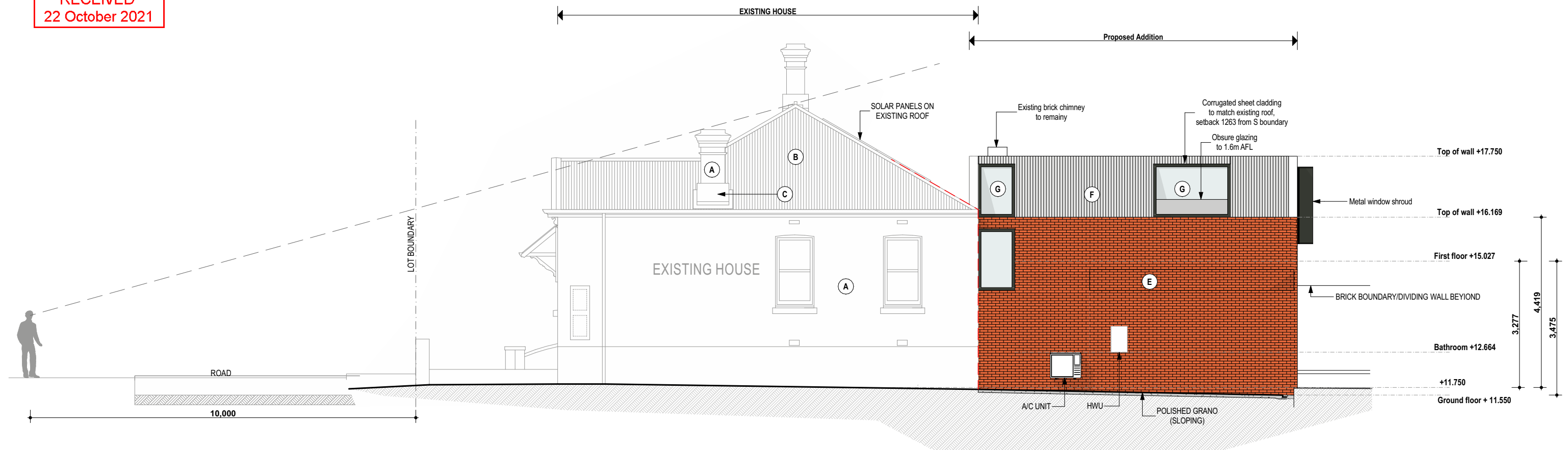
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SOUTH ELEVATION 1:100

Project LOT 29 (#26) MOIR STREET PERTH
Job No. J20-03
Scale as shown @ A3 Drawn
Status **Design Development** Approved BM
Drawing ELEVATIONS
Drawing No. Issue Issue Date
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 - (D) - PROPOSED PAINTED RENDER
COLOUR: WHITE
 - (E) - PROPOSED BRICKWORK
COLOUR: HERITAGE RED TO MATCH EXISTING
 - (F) - CORRUGATED SHEET CLADDING
COLOUR: TO MATCH EXISTING CORRUTED ROOF SHEET
 - (G) - ALUMINIUM WINDOW FRAMES & DOORS
COLOUR: MATTE BLACK
 - (H) - GUTTERS, DOWNPIPES & FLASHINGS
COLOUR: OFF WHITE

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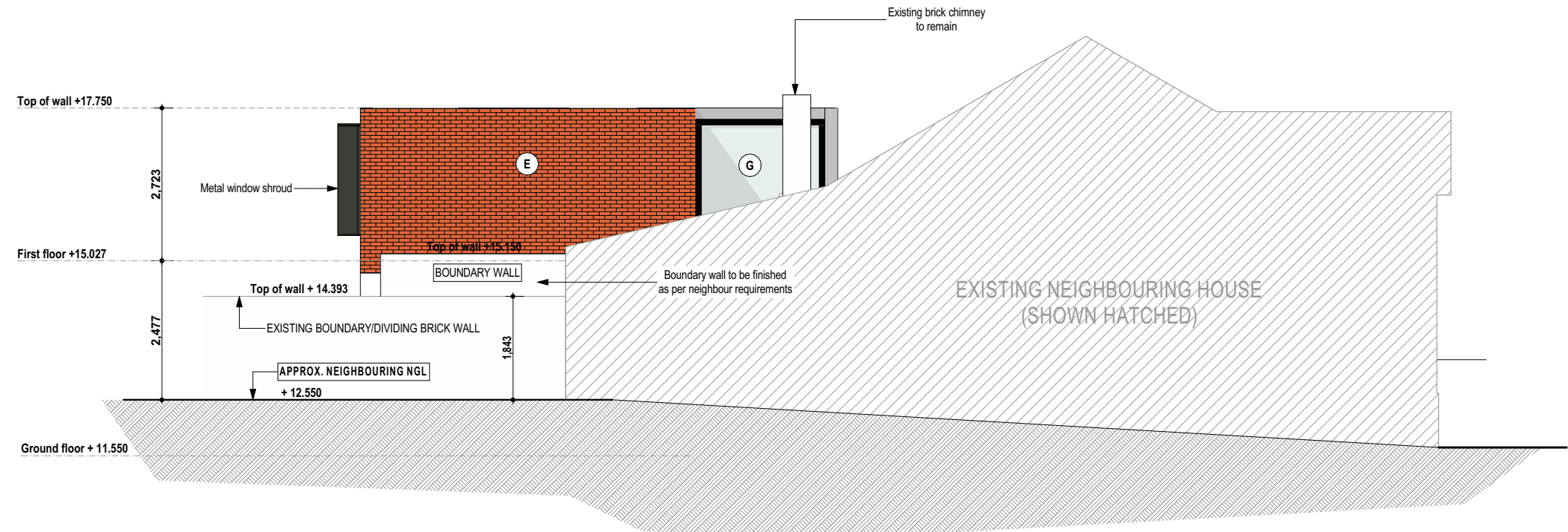
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DA No. 5.2020.452.1

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NORTH ELEVATION 1:100

Project LOT 29 (#26) MOIR STREET PERTH
Job No. J20-03
Scale as shown @ A3 Drawn
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Drawing No. Issue Issue Date
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Project
LOT 29 (#26) MOIR STREET PERTH

Job No. J20-03

Scale as shown @ A3

Drawn

Status **Design Development**

Approved BM

Drawing PERSPECTIVE

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Trees & Shrubs Retained

1. Existing Frangipani (3)
2. Existing Jasmine in Raised Planter (3)
3. Existing Viburnum Hedge (16)
4. Existing Magnolia Tree (1)
5. Existing Crepe Myrtle Tree (1)
6. Existing Grass Tree (1)
7. Existing Lemon Tree (1)
8. Existing Wisteria (1)

Trees Removed

- ## 9. Pencil Pines (2)

Lawns

Existing lawn area at front to be retained.
Rear lawn to be reinstated following works

Irrigation

All areas are presently irrigated.
Reticulation to be retained and made good
after completion of works.

LANDSCAPE PLAN

PROPOSED ADDITIONS TO SINGLE HOUSE
26 MOIR STREET
PERTH

