

Development Application

- DA01 Cover Sheet
- DA02 Site Plan
- DA03 Floor Plan
- DA04 Elevations
- DA05 Landscape Plan
- DA06 Perspectives
- DA07 Overlooking
- DA08 Window Awning Detail

Heritage building,  
entirely untouched  
and conserved

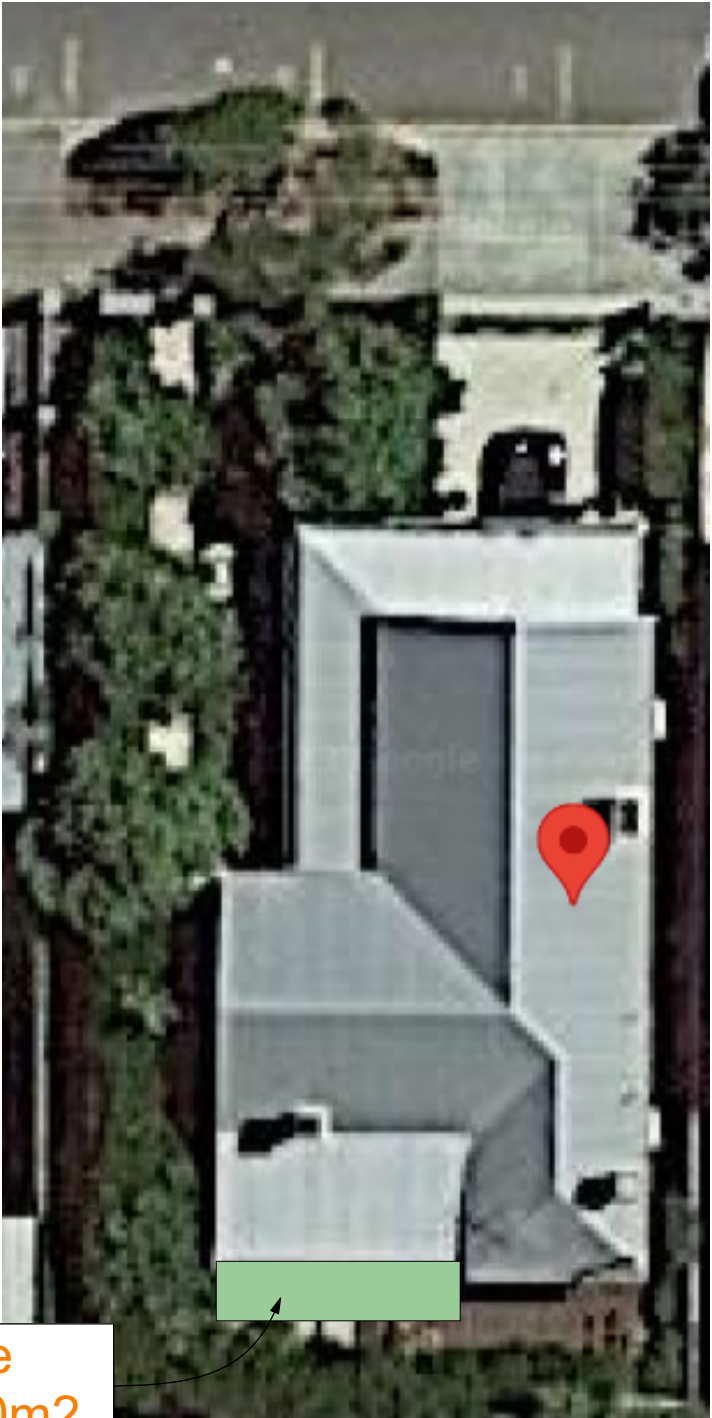
Minor addition to the  
existing lean-to < 10m2

All trees preserved.

Notes:

- 1) No change to landscaping.
- 2) No change to height of FFL above NGL at extention.
- 3) No feature survey provided.
- 4) No visibility of minor addition from street, therefore no Streetscape Analysis provided.

Minor addition to the  
existing lean-to < 10m2



Lot Area: in total 345.15 m2  
comprising  
273 m2 strata titled area plus 72m2 common property area

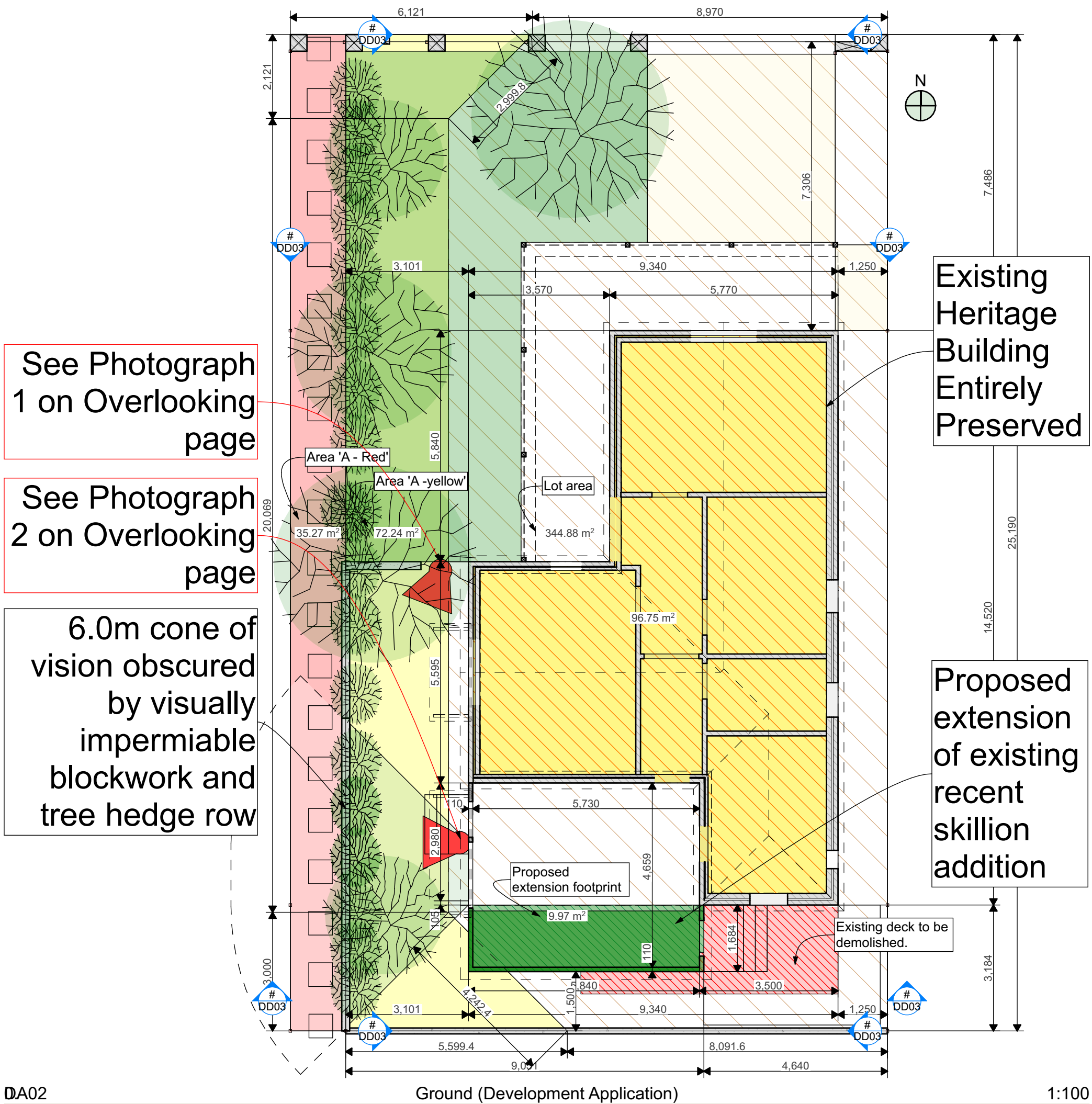
Building Footprint 127.18  
Actual Open space: 345.15 - 127.18 = 217.97 m2

Property Information

Project Type: Dining Room Extension  
Owners: William Croft  
Site Address: 109 Alma Road North Perth W.A.

Zoning: R40  
Setbacks: Side 1.25m East, 1.5m West,  
Rear 1.5 m, Front 6.2m







Architectural floor plan of a building. A large rectangular area is highlighted with red diagonal hatching. A leader line points from the text "32.07 m²" to this hatched area. The plan shows various rooms, including a large central hall, a kitchen area with a sink and stove, a bathroom, and several bedrooms. The building is surrounded by a green lawn and a brown dirt area. A small grey structure is visible on the right side of the plan.

Floor Plan  
**DA03**

**ISSUED:**

**NOT FOR CONSTRUCTION  
UNLESS CERTIFIED**

Drawings and Specifications as instruments of service are and shall remain the property of the person producing the model and generating the drawings. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the copyright owner.

The General Contractor is responsible for confirming and correlating dimensions at the job site. Sip Haus Supplies will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

© Sip Haus Supplies

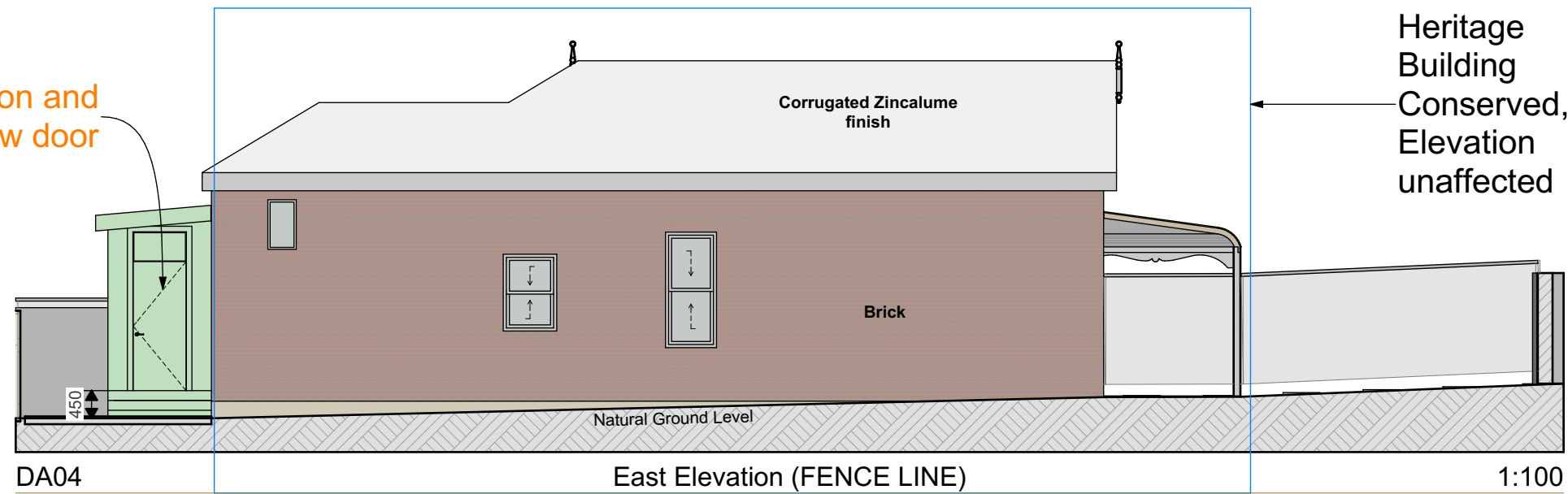
**SIP  HAUS**

12B Hyland Street Bassendean  
WA 6054  
040 929 0344  
[www.siphaus.com.au](http://www.siphaus.com.au)

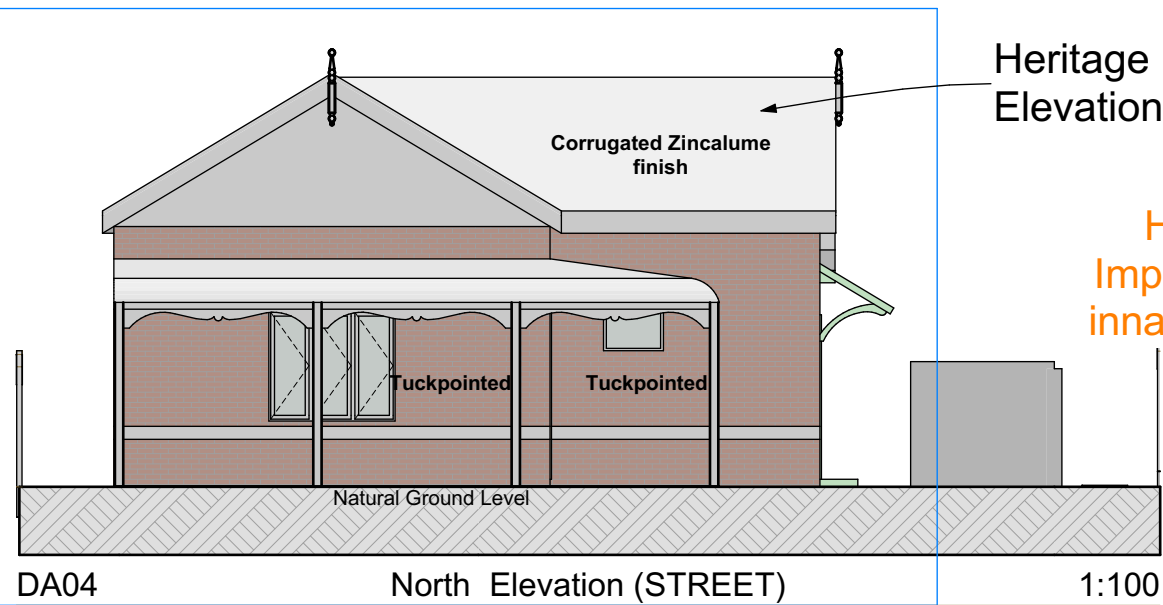
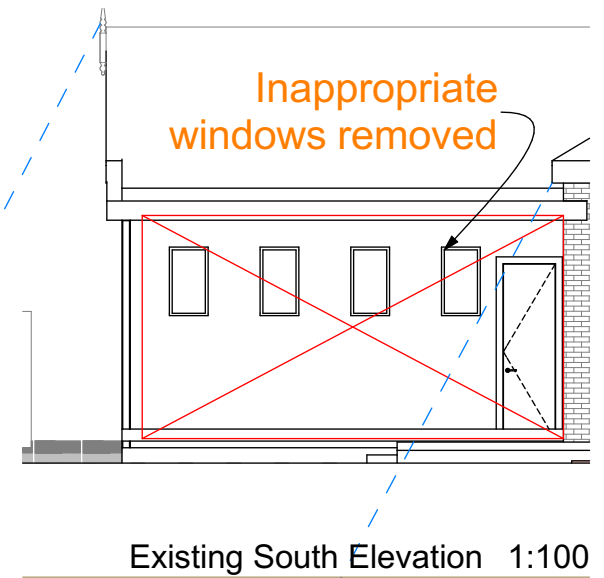
Project Number  
**2332**

**Alma Road**  
109 Alma Road  
North Perth, W.A.

Extention and new door

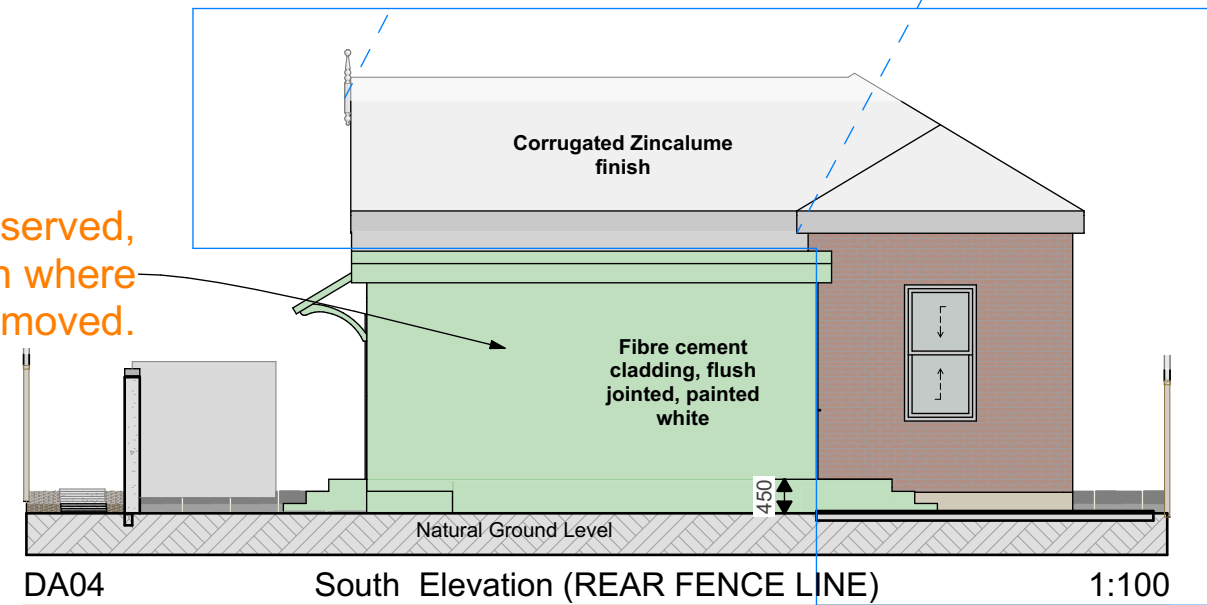


Heritage Building Conserved, Elevation unaffected

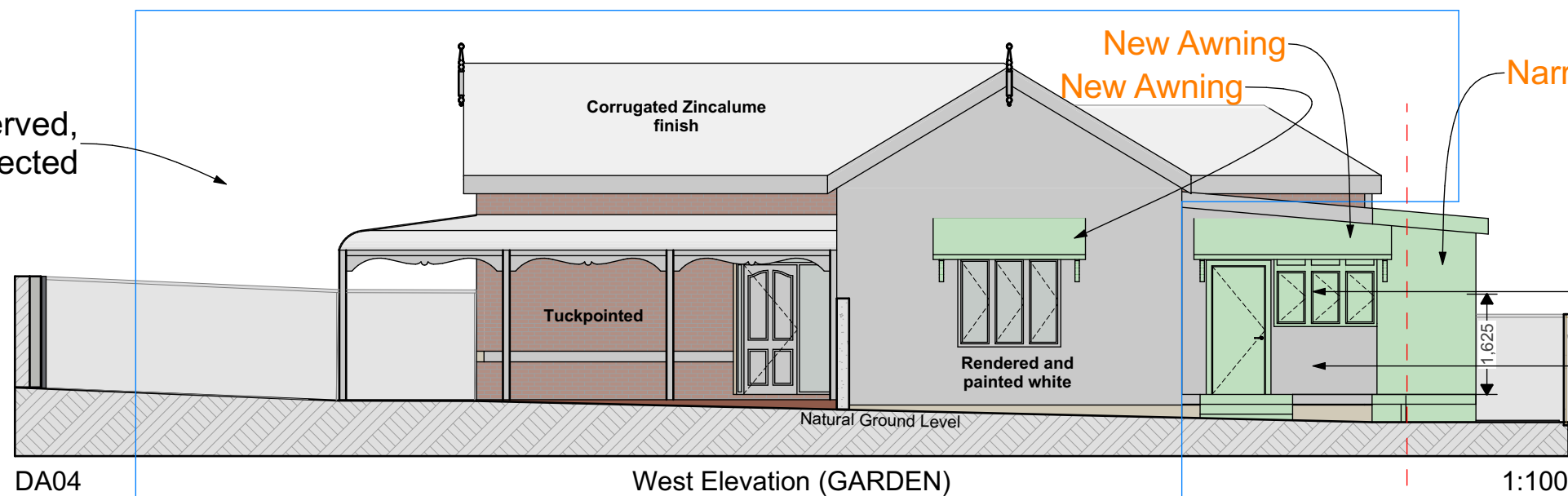


Heritage Building Conserved, Elevation unaffected

Heritage Building Conserved, Improvement to elevation where inappropriate windows removed.



Heritage Building Conserved, Elevation unaffected



New Awning  
New Awning

Narrow addition to the lean-to

New window and door

Existing wall

CITY OF VINCENT  
RECEIVED  
20 June 2023

**SIP HAUS**

128 Hyland Street Bassendean  
WA 6054  
040 929 0344  
www.siphaus.com.au

**2332** Alma Road  
109 Alma Road  
North Perth, W.A.

Drawings and Specifications as instruments of service are and shall remain the property of the person producing the model and generating the drawings. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the copyright owner.

The General Contractor is responsible for confirming and correlating dimensions at the job site. Sip Haus Supplies will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

© Sip Haus Supplies

**NOT FOR CONSTRUCTION  
UNLESS CERTIFIED**

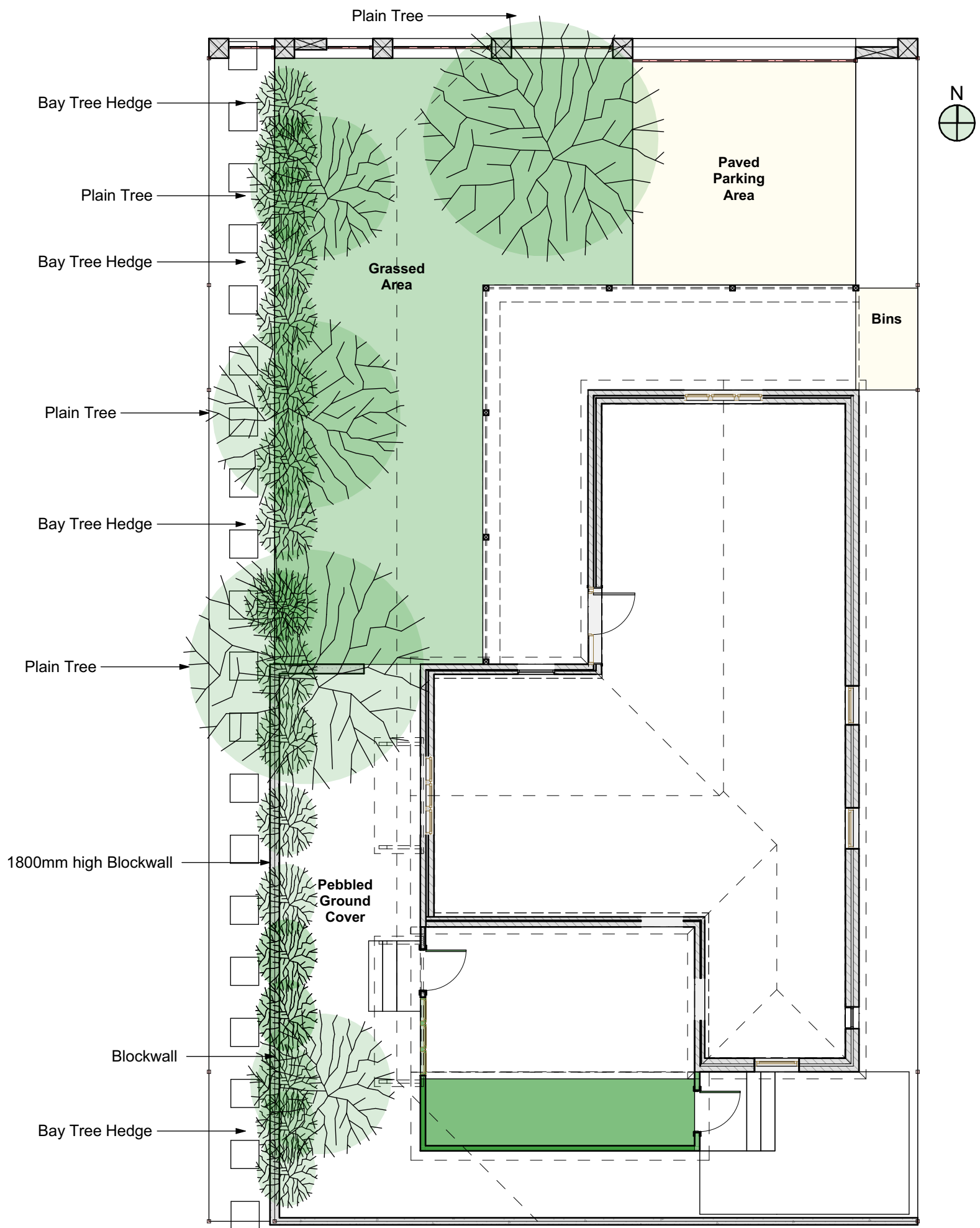
ISSUED:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Elevations  
**DA04**

Printed: 19/06/2023

No Change to Landscaping



0.

Landscape Plan

1:100

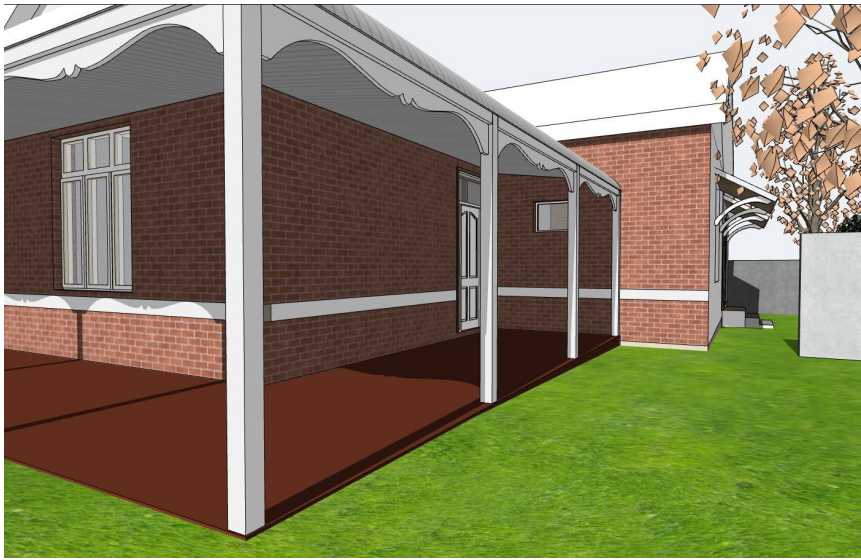




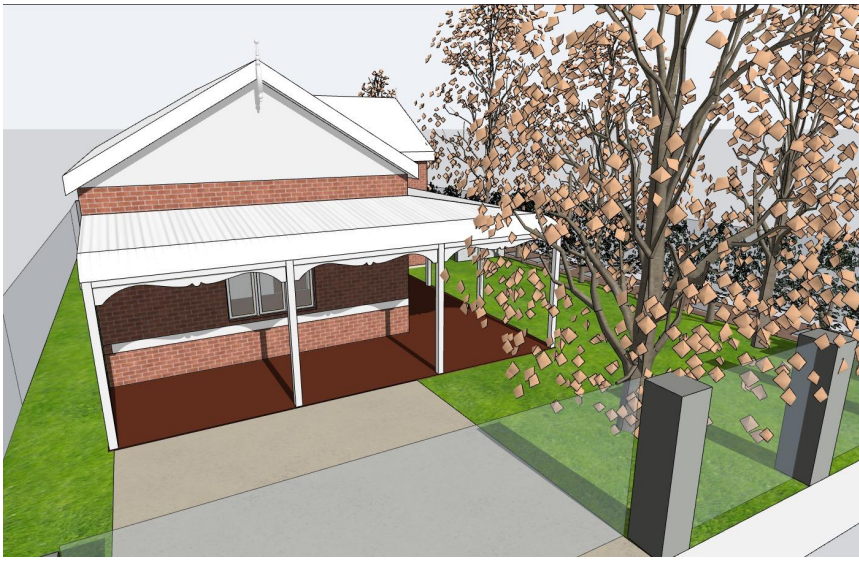
View of main building 1:435.3



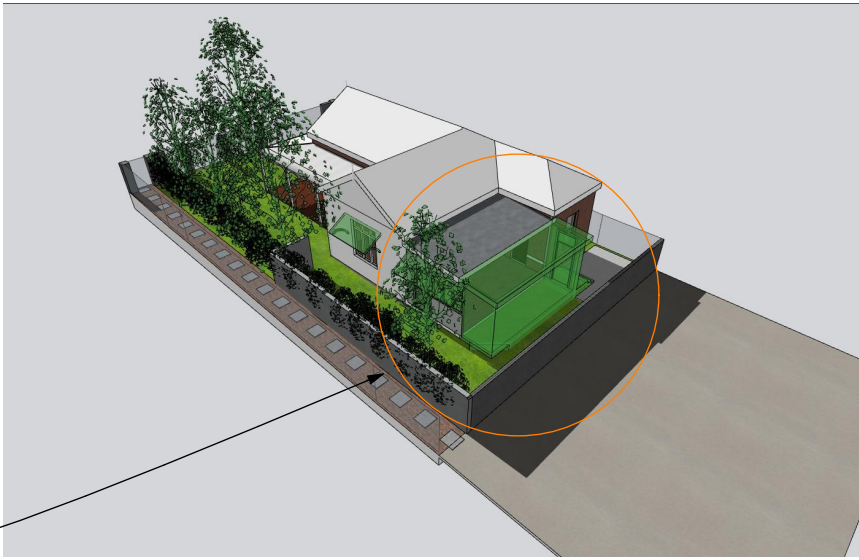
Visually impermeable fenceline 1:435.3



View to Front Door 1:435.3



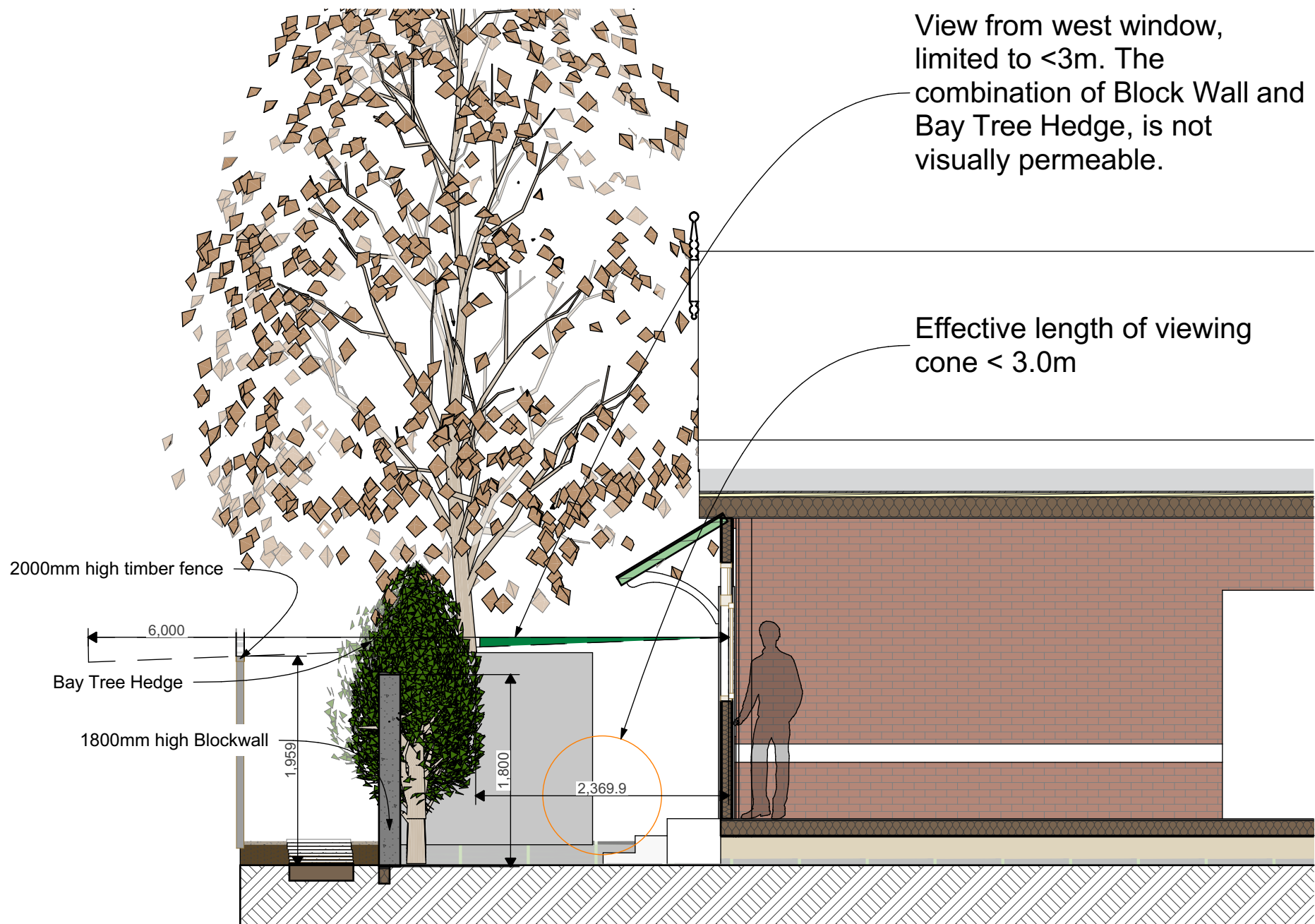
View of parking area 1:435.3



Extention highlighted

View of rear extension 1:435.3





G-G

Sectional Study of Overlooking

1:50



Photograph 1 View from New Window

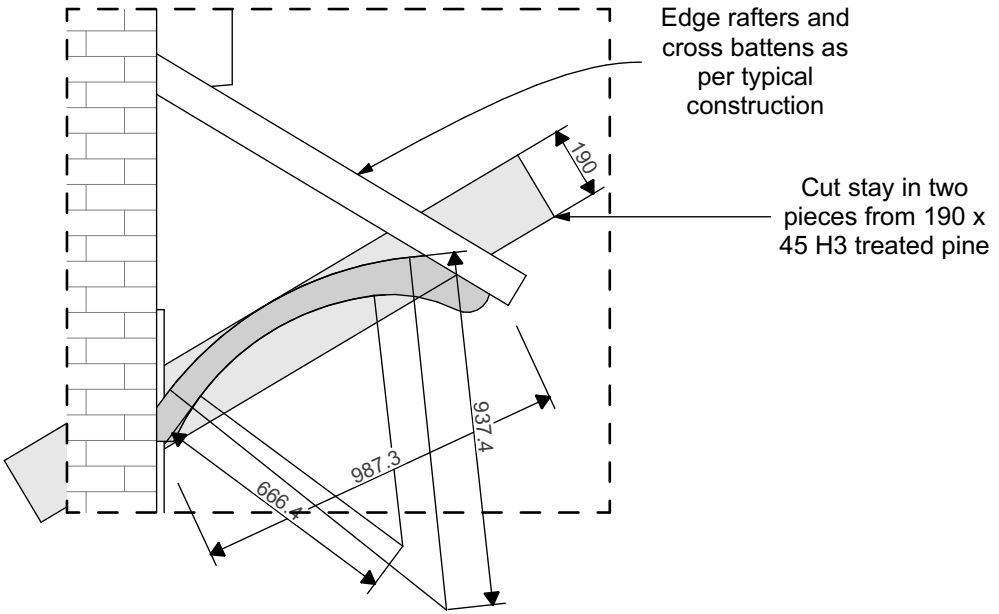


Photograph 2 View of Leafy South West Courtyard

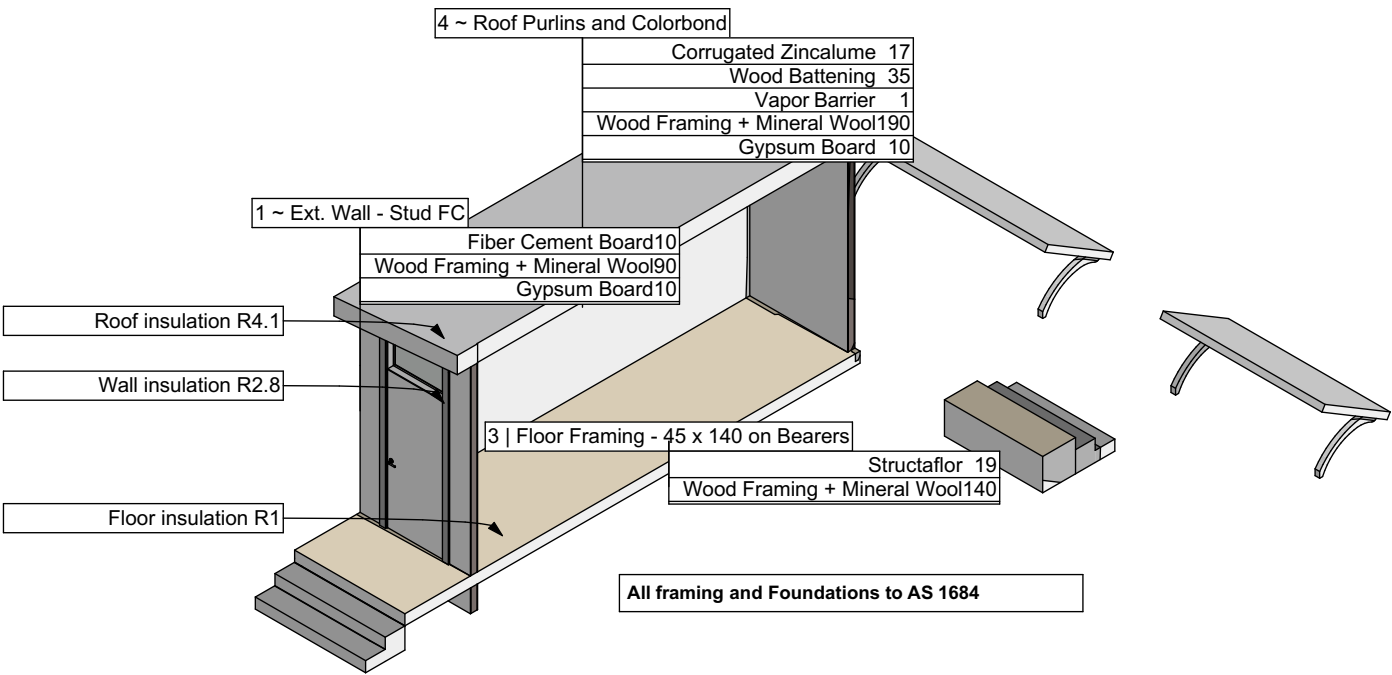
See DA02 for photograph positions

CITY OF VINCENT  
RECEIVED  
20 June 2023

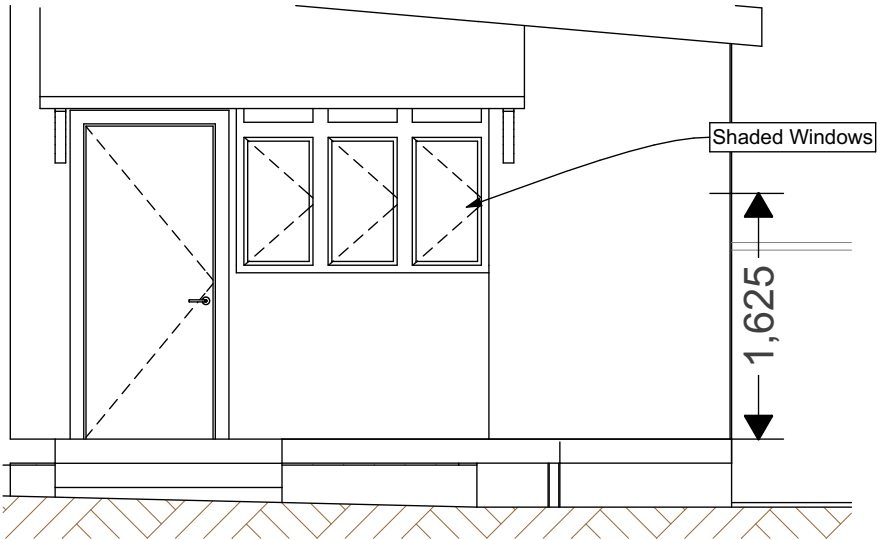




D-32 Awning Detail 1:20



3D-C Mod3 Construction 1:100



West Window Shading 1:50